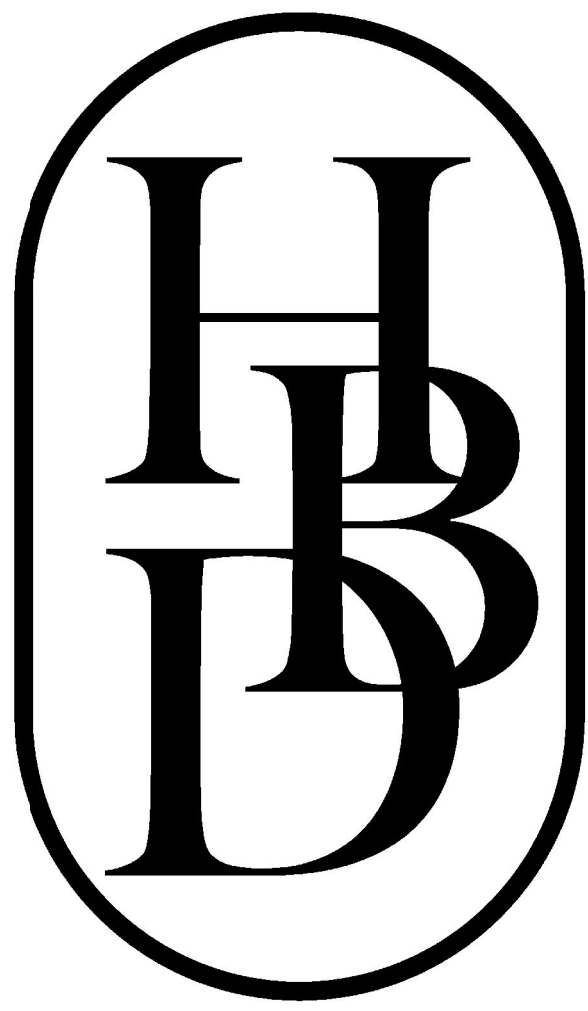




RIGHT-SIDE ELEVATION

SCALE: 1/4"=1'-0"

PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS.



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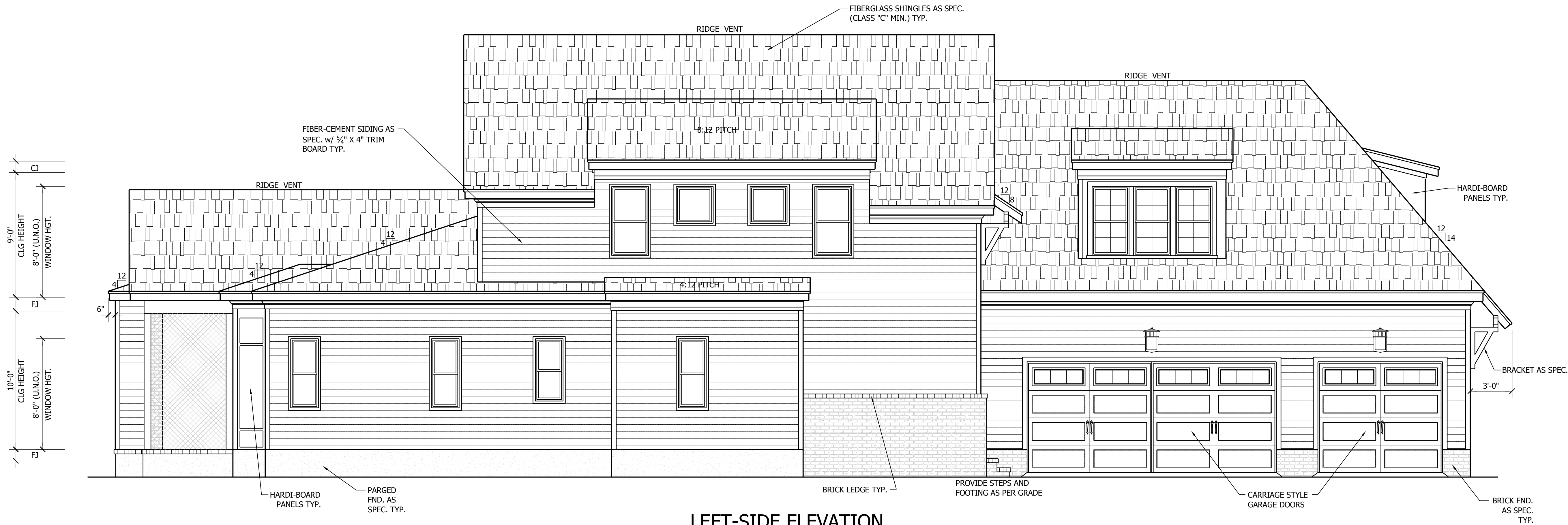
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PROJECT:

**LOT 3
LOWERY**

**THE
CATHERINE**



LEFT-SIDE ELEVATION

SCALE: 1/4"=1'-0"

ORIGINAL DESIGN BY: FRAZIER HOME DESIGN

DATE:

07-22-25

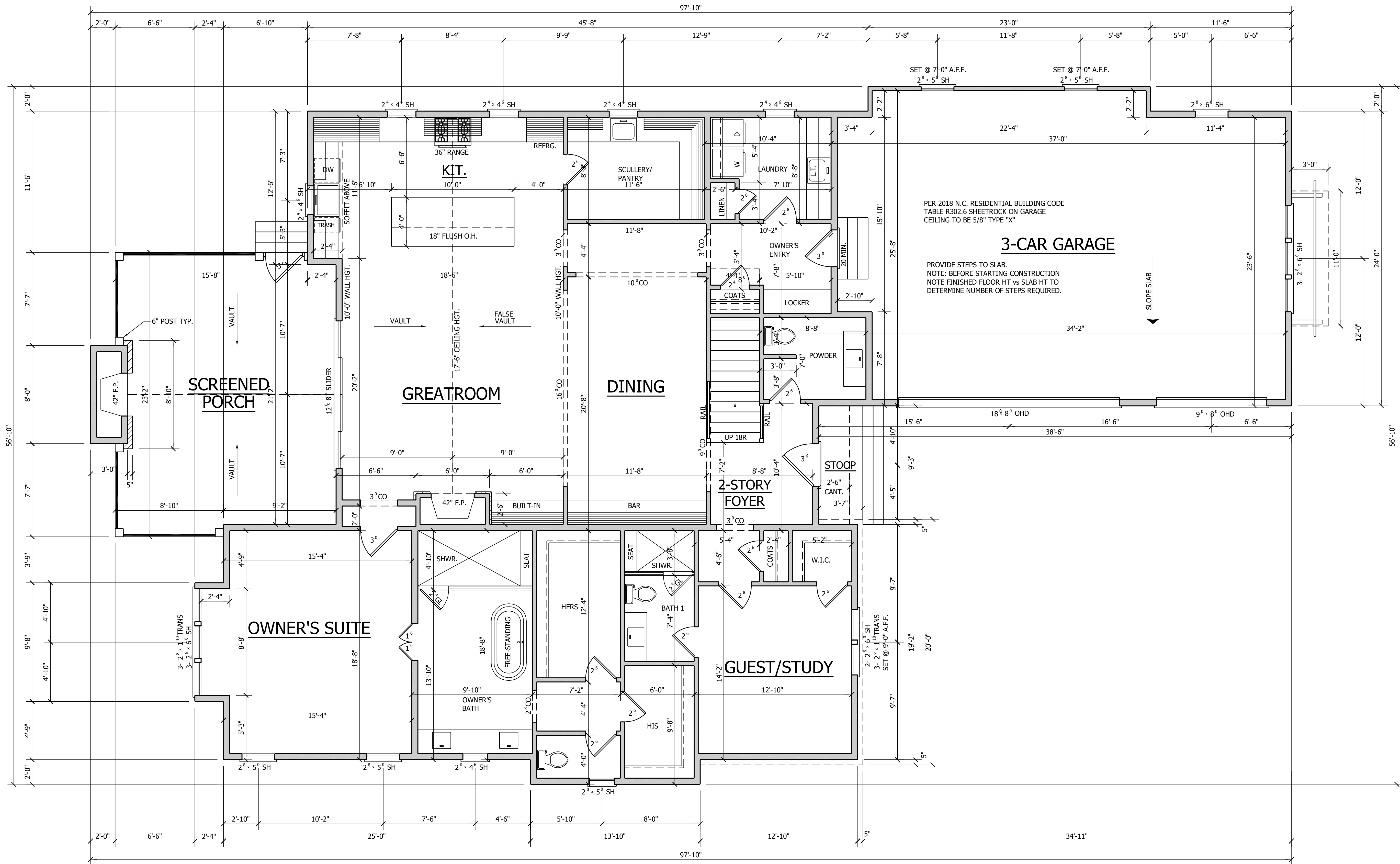
BCR

SHEET NO.

