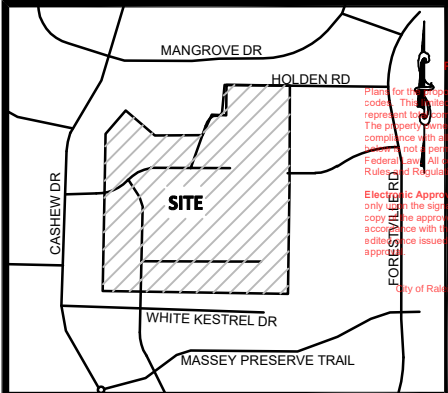


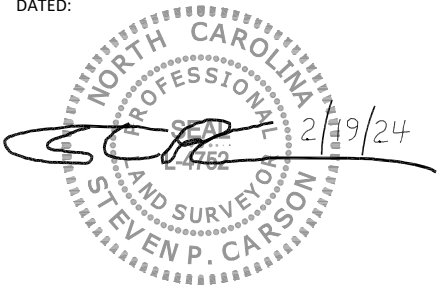


VICINITY MAP

(Not to Scale)

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

I, STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM A SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4752 DATED:



LEGEND

CB = CATCH BASIN
YI = YARD INLET



SHEET 2 OF 2

CITY OF RALEIGH
PLANS AUTHORIZED FOR CONSTRUCTION

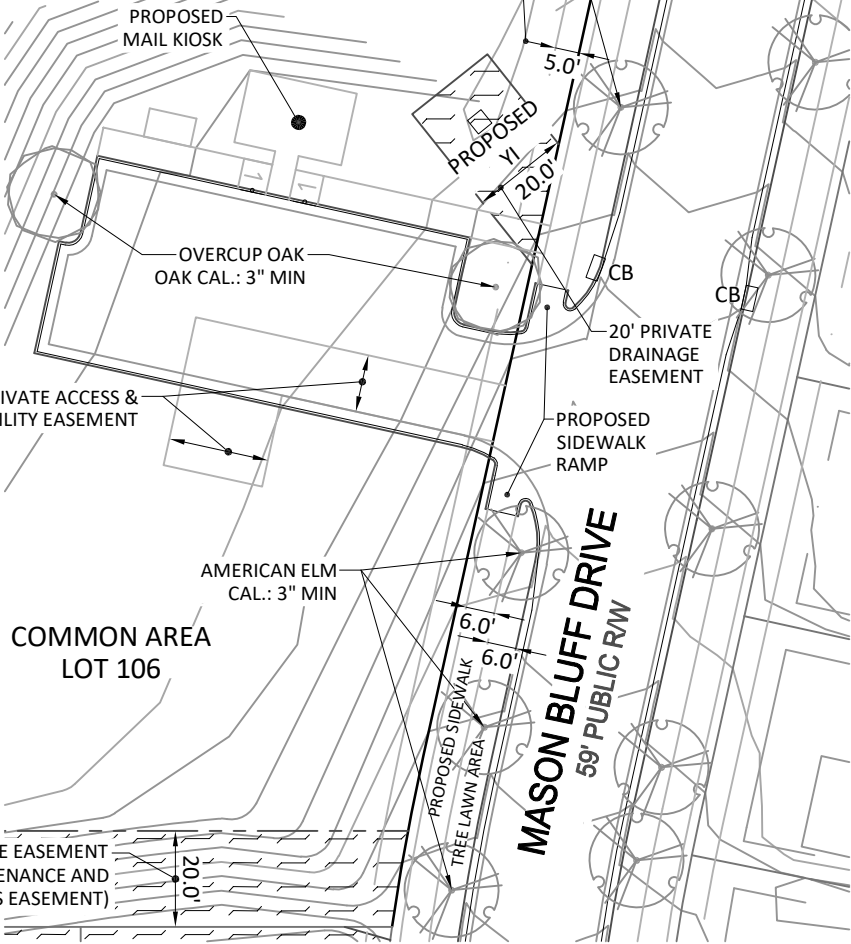
Plans for this proposed use have been reviewed for general compliance with applicable codes. This review, and authorization for construction is not to be considered to represent compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization does not permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only when the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited or altered. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval: Michelle Pearce
City of Raleigh Review Officer

