

NORTHAMPTON HOMEOWNERS ASSOCIATION

Architectural Standards and Controls Specification

Updated and Amended

Document Version 8.0

Effective Date: October 30, 2023

Submittal and Approval Process.....	3
1. Antennas and Satellite Dishes	6
2. Awnings	6
3. Basketball Goals.....	7
4. Bright Colors	7
5. Clotheslines	7
6. Decks, Patios, Arbors & Lattice	8
7. Dog Houses	10
8. Driveways and Parking Pads.....	10
9. Fences.....	11
10. Garbage Cans.....	18
11. Home Size.....	18
12. Landscaping.....	18
13. Mailboxes.....	19
14. Painting of Exterior House.....	20
15. Parking.....	21
16. Roofs (New & Replacements).....	22
17. Screened Porches/Addition.....	23
18. Sheds.....	24
19. Skylights and Attic Fans.....	24
20. Solar Collectors.....	25
21. Stone Walls/Retaining Walls/Raised Flower Beds.....	26
22. Storage.....	26
23. Swimming Pool and Hot Tubs.....	27
24. Swing Sets, Playhouses, Jungle Gyms.....	28
25. Tree Removal.....	29
26. Vegetable & Flower Gardens.....	29
27. Holiday Decorations, Flags and Signs.....	30
28. Northampton Fence Styles.....	31

Submittal and Approval Process

Each Homeowner is required and has the responsibility to complete an Architectural request application and receive approval prior to making any additions or alterations to the exterior of their home or property.

The process will be the same for all submittals with the required details varying depending upon the type of project.

Homeowners are advised not to commence on exterior alterations without having an Approved Architectural Application or the Homeowner will be subjected to an automatic administrative fee of \$500.00 (Five Hundred Dollars).

Should a Homeowner's Architectural Application request be denied and/or receive a fine, the Homeowner may in writing, appeal the decision within 10 business days to the Board of Directors.

In addition the Board of Directors, can require Immediate removal of unapproved alterations after a due process hearing, as well as assess fines of up to \$100.00 per day for unapproved alterations.

Items to be Submitted:

1. Architectural request form completed in its entirety.
2. Plot plan outlining the position/placement of each proposed addition.
3. Drawings/plans showing the construction of changes or additions.
4. Samples of paint, siding, or any other items that may be helpful in making a decision.

Submit your completed architectural request form to the management company. Incomplete or illegible submittals will be returned to the homeowner.

The Architecture Review Committee (ARC) will review all submissions and the management company will have an answer available to the requesting homeowner within 30 days. If the ARC cannot reach a decision within 25 days, the Board of Directors (BOD) reserves the right to evaluate the application itself and provide a decision to the management company. In the case where an ARC member identifies a potential violation to the guidelines/covenants, any subsequent approval by the ARC members is subject to review by the BOD, which may require additional time for the BOD to review and provide a decision.

Approval of any application or portion thereof does not ensure approval of similar submittals, as each application will be considered on its own merits. Any alterations/deviations after the initial approval will require a new application.

Important Reminders:

- 1 No construction shall begin without written approval.
2. Municipal permits may need to be obtained and will be the responsibility of each homeowner.

3. In planning for construction, allow enough time for processing and approval.
4. All changes must meet municipal specifications.

Maintenance

It is the responsibility of each homeowner to maintain his property so that it is in keeping with community standards.

The following should be reviewed on a regular basis to insure that your home is in good repair:

- A. Landscaping
- B. Driveways and sidewalks
- C. Decks
- D. Fences
- E. Play equipment
- F. Roofing
- G. Siding
- H. Paint or stain
- I. Drainage

Deterioration

If at any time the Board of Directors is made aware of a property that has deteriorated to the point that it is affecting the aesthetics of the community, the management company will make a site inspection.

Depending upon the severity of the deterioration, the homeowner will be given a specified length of time to make the necessary repairs. If after that time, the repairs have still not been made, the Board of Directors will proceed with fines pursuant to North Carolina General Statutes.

Neighborhood Inspections

The management company routinely makes inspections to review the appearance of our community, and to insure compliance with the Covenants and Architectural Guidelines

1. Antennas and Satellite Dishes	
Antennas located in the attic do not require approval. Satellite dishes less than or equal to 18 inches in diameter do not require approval. Guidelines: 1. Preferred location is the rear of the house. 2. Satellite dishes shall not be located within 10 feet of side or rear property lines. 3. It is recommended that satellite dishes installed at ground level be screened from view. 4. All wiring should be concealed.	

2. Awnings	Requires Architectural Approval
All awnings must be submitted for architectural approval. Information Required in Submittal: 1. Plot plan and elevation showing location of awning. 2. Description and sample of material(s) to be used. Guidelines: 1. Fabric is the only acceptable material. 2. Fabric should blend with color of home. 3. Awning may be retractable or stationary. 4. Awning must be attached to the house. 5. Awning must be properly maintained.	

3. Basketball Goals	Requires Architectural Approval
Information Required In Submittal: 1. Plot plan showing location of basketball goal 2. Picture or description of goal. 3. Description and placement of screening, if appropriate. Basketball goals are not permitted in the street or end of cul-de-sacs.	