2

OF

5



AREA CALCULATIONS			
HEATED (SQ. FT.)		UNHEATED (SQ. FT.)	
BASEMENT:	N/A	GARAGE:	912
1ST FLOOR:	2452	STOOP:	34
2ND FLOOR:	1457	SCREENED PORCH:	406
		DECK:	N/A
		BRICK:	N/A
TOTAL:	3909	TOTAL:	1352
(HEATED)		(UNHEATED)	
		UNFINISHED (SQ. FT.)	
		BASEMENT:	N/A
		REC ROOM:	N/A
		ATTIC:	N/A
		STORAGE:	170
		OVERALL DIMENSION	
		WIDTH:	56'-10"
		DEPTH:	97'-10"

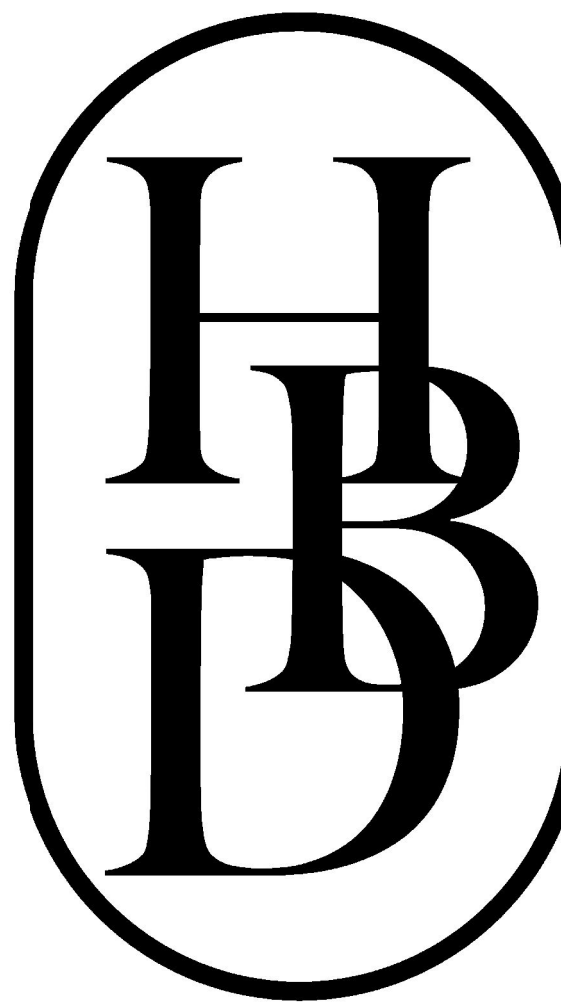
FIRST FLOOR PLAN
10'-0" CEILING HGT.
SET WINDOWS @ 8'-0" A.F.F.
SCALE= 1/4" = 1'-0"

NOTES:

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45 ° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE. NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.

- VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK ON GARAGE CEILING TO BE 5/8" TYPE "X".

ORIGINAL DESIGN BY: FRAZIER HOME DESIGN



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LOT 3
LOWERY

THE
CATHERINE

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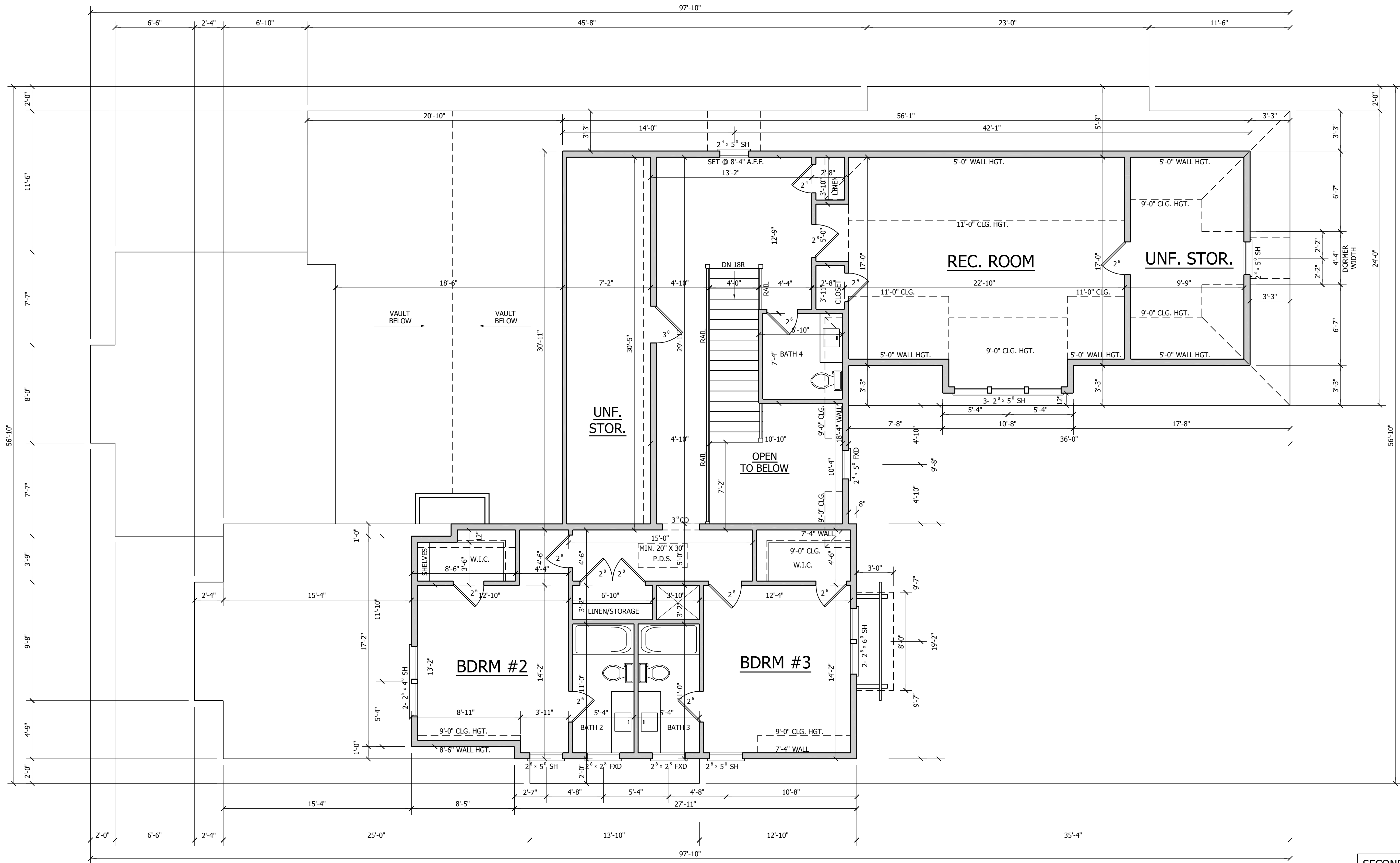
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SHEET NO.

3

OF

5



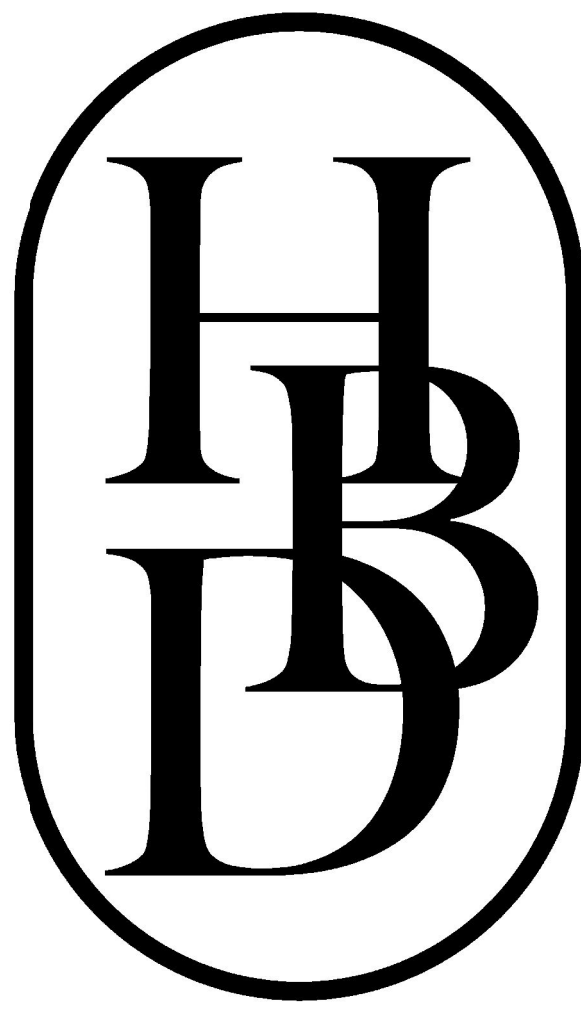
SECOND FLOOR PLAN
9'-0" CEILING HGT.
SET WINDOWS @ 8'-0" A.F.F.
SCALE= 1/4" = 1'-0"

NOTES:

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45 ° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE. NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.

- VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK OR GARAGE CEILING TO BE 5/8" TYPE "X".

ORIGINAL DESIGN BY: FRAZIER HOME DESIGN



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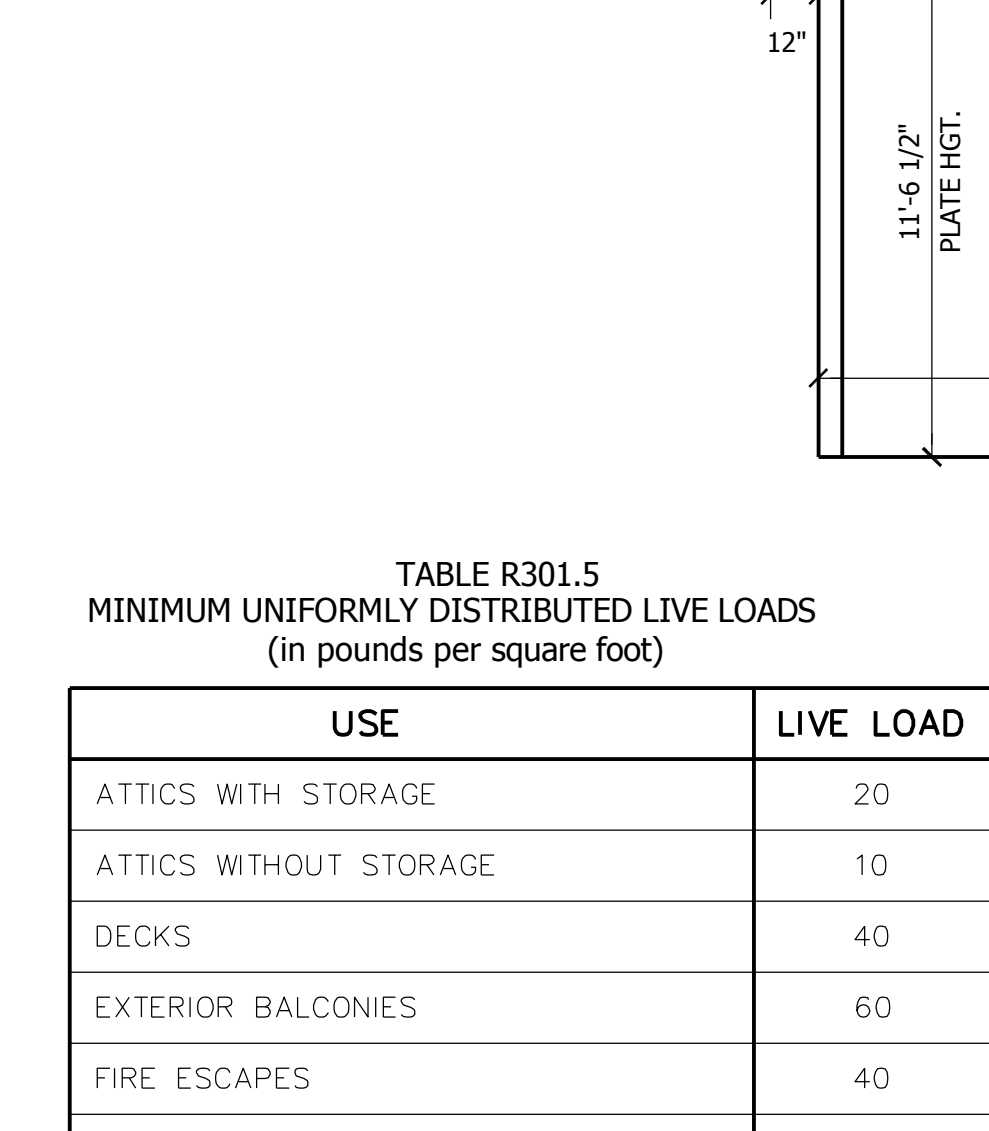