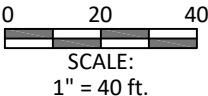
N/F
SHARON Y. HERMAN
ESTATE FILE: 16-E, PG. 849
PIN: 1747-22-5514

N/F
WILLIAM A. BRANTLEY
AND WIFE, RUTH J BRANTLEY
DB. 12871 PG. 964
PIN: 1747-22-2424



NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. ALL GROUND MOUNTED MECHANICAL EQUIPMENT TO BE SCREENED WITH LANDSCAPE OR FENCING.
10. STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH TPP-03 CITY DETAIL BETWEEN OCTOBER 1 AND APRIL 30.
11. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
12. ALL CONSTRUCTION IN THE RIGHT OF WAY SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
13. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD. IT IS LOCATED IN "ZONE "X" ", AS DEFINED BY F.E.M.A F.I.R.M. COMMUNITY PANEL 1747 MAP NUMBERS 3720174700K DATED JULY 19, 2022.
14. ZONING: R-10-CU
15. PROPERTY OWNER: LENNAR CORPORATION - 1100 PERIMETER PARK DRIVE - SUITE #112 - MORRISVILLE, NC 27560

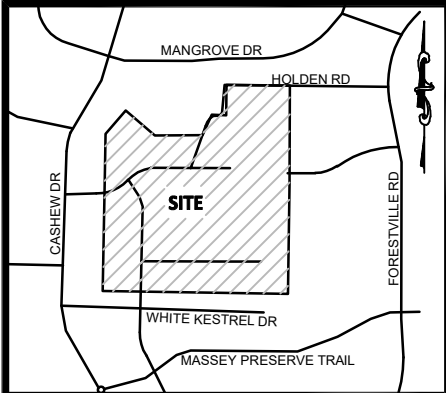


Bateman Civil Survey Company, PC
Engineers • Surveyors • Planners
2524 Reliance Avenue, Apex, NC 27539
(919) 577-1080
NCBELS C 2378

PRELIMINARY PLOT PLAN
EXCLUSIVELY FOR: LENNAR HOMES
HUNTERS POINTE - LOT 106
3821 MASON BLUFF DRIVE, RALEIGH, NC
WAKE FOREST TOWNSHIP, WAKE COUNTY
DATE: 2/19/24 DRAWN BY: CPV CHECKED BY: SPC

REFERENCE: BM 2023, PGS. 1311-1317 BCS# 230791 SCALE: 1" = 40'

BLDR-003197-2024 final site plan.pdf

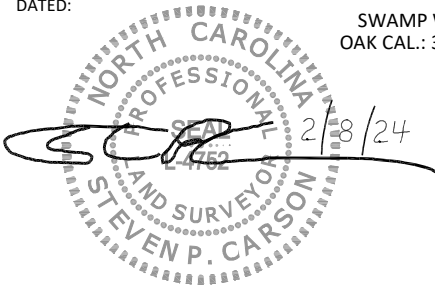


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LEGEND

- PO = PORCH
- CP = COVERED PORCH
- SP = SCREEN PORCH
- SW = SIDEWALK
- DW = CONC DRIVEWAY
- SP = SCREENED PORCH
- P = CONCRETE PATIO
- ⊗ = COMPUTED POINT
- = IRON PIPE FOUND (IPF)
- = IRON PIPE SET (IPS)
- = DRILL HOLE FOUND
- WM = WATER METER
- CO = CLEAN OUT
- AC = AIR CONDITIONER PAD
- ⊙ = CABLE BOX
- ⊙ = SEWER MANOLE
- ⊠ = TELEPHONE PEDESTAL
- CB = CATCH BASIN
- ⚡ = LIGHT POLE
- ⊠ = HAND HOLE
- ⊠ = ELECTRIC BOX
- ⚡ = FIRE HYDRANT
- YI = YARD INLET
- G = GAS METER
- E = ELECTRIC METER

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C34	28.00'	3.82'	N03°48'03"E	3.82'

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- ZONING: R-10-CU
- PROPERTY OWNER: LENNAR CORPORATION - 1100 PERIMETER PARK DRIVE - SUITE #112 - MORRISVILLE, NC 27560

BUILDING SETBACKS:

- STREET YARD = 10' (MIN)
- CORNER = 10' (MIN)
- SIDE = 5' (MIN)
- REAR = 20' (MIN)