4. Bright Colors	
Bright or exotic colors on doors, roofs, and other exterior surfaces will not be permitted.	

5. Clotheslines	
Clotheslines are not permitted.	

6. Decks, Patios, Arbors & Lattice

**Requires Architectural
Approval**

Additions or alterations to a deck, patio, arbor, pergola and/or similar structure require architectural approval.

1. Deck Materials

- a. Deck material to be pressure treated wood.
- b. The types and treatment of wood shall be like that of fences.
- c. Post may be of brick, pressure treated wood or other suitable material.
- d. Include any landscape plan/screening of the area underneath the deck.

2. Patio Materials

- a. Concrete slabs, broom finish only.
- b. Bricks, with sand fill or grout.
- c. Stone, with sand fill or grout.
- d. Include a landscape plan for the area around the perimeter of the patio.

3. Height of Decks, Arbors, and Lattice

- a. Arbors should be no higher than eight feet above the deck surface.
- b. Freestanding deck screens (e.g. lattice) shall not exceed five feet in height.
- c. Lattice as part of the arbor may extend to the arbor.

4. Locations and Restrictions

- a. Patios should be located directly behind the house, but may not extend around corners.
- b. All decks must be in rear of the house, no side decks are permitted.
- c. Neighboring views will be considered.
- d. Decks or patios may not be constructed within a buffer.
- e. Only exterior material comparable to those on an existing structure and compatible with the architectural character of the community will be approved.
- f. All construction must be in compliance with municipal regulations.

Information Required In Submittal:

1. Plot plan showing the location of the deck or patio, in relationship to other structures and property lines.
2. Elevation drawing(s) showing style of deck or patio, including railings, steps, etc.
3. Description of material being used, including samples of stain or paint if applicable.

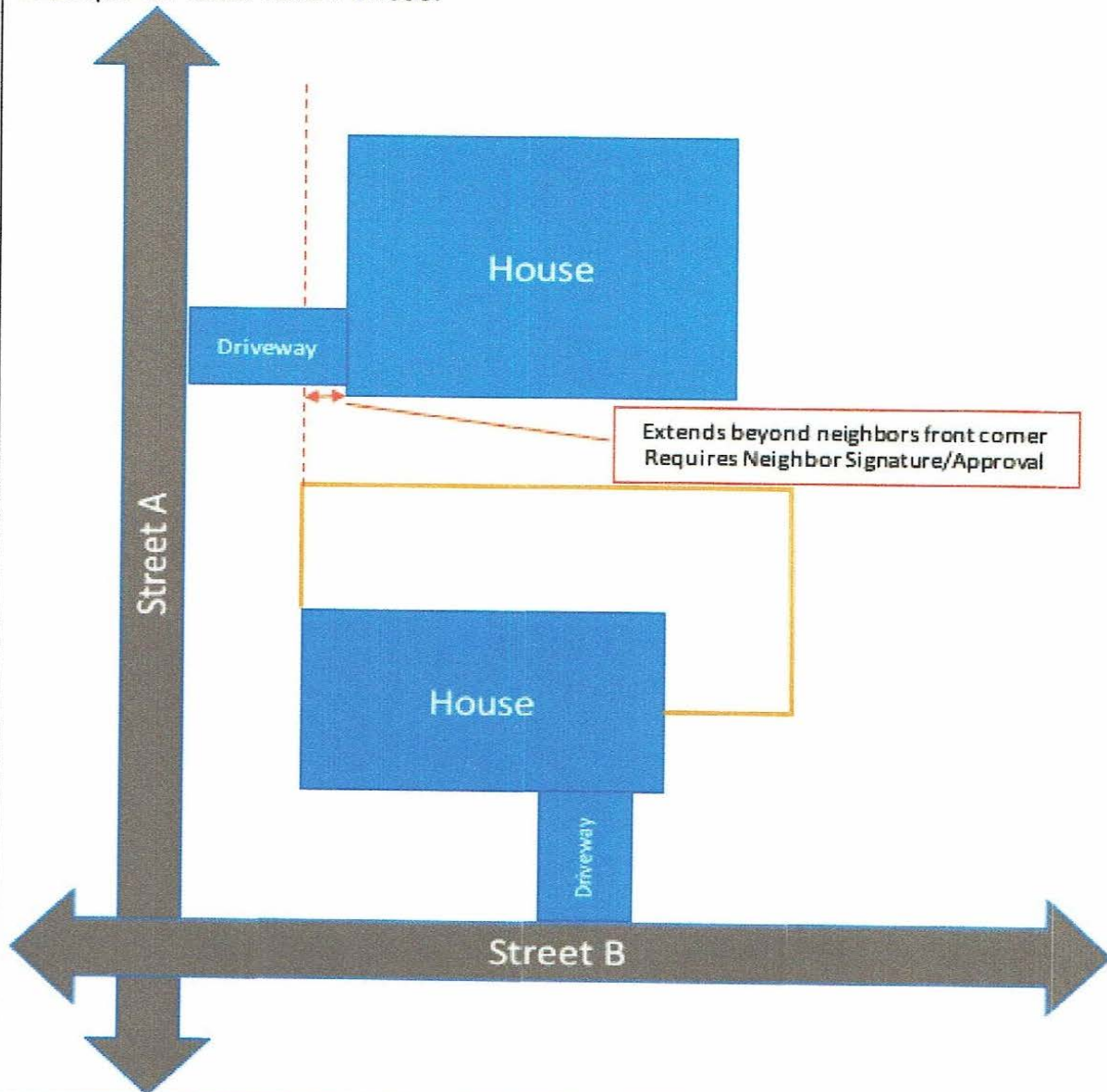
7. Dog Houses	
1. Must be properly maintained. 2. Limited to one doghouse per home. 3. Must be located behind home so as not to be visible from front of home. 4. Dog runs are not permitted.	