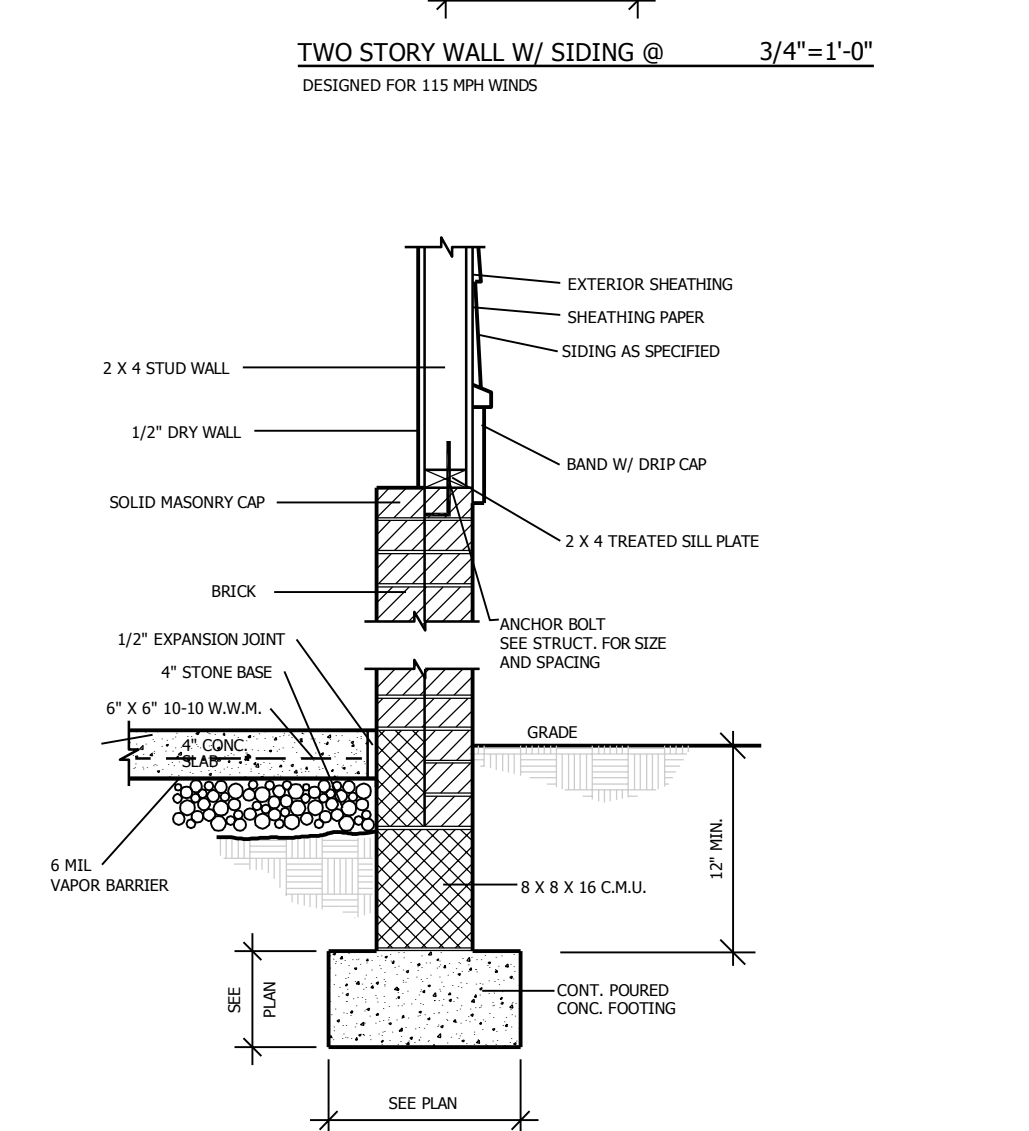
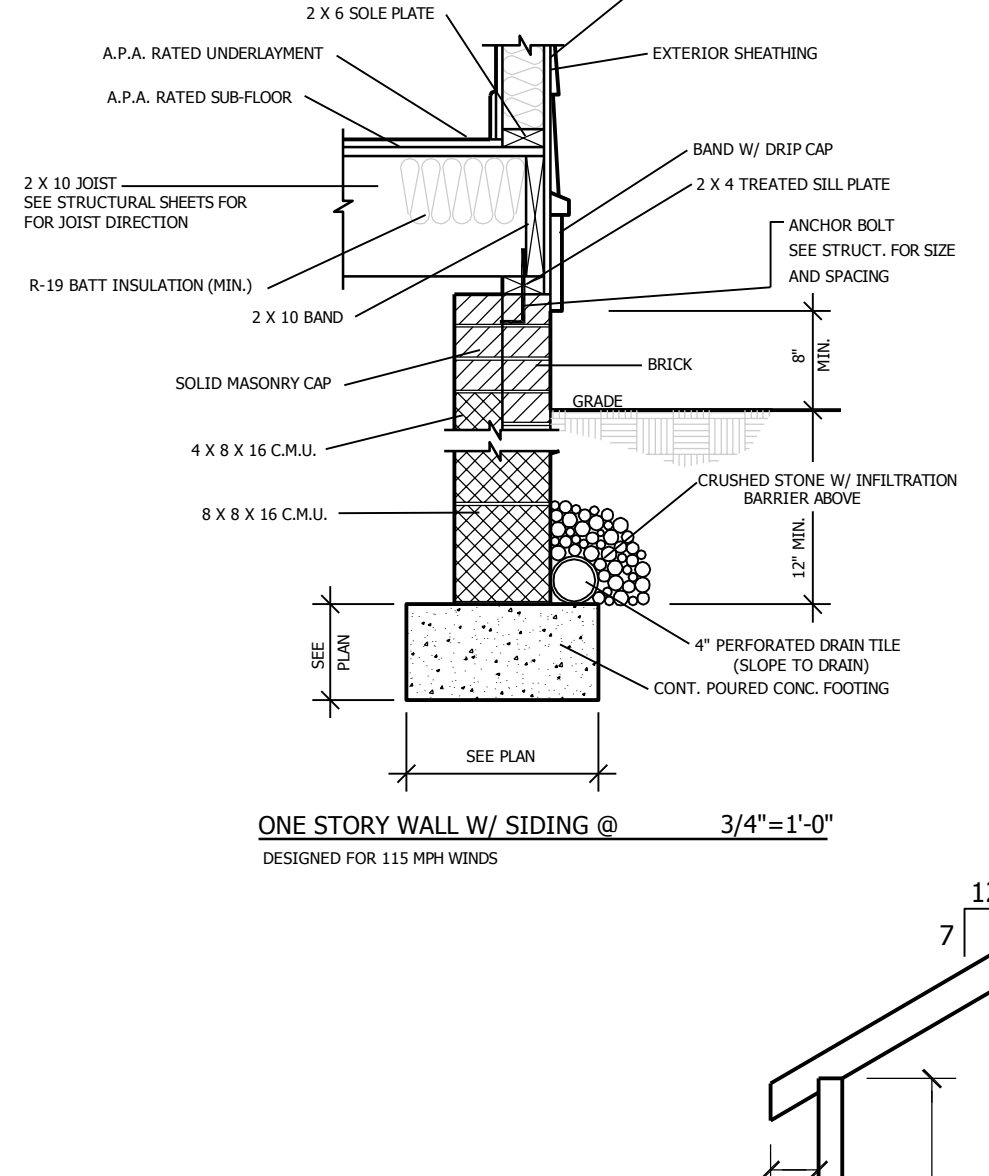
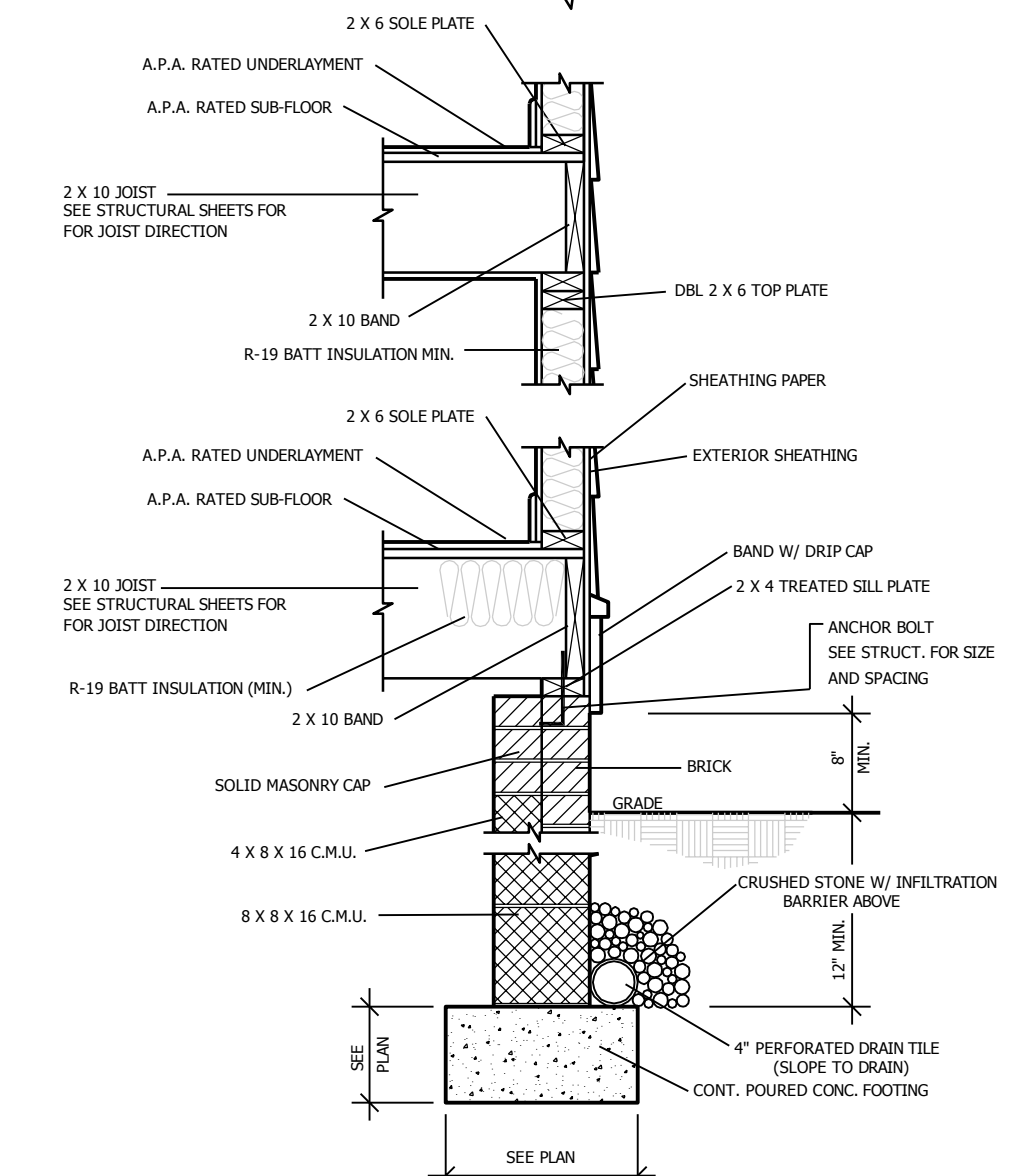
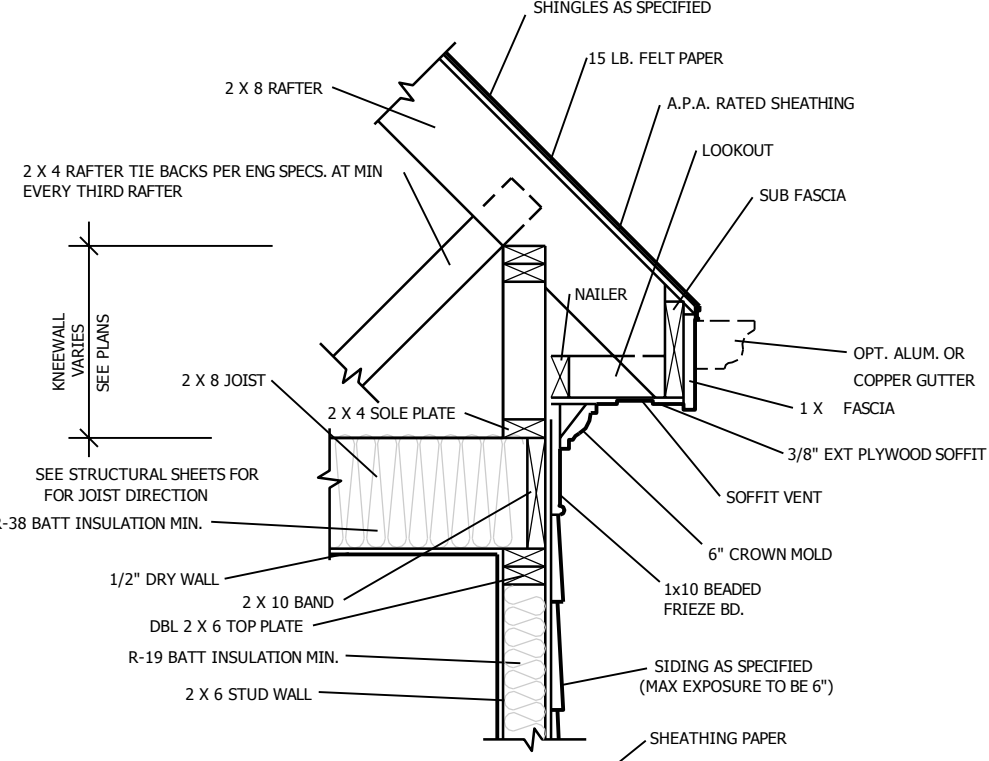
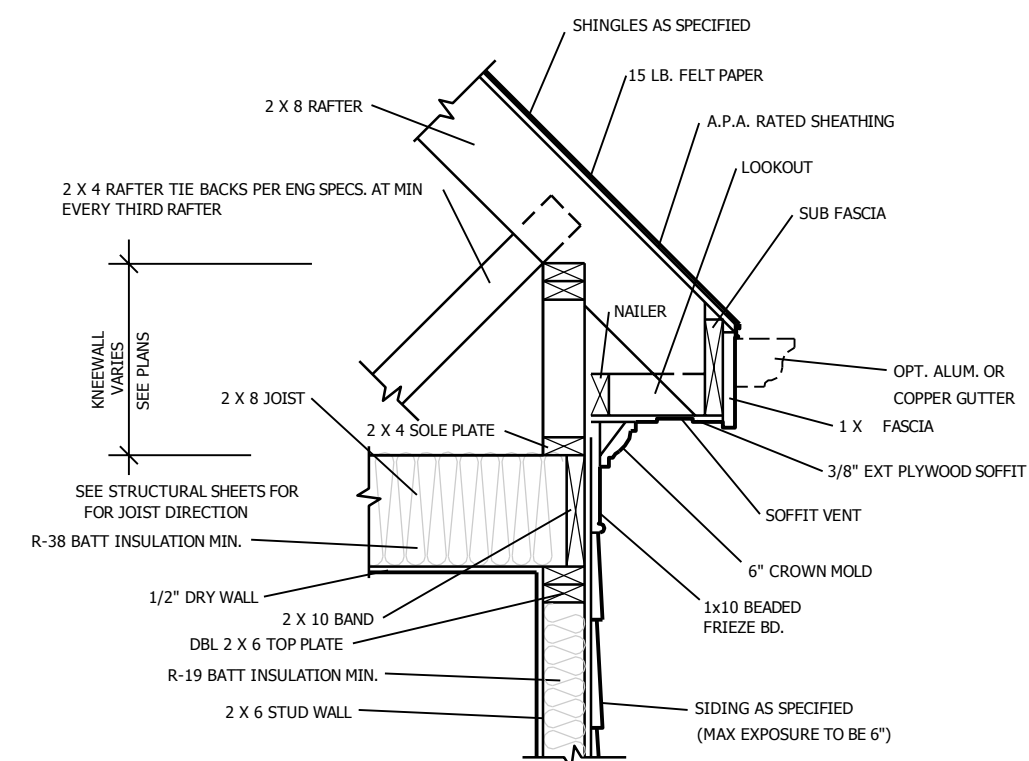
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SHEET NO.