BUILDER TO VERIFY HOUSE LOCATION
DIMENSIONS AND REVIEW TOTAL
IMPERVIOUS NOTED ON THIS PLOT PLAN



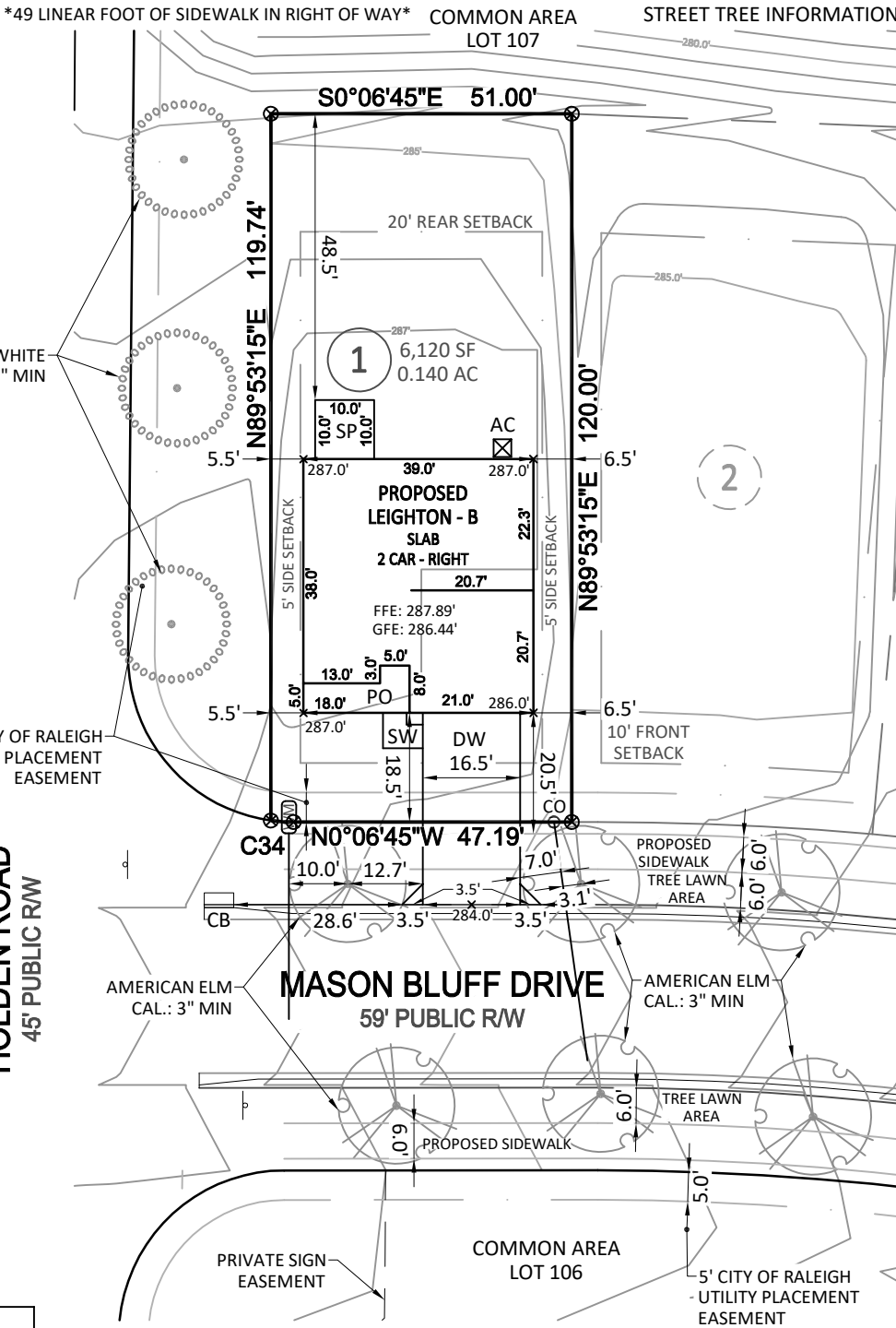
REVISION: ADDED DRIVEWAY FLARE LABEL,
SEAL ADDED, AND ADDED
LOT 106 STREET TREE PER REQUEST
SEAL DATE OF REVISION. CPV 2-8-24
ADDED ADDITIONAL STREET TREE INFO. CPV 2-19-24

SHEET 1 OF 2

LOT INFORMATION:

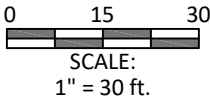
PIN: 1747228524
REFERENCE: DB. 19222 PGS. 1436-1443
TOTAL LOT AREA = 0.140 AC = 6,120 SF
HOUSE = 1,572 SF
PORCH = 105 SF
SIDEWALK = 35 SF
DRIVEWAY = 305 SF
SCREENED PORCH = 100 SF
AIR CONDITIONER = 9 SF
MAXIMUM IMPERVIOUS = 3,350 SF
PROPOSED IMPERVIOUS = 2,126 SF
PERCENT IMPERVIOUS = 34.7 %
FRONT YARD AREA = 943 SF
DW IN FRONT YARD AREA = 32.3 %

SEE SHEET 2 FOR ADDITIONAL
STREET TREE INFORMATION



HOLDEN ROAD
45' PUBLIC RW

MASON BLUFF DRIVE
59' PUBLIC R/W



SCALE:
1" = 30 ft.



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WAKE FOREST TOWNSHIP, WAKE COUNTY
DATE: 1/4/24 DRAWN BY: CPV CHECKED BY: SPC

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BLDR-003197-2024 final site plan.pdf