8. Driveways and Parking Pads	Requires Architectural Approval
Any parking pads or changes to driveway require architectural approval. Location and Restrictions 1. Driveways and vehicle parking pads should be concrete in broom finish only. Any other type of pad (i.e. brick, stone, etc.) shall be reviewed on an individual basis. Aggregate base, thickness, reinforcement, and etc. should comply with good construction practices. 2. Close attention must be paid to structure placement, setback and encroachment onto buffer areas, association owned common property, and neighboring lots. Information Required in Submittal : 1. Plot plan showing location of driveway or parking pad. 2. Elevation drawing(s) showing the measurements of the parking pad, such as length and width, and any landscaping that will be added along the perimeter. 3. Detailed description of materials used and type of finish.	

9. Fences	Requires Architectural Approval
Guidelines: 1. Styles: Choose from the following pre-approved wood and aluminum fencing styles from pages 32-35. If a style is not illustrated that a homeowner wishes to use; then any proposed fence style will be evaluated on a case by case basis by the architectural review. Prefabricated vinyl fences are not allowed. See attached illustrations. Recommended fence height is 4-6' and the highest point of any fence may not exceed 6'. Not including standard or Designer Caps on posts. 2. Spacing: For all wooden fences. The spacing of vertical boards should be properly placed continuously throughout and aligned accordingly to the fence's style being installed, maintained or repaired, 3. Color: Wooden fences may be natural or stained. If stained, color must be submitted for architectural review. Aluminum fencing must be black in color. Color must be consistent with the neighborhood. Homeowners should allow appropriate time for wood to cure before completing the project. 4. Materials: a. Fence to be constructed of wood or aluminum b. Electric Fencing must follow all setback guidelines; electric fences cannot be installed in the front yard. b. No wire or chain link fences allowed 5. Height: a. Fence may be 4 to 6 feet in height, b. The maximum height at any point should not exceed 6 feet. c. A uniform height is to be maintained parallel to the ground line 6. Location/Setbacks: a. Side Fences may be of equal distance on both sides but cannot exceed past the very front corner of the house. Front corner of house Not to mean or imply including Porch or Garage.	

- b. Setback – Homeowners sharing a property boundary may jointly decide to share a fence, in which case the fence should be placed on the property boundary. Otherwise, non-shared fences must be set back at least six inches from the property line to allow for separate fence construction and maintenance.
- c. Side yard fences on corner lots may NOT exceed more than 20 Feet from the street curbing.
- d. Side yard fences on corner lots must align Horizontally with the very front corner of the house when starting or ending at that corner, regardless of the position of the house on any particular Lot.
- e. If the proposed side fence location will extend beyond the front edge of the impacted neighbor's house behind, an approval will be required by the impacted neighbor.