4

OF

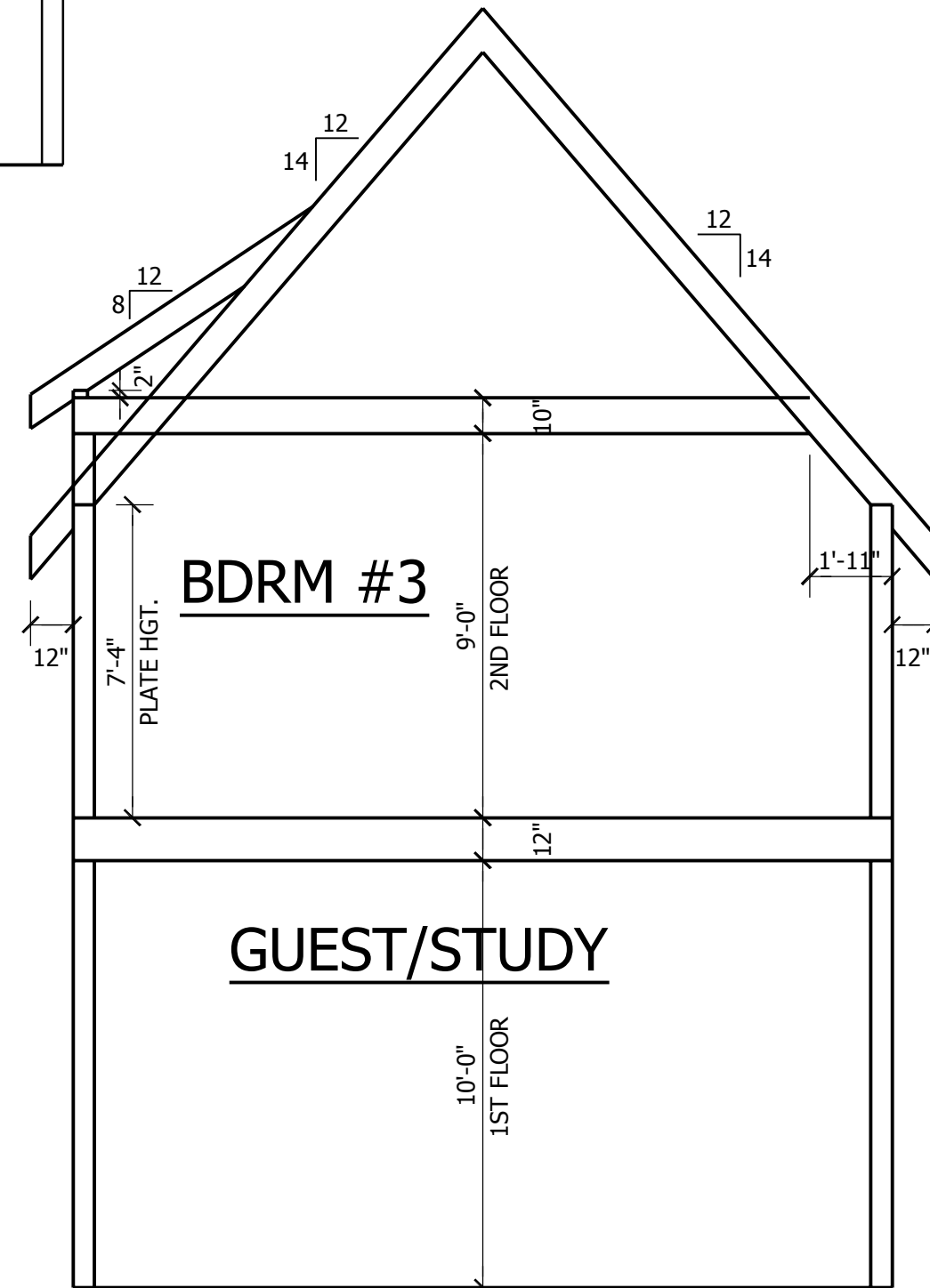
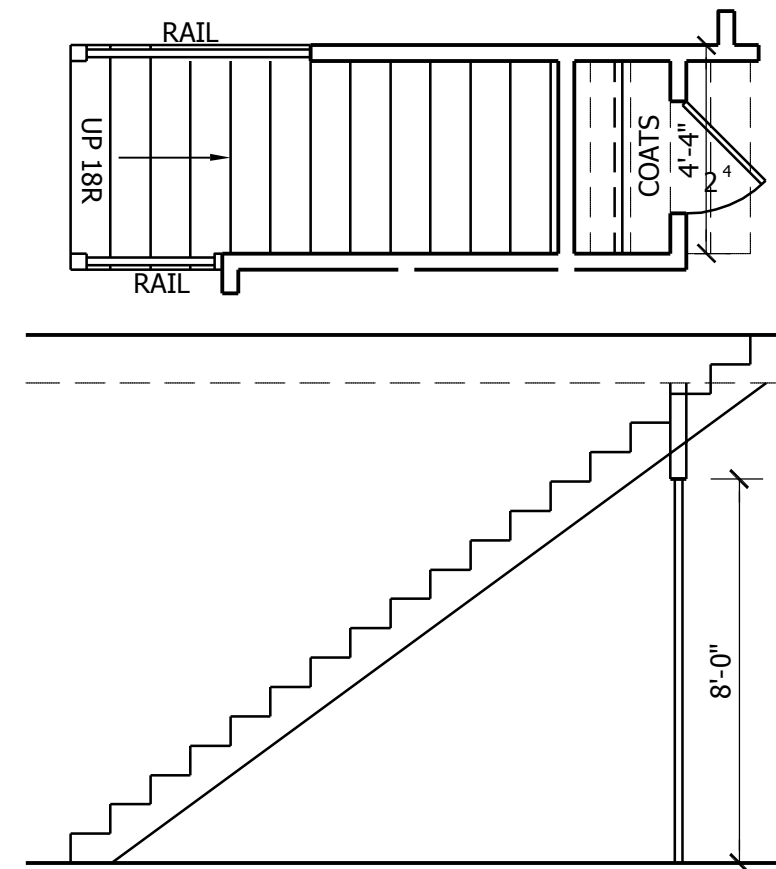
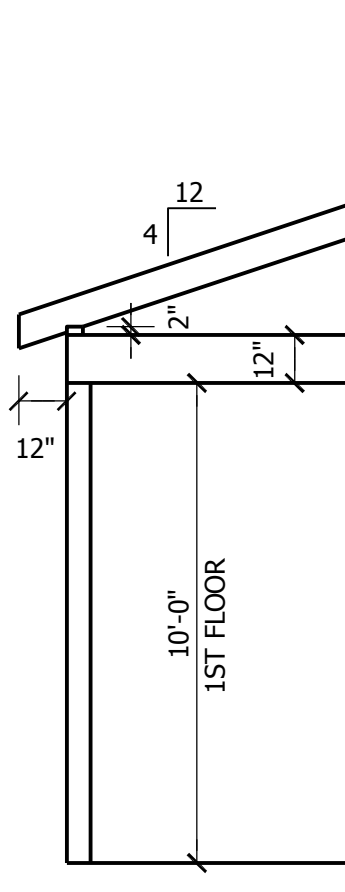
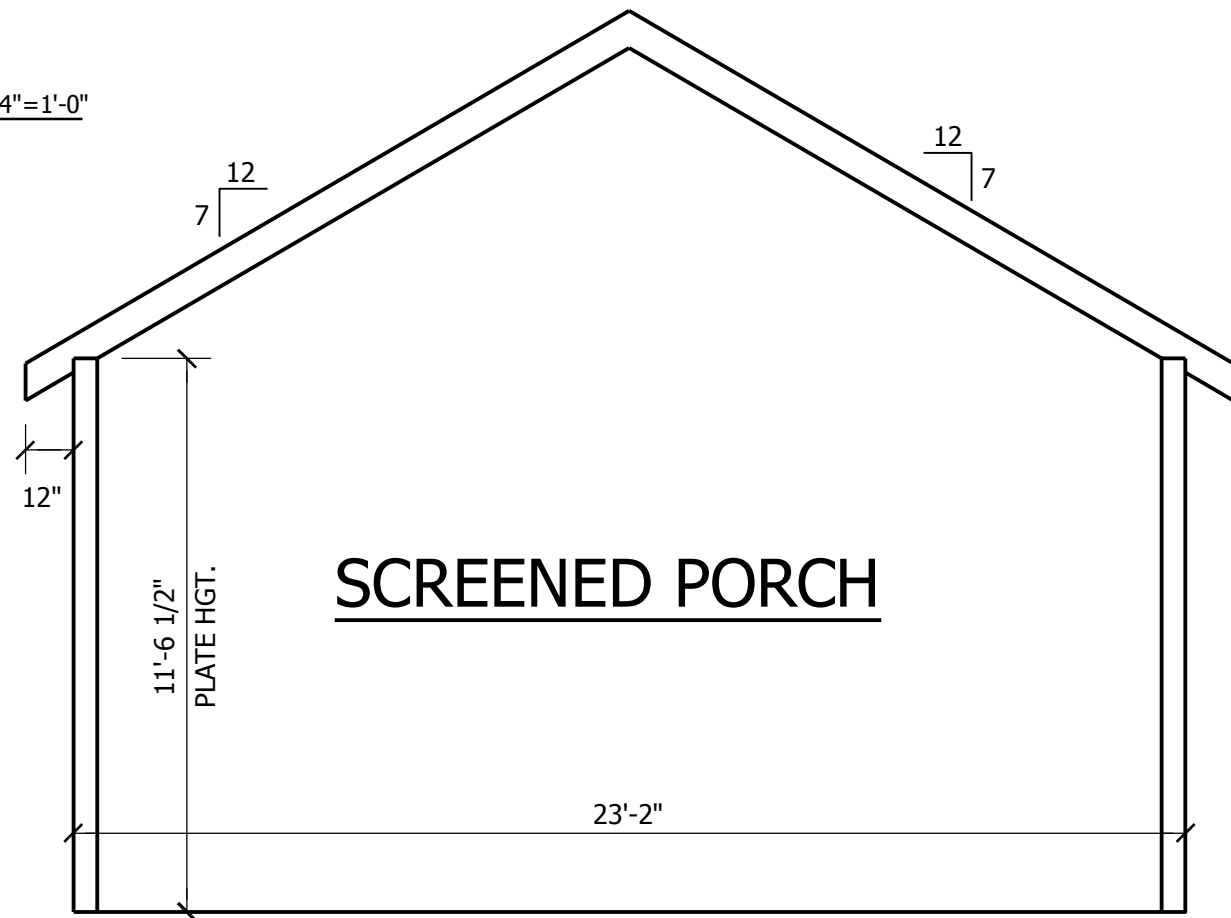
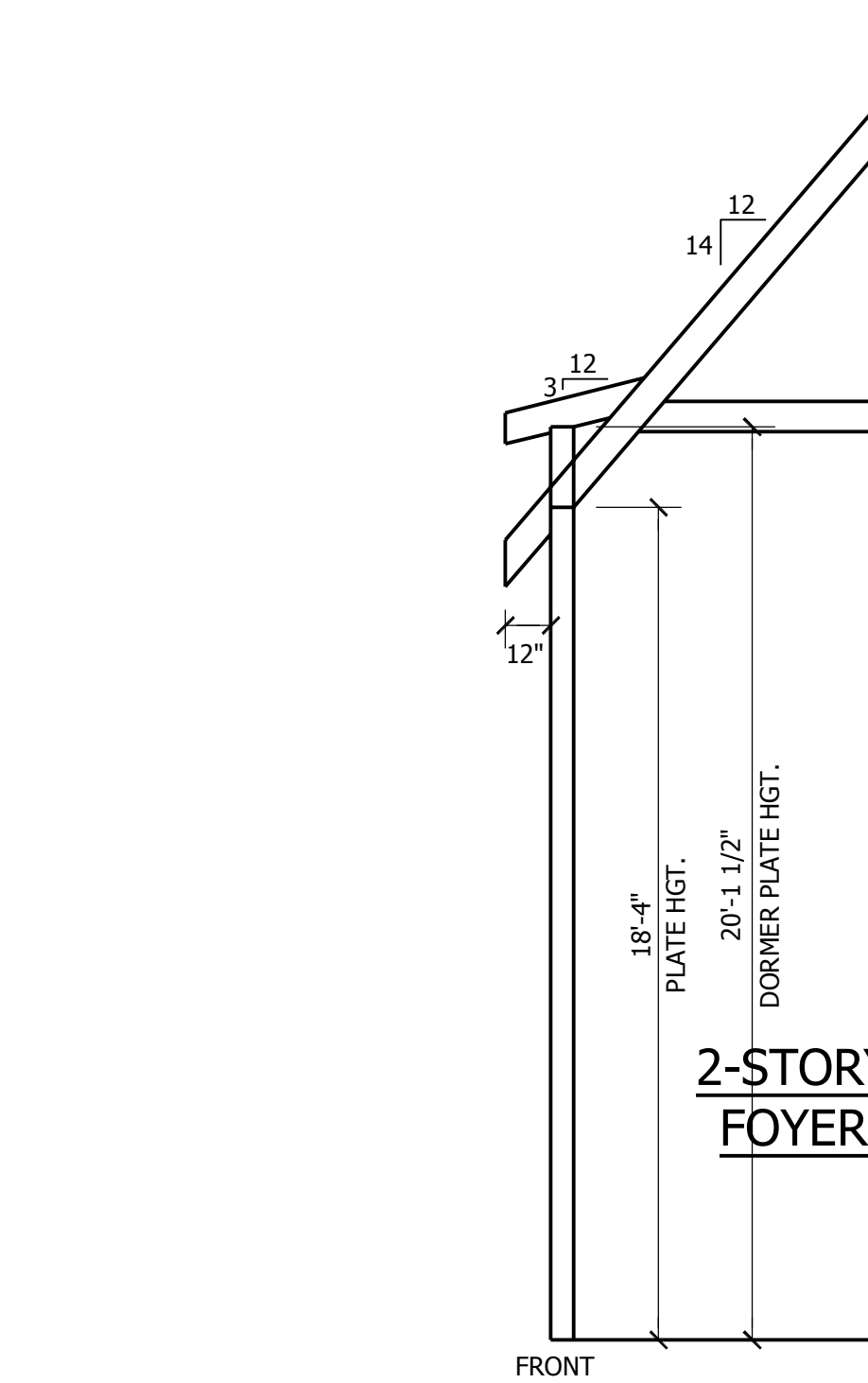
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AREA CALCULATIONS			
HEATED (SQ. FT.)	UNHEATED (SQ. FT.)	UNFINISHED (SQ. FT.)	
BASEMENT:	N/A	GARAGE:	912
1ST FLOOR:	2452	STOOP:	34
2ND FLOOR:	1457	COV. PORCH:	406
		DECK:	N/A
		BRICK:	N/A
		OVERALL DIMENSION	170
TOTAL:	3909	TOTAL:	1352
(HEATED)		(UNHEATED)	
		WIDTH:	56'-10"
		DEPTH:	97'-10"