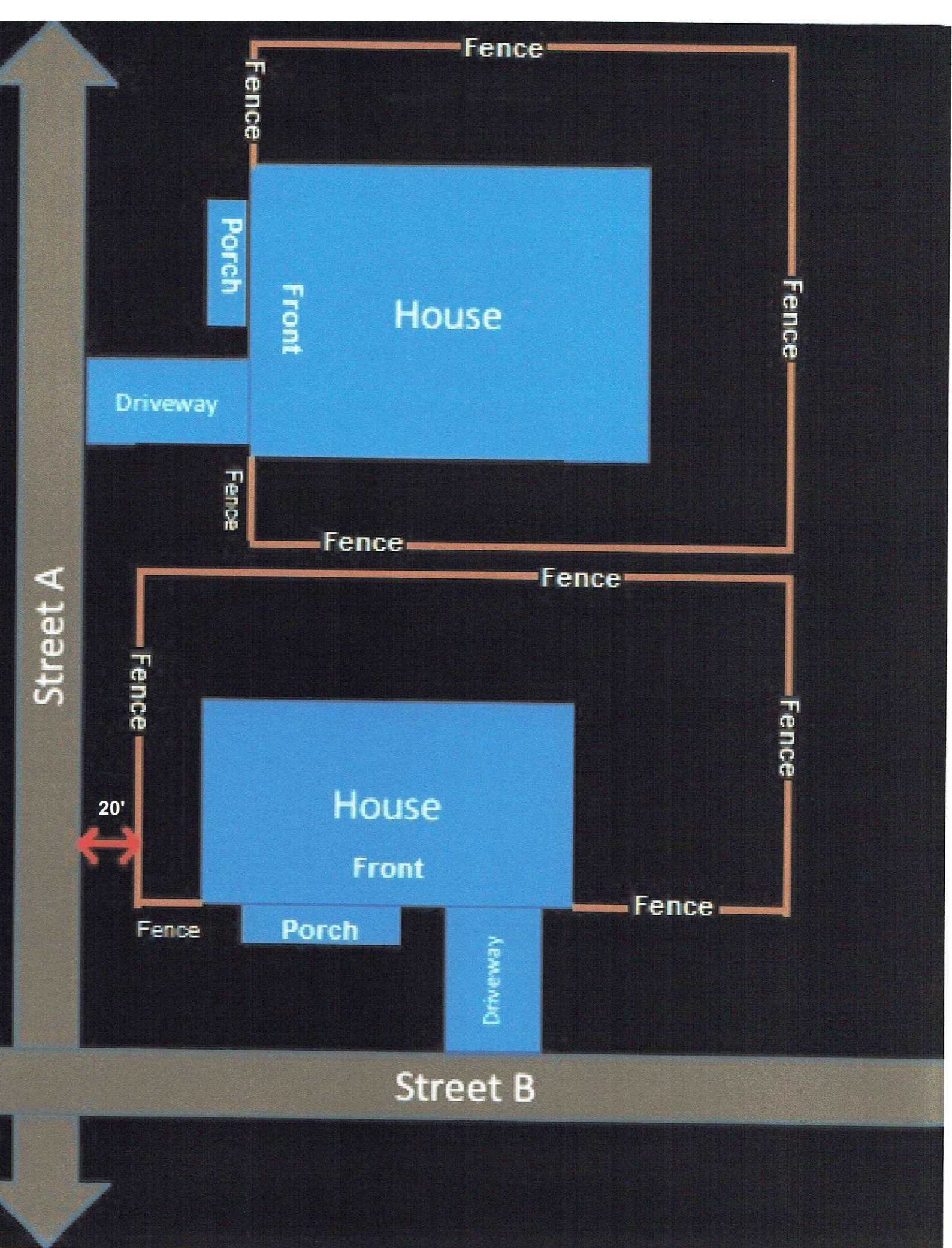
Example for Side Yard Fences:



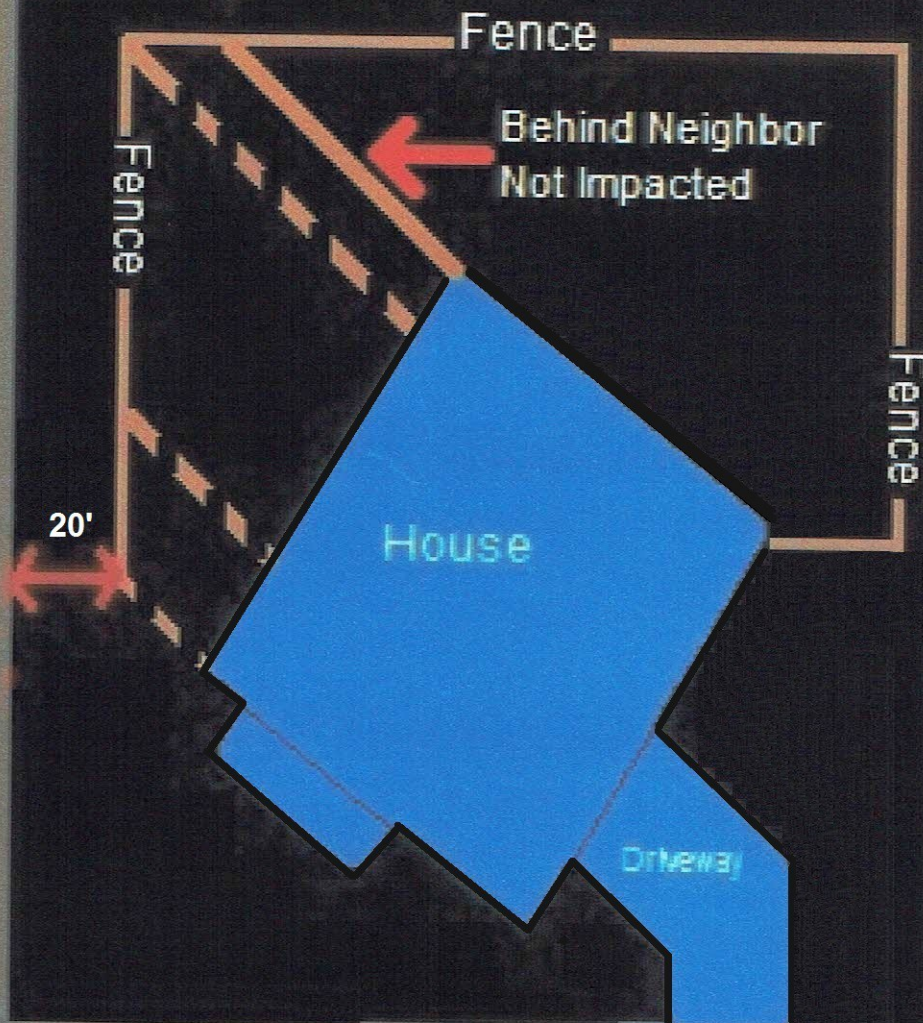
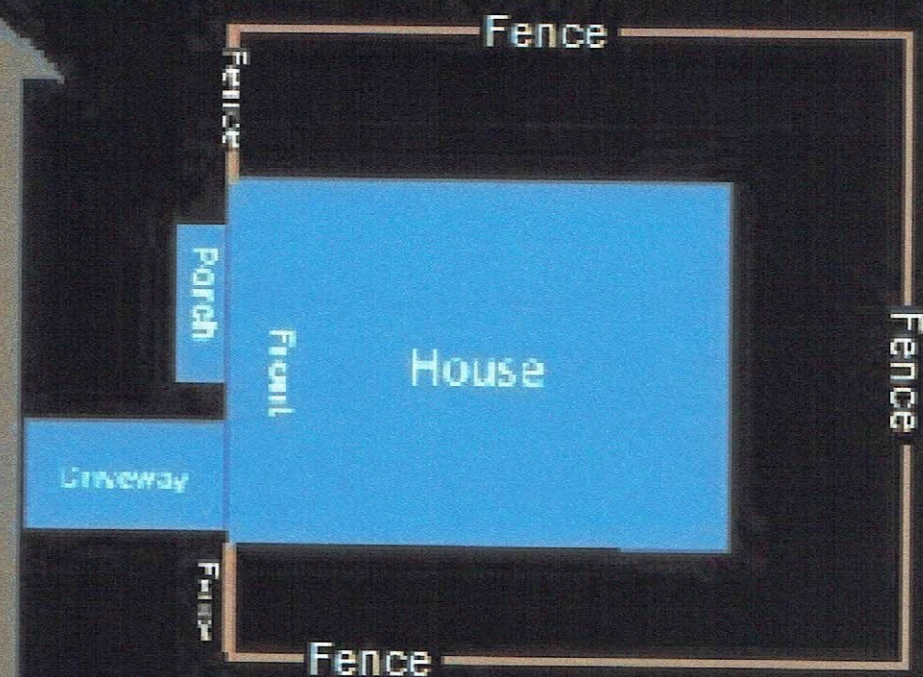
- e. Property owners are cautioned that building a fence that infringes on easements or access to right-of-ways may result in the destruction or removal of the fence.

7. Landscape Screening Requirements:

It is important that the requesting homeowner check with the municipality to determine the screening required for their particular fence installation.



Street A



Street B

Example of fence running Horizontal in allowable Different Positions Not exceeding the 20 Feet to curb. With Signature/Approval from Behind Impacted Neighbor



Existing topography and landscaping within a buffer shall not be disturbed. Construction within a buffer area may require approval from the municipality.

8. Construction Details:

- a. All hardware is to be galvanized.
- b. All posts must be 4x4 or 6x6 with diamond style/gothic top or round ball top.
- c. All holes must be appropriate depth to secure proper stability of the fence.
- d. All posts must be set in concrete.
- e. The finished side of any wood fence must face the adjoining lots.
- f. All pickets must be of uniform height. They must be vertically plumb, follow the contour of the ground and be parallel to the vertical line of the house.
- g. Pre-fabricated fences are prohibited.
- h. Three sided fences that do not fully surround a Lot's rear and side yard are prohibited. All fences must form a closed loop with the domicile.

9. Maintenance:

Maintenance of the fence is the responsibility of the property owner.

10. Evaluation Criteria:

In addition to these constraints, any proposed fence will be evaluated on a case by case basis for aesthetics (fence material and style). For example, solid walled fences have a more obtrusive aesthetic impact than fences which allow for spacing on the pickets (i.e. stockade style vs. picket).

Information Required In Submittal:

1. Plot plan to indicate the exact location of the fence in relation to the house and property lines.
2. Side view elevation must be included.
3. Detailed description of material to be used (lumber type, hardware type, specs, etc.).
4. Fence dimensions must be included.
5. Gate locations, dimensions and hardware information must be included.

Process

- a. Each installation will be examined on its own merit.
- b. No construction shall begin without the written approval from the Architectural Committee.
- c. Allow enough time for processing and approval in planning for the construction.
- d. All approvals are valid for 6 months from the date of the approval.

If you have a question regarding the Municipal Ordinances for fences, buffers, etc., please call the municipality.

10. Garbage Cans
a. Garbage containers shall be kept in the residence, garage, behind fencing or shrubs on days when no collection is scheduled. Garbage containers may not be left at curbside for more than 24 hours, and should not be visible from the street. b. Corner Lots with NO fencing or screening will be allowed to keep garbage containers in front of Garage. If the corner Lot has fencing or screening adjacent on either side of the house, then the Corner Lot MUST comply with section 10.a.