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE				
HOUSE DESIGNED FOR 115 MPH 3 SECOND GUST, EXPOSURE B				
ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATES SPLICES				
ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7"				
INTO MASONRY OR CONCRETE				
MEAN ROOF HEIGHT = < 30'-0"				
COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS				
MEAN ROOF HEIGHT	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

- a. Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.
- b. No storage with roof slope not over 3 units in 12 units.
- c. Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stress.
- d. A single concentrated load applied in any direction at any point along the top.
- e. See Section R502.2.1 for decks attached to exterior walls.
- f. Guard in-field components (all those except the handrail), balusters, and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.

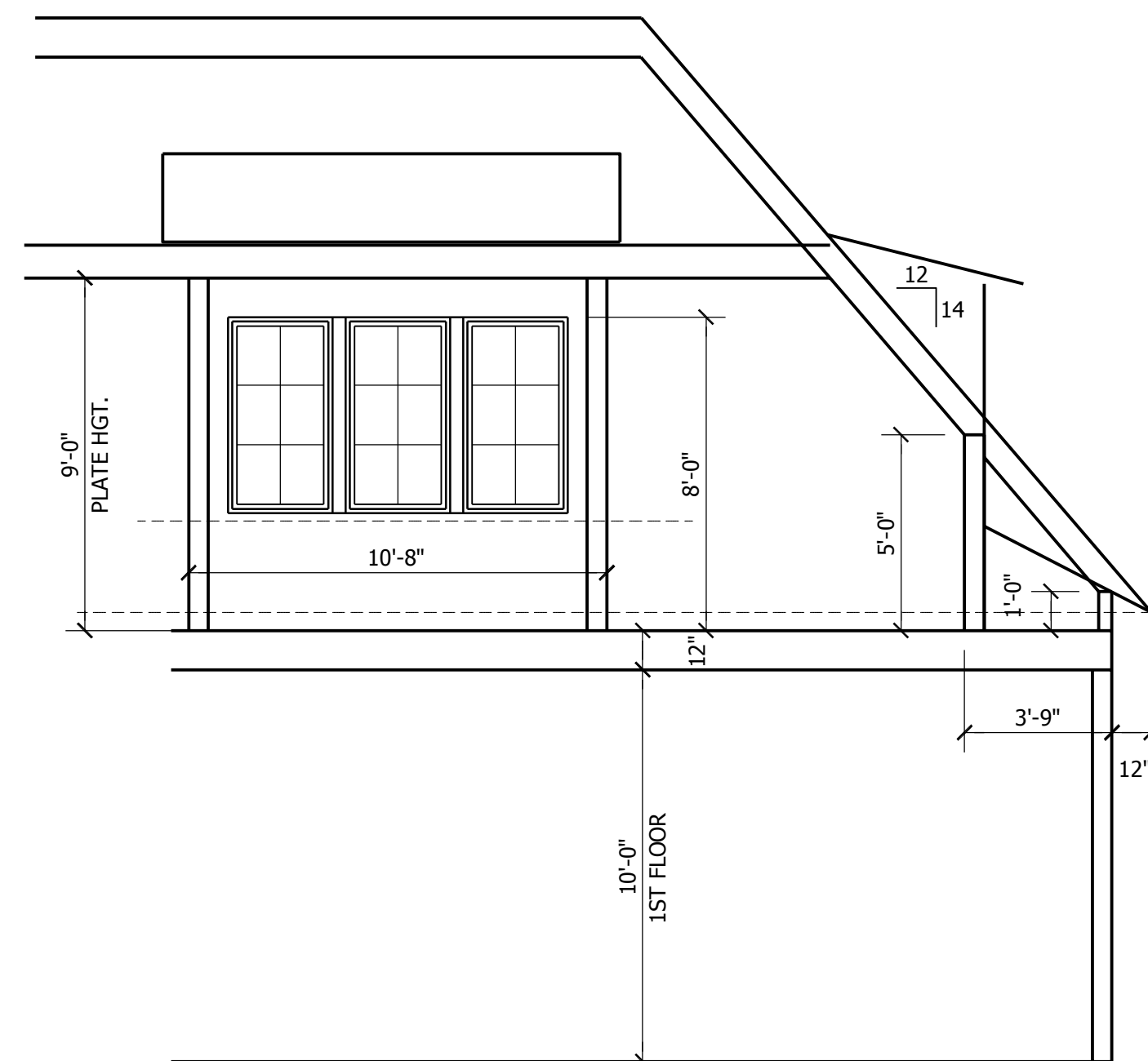


FOUNDATION VENT CALCS.	
$\frac{2467 \text{ SQ. FT.}}{150} = 16.45 \text{ SQ. FT. VENT REQ'D.}$	
$\frac{16.45 \text{ SQ. FT.}}{.56} = 29 \text{ VENTS TO BE PROVIDED}$	
NOTE: FIGURE BASED ON SECTION R-409 OF THE 2018 IRC. NOTE: FND VENT SPECS BASED ON PUSH/PULL POLYPROPYLENE FND. VENT THAT ALLOWS 72 SQ. IN. OF NET FREE AREA PER VENT.	
① WHERE CONTINUOUS OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 CFM FOR EACH 50 SQ. FT. OF CRAWL SPACE.	
② THE CRAWL SPACE IS SUPPLIED WITH CONDITIONED AIR AND THE PERIMETER WALLS ARE INSULATED IN ACCORDANCE WITH SECTION R409 OF THE 2018 IRC.	
③ BUILDER/OWNER TO VERIFY VENT SIZE AND REQUIREMENTS PRIOR TO CONSTRUCTION. SEE SECTION R409 OF THE 2018 IRC.	

ROOF VENTILATING REQUIREMENTS	
$\frac{3766 \text{ SQ. FT.}}{150} = 25.11 \text{ SQ. FT. OF TOTAL ROOF VENTILATION REQ'D}$	
$315\text{'-}4\text{' (LINEAR FT. OF SOFFIT) X } .035 \text{ (NET FREE AREA PER FT.)} = 11.04 \text{ SQ. FT. OF AVAILABLE SOFFIT VENT}$	
$25.11 - 11.04 = 14.07 \text{ SQ. FT. REMAINING REQ'D ROOF VENTILATION}$	
$\frac{14.07 \text{ SQ. FT.}}{.125 \text{ (NET FREE AREA PER FT.)}} = 112.56 \text{ LINEAR FT. OF RIDGE VENT REQ'D}$	
NOTE: FIGURE BASED ON SECTION R-806 OF THE 2018 IRC. NOTE: - SOFFIT VENT SPECS BASED ON HARDISOFFIT PANELS THAT ALLOWS 5 SQ. IN. OF NET FREE AREA PER LINEAR FT. - RIDGE VENT SPECS BASED ON VENTURIVENT PLUS THAT ALLOWS 18 SQ. IN. OF NET FREE AREA PER LINEAR FT.	
TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO 300:	
① PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2018 IRC. FOR PROPER LOCATION.	
② WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING	

REAR MAIN

STAIR SECTION



GARAGE SECTION

LOCATION	INSULTAION TYPE	R-VALUE
FLAT CEILING	FIBERGLASS BATT/BLOWN FG	R 38
FLAT CLG./ WALK-UP ATTIC	FIBERGLASS BATT	R 38
VAULTED CLG.	FIBERGLASS BATT	R 38
WALLS	FIBERGLASS BATT	R 19
FLOORS	FIBERGLASS BATT	R 19
FLOOR OVER GARAGE	FIBERGLASS BATT	R 30
CRAWLSPACE/ BASEMENT WALL	FIBERGLASS BATT	R 10

LEFT GABLE

WINDOW NOTE:
-ALL WINDOWS CLOSER THAN 24" TO FLOOR MUST HAVE CHILD PROOF LOCKS

GARAGE/DWELLING DOOR NOTE:
GARAGE/DWELLING SEPERATION SHALL BE EQUIPTED WITH A 20 MINUTE FIRE RATED DOOR PER NC BUILDING CODE R302.5.1