11. Home Size	
1. No building shall exceed two and one half stories in height (excluding basement and attic). 2. Each residence shall have an attached 2-car garage. 3. Each residence's enclosed floor area of the main structure shall be a minimum of 1500 sq ft. for a two story and 1400 sq ft. for a one story (excluding garages, open and screened porches, decks, terraces, patios and chimneys).	

12. Landscaping	Requires Architectural Approval
Minor landscaping such as naturalization of an area of the yard or adding low growing shrubs and bedding flowers does not require approval, <i>unless adjacent to property lines, or if it changes the contour of the land.</i> All major landscaping projects such as mass plantings and/or hedges must be submitted for approval. All projects that change the contour of the land, impact the grading, or are adjacent to a property line, or may obstruct a neighbor's view, will require architectural approval. Also, any major grading changes, tree replacement or large hedges (for visibility reasons) must be submitted for approval. Information Required In Submittal: 1. Plot plan showing location of proposed landscaping. 2. Landscaping plan and description of plants.	

3. It is the sole responsibility of the property owner to insure that nothing is done to negatively impact a neighbor via an altered flow of water, drainage, etc.

Guidelines:

1. Hedges and Screened Plantings:

- a. No hedge or screen planting shall be erected on any lot closer to the front lot line than the front of the house.
- b. If a landscape hedge or screen will form a barrier between properties, setbacks will be required in order to accommodate plant growth.

No changes or modifications can be made to common property.

13. Mailboxes	
1. All new mailboxes or replacement of deteriorating mailboxes must conform to the approved mailbox design of Northampton. 2. Plantings around the base of the mailbox are allowed, provided they meet the architectural guidelines for landscaping.	

14. Painting of Exterior House	Requires Architectural Approval
All color changes must be submitted for approval. Information Required In Submittal : 1. Color samples of all paints being used. 2. Clear description of color of siding, shutters, door and trim. Items Not Requiring Architectural Approval: 1. Periodic repainting and re-staining of the existing color for maintenance does not require approval. 2. Brick must remain unpainted except when matching an existing painted brick exterior.	

15. Parking	
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Overview:

Maximum of 2 vehicles parked in the driveway overnight.

Overnight parking on the street is not allowed.

Vehicles may only be parked in the driveway, garage, or an approved parking pad. Vehicles may not be parked elsewhere on a lot.

Commercial Vehicles, boats, trailers, etc. must be kept in the garage.

Motorized dirt bikes, off-trail vehicles, 3-wheel vehicles or go-carts are not permitted on public streets, or any portion of the common property.

Specific Parking Policy:

As stated in the Restrictive Covenants for Northampton subdivision, Vehicles may be parked or stored only on portions of a Lot improved for that purpose, i.e., garage, driveway, carport, or parking pad. No unenclosed parking shall be constructed or maintained on any Lot except a paved driveway and an attached paved parking pad, which pad shall be designed for the parking of not more than two (2) vehicles. Any driveway or parking pad constructed upon any Lot shall have a concrete surface.

No mobile house trailer (whether on or off wheels), vehicle or enclosed body of the type which may be placed on or attached to a vehicle (known generally as (campers)), tractor trailer trucks or cabs, or commercial vehicle of any kind shall be parked on any street within the subdivision. No boat or boat trailer shall be parked on any street within the subdivision. A boat and/or boat trailer may be parked or kept on a Lot if it is parked or kept in such a manner that they screened from the street. Screening may be either by fence or plantings, but, in any case, the screening must comply with the Zoning ordinance and be approved pursuant to Article VIII of the Declaration.

No vehicle of any type which is abandoned or inoperative shall be stored or kept on any Lot in such a manner as to be seen from any other Lot, any street within the Subdivision or the Common Area, and no automobiles or mechanical equipment may be dismantled or allowed to accumulate on any Lot.

Parking Pads – Proposed changes in driveways or parking pads are to be submitted for review. Materials used must be consistent with the driveway; typically, concrete with broom finish.

16. Roofs (New & Replacements)	Requires Architectural Approval
Must be submitted for approval. Guidelines: 1. Roofing material for main roof must be made of standard asphalt style or Architectural style shingle. 2. Main roof may not be replaced with any non-asphalt style roof. 3. Color of shingle should be consistent with style and colors within the neighborhood. 4. For accent roofs, (small roofs) a painted copper material is permitted and color choices will need to be submitted for approval. 5. For accent roofs which want to use metal material other than painted copper, material and color will need to be submitted for review and approval. Information Required In Submittal: For asphalt based roofs: 1. Type of shingle to be used on roof. 2. Color choice of asphalt shingle to be installed. For accent roofs: 1. Type of material to be used on accent roof. 2. Color choice of accent roof to be installed. For new roofs: 1. A picture of property and existing structure with location marked of new roof (if this is an addition to the property). 2. Type of material to be used on main or accent roof. 3. Color choice of asphalt shingle or accent roof material to be installed.	

17. Screened Porches/Additions	Requires Architectural Approval
Must be submitted for approval. Guidelines: 6. Must be of same material, style and color of existing home. 7. Roof must have a pitch consistent with that of the house. 8. Roof must have same shingle style and shingle color as the house. 9. Siding material must be of same composition as that of the house. 10. Must be built with standard stick constructed methods. Pre-fabricated panels are not permitted. 11. Must be located on the rear of the house only. 12. Must meet 10-foot setbacks from all property lines. 13. Be sure to obtain appropriate permits and inspections as required by the municipality. Information Required In Submittal: 4. Plot plan indicating location of addition/porch. 5. Construction/builder plans. 6. Side view and back view elevation drawings. 7. Detailed description of all material to be used.	

18. Sheds	Requires Architectural Approval
Guidelines: 1. Siding material must be the same color and composition as the home. 2. Roof must have a pitch consistent with the house. 3. Roof must be of the same materials and color of the home. 4. Sheds must have a suitably constructed floor system and/or foundation . 5. Maximum size is 120 sq ft. (10 x 12) 6. Detached sheds must be located behind the home, so as to be screened from view of the street. Sheds must be at least 10' from neighboring property lines. 7. Sheds exceeding one single story in height are prohibited. Play Houses: Must meet the above criteria. Plastic is not allowed.	

19. Skylights, Attic Fans, Window Units	Requires Architectural Approval
Skylights or attic fans that alter the exterior appearance of the roof must be submitted to the Architectural Committee for approval. Information Required In Submittal: 1. Plot plan showing the location of the addition. 2. Description of style, size and materials to be used. Guidelines: The addition of a skylight/attic fan must be located in the section of roof facing the back of the lot. AIR CONDITIONING/WINDOW UNITS: 1. Window or Exterior Wall Air conditioners/ Evaporator Coolers or Swamp Coolers are Not Permitted to be Installed or Temporarily Placed in Window of Home. 2. No part of any House Exterior Wall may be modified for Installation of such unit. Not meaning to include an Additional Central Air Unit. 3. If there is a Medical Necessity or because of a Central Air Unit Failure. Homeowner must contact the Management Company to seek any and all board considerations.	

20. Solar Collectors	Requires Architectural Approval
All solar collectors require approval. Information Required In Submittal: 1. Drawing showing location of unit on the roof. 2. Plot plan showing visibility from the street and neighboring lots. 3. Photo of the collector. Guidelines: 1. Solar collectors must be installed so as to be as inconspicuous as possible. 2. Whenever possible collectors should be placed on the rear of the home or on the side that has the least public exposure. 3. Collectors should be attached only to the roof, not free standing or ground mounted. 4. Every effort must be made to camouflage the plumbing and supports for the collectors. This camouflaging may require completely encasing the collectors. All metal parts should be painted to match the roof coloring. There should be a minimum exposure of piping with no piping running down the side of the dwelling. 5. The ideal installation is one that is laid flat on the roof. 6. Any tree removal required to allow increased solar exposure to the collectors, must adhere to the tree removal guidelines. 7. No topping or removal of trees on association common areas and/or greenways shall be allowed.	

21. Stone Walls/Retaining Walls/Raised Flower Beds

Requires Architectural
Approval

Information Required In Submittal:

1. Plot plan indicating location of the stone wall, retaining wall or flower bed.
2. Drawing of side view with clear detailing of width dimensions.
3. Drawing of front view with clear detailing of Height and Length dimensions.
4. Detailed description of material used.
5. Picture of Brick, Natural Stone or Concrete Retaining Wall Blocks being used.

Guidelines:

1. Must be constructed by either Brick, Natural stone or Concrete Retaining wall block.
2. All Brick, Stones, or Concrete retaining wall blocks must be level.
3. If a stone veneer is being used then it must be built in conjunction with a solid core to work as the inner wall usually done by CMU Block (concrete masonry unit, common name Cinder block)
4. Retaining walls are permitted to hold back land on either side of property line or off rear property line.
5. Must accommodate for all proper drainage and runoff.
6. May require engineering design and municipal permits

Raised Flower beds:

1. In front of house may not exceed 24 inches High and 36 inches wide.
2. Must be constructed by Brick, Natural stone or Concrete Retaining wall block.
3. Sides of Flower bed must be attached to either the front porch, along sidewalk, along edge of driveway, around tree with no more than 36 inches inside perimeter from exterior of tree stump, extend around mail box post no more than a 30 inch inside perimeter.
4. If a Flower bed is greater than 24 inches high. It will be considered using a Retaining wall and must follow the additional specifications to build a retaining wall; sides of bed must be attached to front porch or front of house.
5. No Front Flower Bed of any height or width can go past side of house nor wrap around side of house

The Architectural Committee can deny any Retaining wall or Flower bed if they feel it violates the Continuity of the Community as described in our covenants

22. Storage

Guidelines:

1. No trade materials or inventories may be stored upon residential lots
2. Temporary storage of materials for modification projects should be discreetly placed and orderly maintained
3. All toys, tools, ladders, lawn mowers, etc. are to be stored inside the residence
4. Storage Utilized under a deck must have lattice or landscaping to screen the view from neighbors and streets