EXTERIOR DECK/HANDRAIL NOTE:
-GUARDS, RAILINGS, AND ATTACHMENTS MEETING AM III ARE REQUIRED AT PORCHES AND SCREEN PORCH IF DROP IS 30 INCHES OR MORE

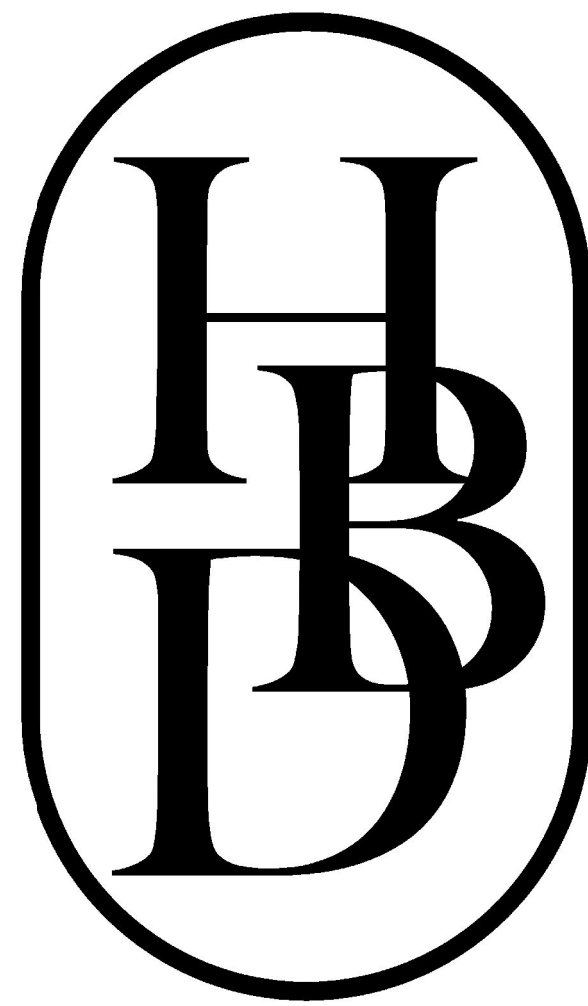
WINDOW SPEC NOTE:
-WINDOWS TO BE PLYGEM 1500 SERIES LOW-E WITH ARGON, U FACTOR .32, SHGC .22

FACTORY-BUILT FIREPLACE NOTE:
-R1004.1 GENERAL FACOTRY BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127.

INTERIOR HANDRAIL NOTE:
-INTERIOR STAIRS TO MEET SECTION 311.7

ROOFING UNDERLAYMENT NOTE
PER R 905.2 FOR ROOF SLOPES BETWEEN 2/12 & 4/12 PITCH UNDERLAYMENT TO BE DOUBLED

ORIGINAL DESIGN BY: FRAZIER HOME DESIGN



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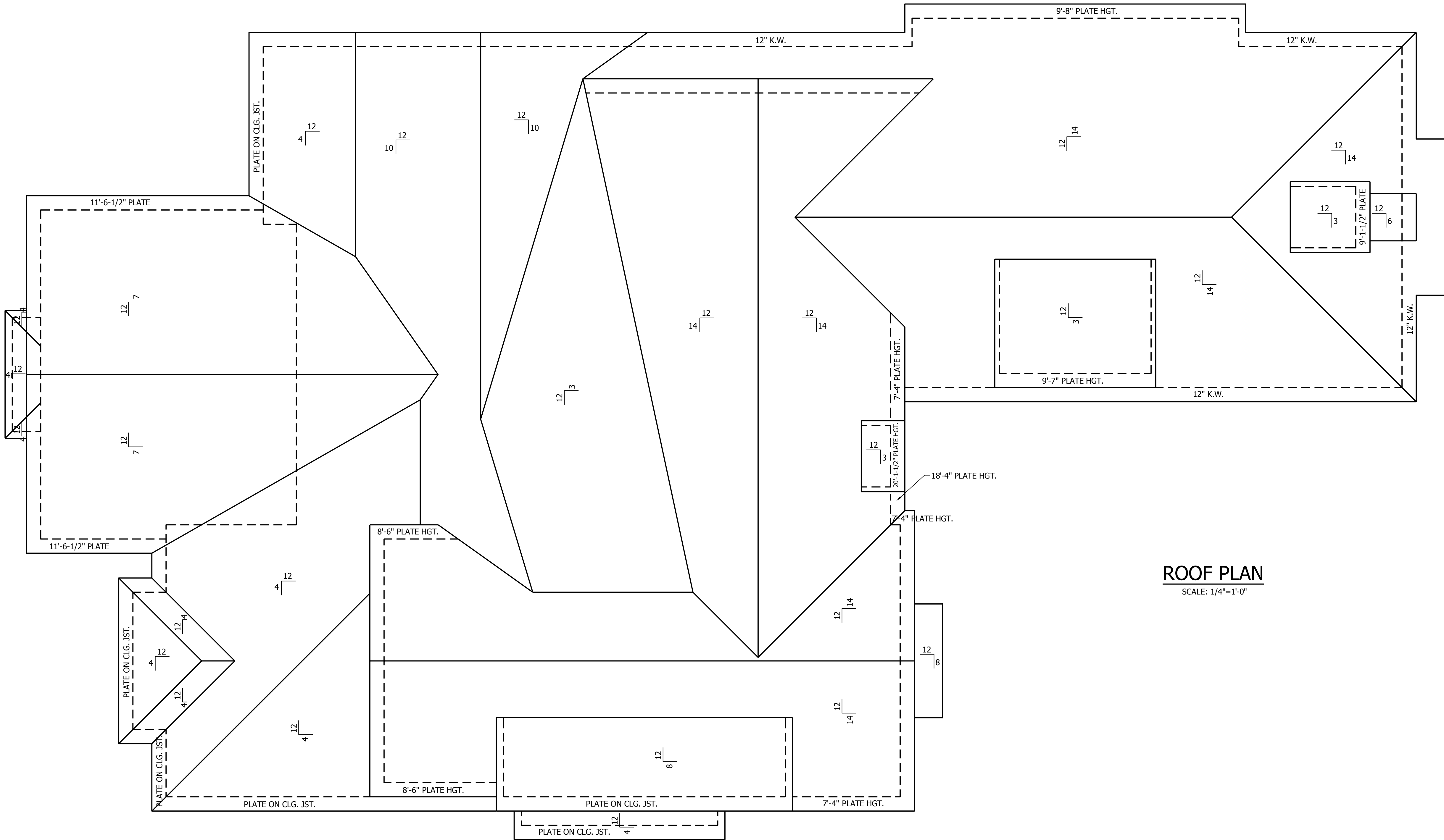
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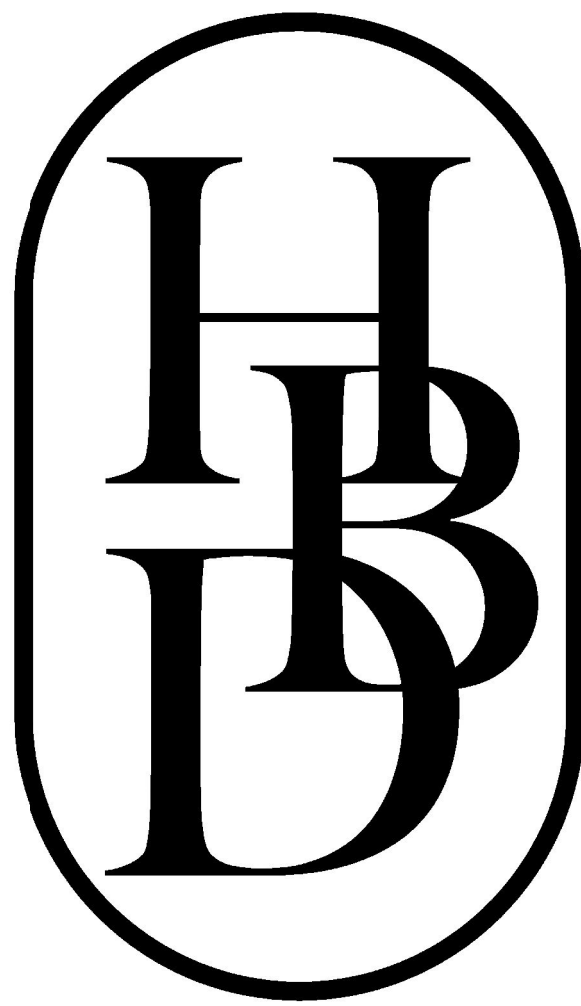
OF

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ROOF PLAN

SCALE: 1/4"=1'-0"



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