This Version 7.0 Effective April 13th, 2021. Replaced Prior Version 6.0 Dated September 2nd 2020

23. Swimming Pool and Hot Tubs	Requires Architectural Approval
All in-ground swimming pools and all hot tubs must be submitted for approval. No above ground pools will be permitted. Information Required In Submittal: 1. Plans and specifications showing the nature, kind, shape height, materials, and location must be submitted. 2. Plot plan showing the location of pool or hot tub. 3. Plan for screening (fencing or live screening). Guidelines : 1. Any wood support structure must be the same color as the house or deck, 2. Pool or hot tub cannot be located within a buffer or easement. 3. All Health Department regulations must be met. 4. Pool or hot tub must be screened from street view. 5. Hot tub cannot be freestanding; it must be adjacent to the house.	

24. Swing Sets, Playhouses, Jungle Gyms	Requires Architectural Approval
All permanent play equipment must be submitted for architectural approval, <i>prior to installation</i>. Information Required In Submittal: 1. Plot plan showing location of play equipment and distance from the property lines. 2. Drawings or pictures of the play equipment. 3. Description of the materials to be used. Guidelines: 1. Permanent play equipment must be installed so as to be as inconspicuous as possible, and should be placed to minimize views from all streets. The equipment cannot be placed closer than 10 feet to any property line. The preferred location is in the rear, directly behind the house, but each request will be reviewed on its own merit. The 10 ft setbacks are a requirement of the municipal zoning ordinances. 2. The Architectural Committee reserves the right to request that a homeowner remove play equipment if surrounding neighbors complain about disrepair (disrepair constitutes noticeable missing and/or broken parts, rust and/or peeling paint). A site inspection will be conducted by the Management Company to verify if the complaints are valid and if action needs to be taken. 3. The Architectural Committee may require screening along the property lines in order to block the view and/or noise from neighboring lots. This requirement will be decided on an individual basis due to differing lot plans. 4. Non-permanent play equipment must be stored out of sight each day so that it does not detract from the neighboring surrounding Other Play Equipment: Must be submitted for approval and will be reviewed on an individual basis. Must meet the above requirements. Bright colors are not allowed. Screening may be required.	

25. Tree Removal	Requires Arcitectural Approval
If a tree on your property is dead, diseased or poses an imminent threat or danger to a person or a property, it may be removed without approval. If a tree in the common area poses a danger, please contact the management company. You must receive approval to remove living trees that are 4 feet in height or greater and/or 6 inches in diameter or greater. You may be required to replace any trees that are removed. Information Required In Submittal: 1. Plot plan showing location of tree. 2. Explanation of reasoning for removal of the tree. No tree from the common area may be removed without express written consent from the Board of Directors. If you wish to remove a non-threatening tree from common area, please contact the Management Company to be placed on the next board meeting agenda for review of the situation.	

26. Vegetable Gardens	Requires Arcitectural Approval
Guidelines: Flower gardens located in the rear portion of a lot and a minimum of 10 feet from the property line do not require approval. Architectural Committee approval is required for any vegetable garden. Vegetable garden / Vegetable garden boxes may be constructed of treated wood not higher the 12 inches in height, 4 feet wide and 8 feet long. Minimum 10 feet from the rear and side property lines. Maintenance of gardens is required. Excess debris must be removed at the end of the gardening season. No compost piles are allowed on any portion of the property.	

27. Holiday Decoration, Flags, Signs

HOLIDAY-DECORATIONS:

1. Holiday Seasonal Decoration is permitted with the restriction that it is displayed no longer than four weeks before and after the Holiday. Thoughtful consideration should be given to the multi-cultural residents of the neighborhood and decorations and/or lighting should not cause adverse impact to adjacent neighbors.

FLAGS:

1. Recognizing that Flags are a Symbol of Patriotism and Celebration for a Country, State, Team, School or Holiday Season, the ARC will allow the maximum of Two Flags at full Mast at the same time if attached or mounted to the front of house. The Flag Pole may not exceed 72 inches in length. The Flag itself may not exceed 60 inches x 36 inches in size. In Respect for the American Flag and all other Flags all Must Include Proper Method of Care and Display.

2. Garden Flags for Seasons, Holidays. Occasions and Themes may be located on lot, spiked into the dirt with a maximum size of 12.5 inches x 18 inches.

SIGNS:

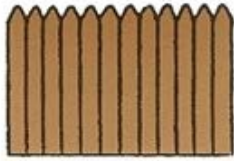
1. SEE RULE LISTED IN OUR RESTRICTIVE COVENANTS.

Northampton Fence Styles

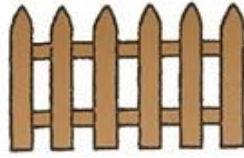
Version 2

October 30, 2023

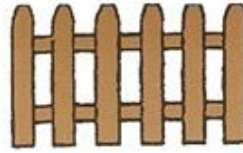
Wood Fence Styles



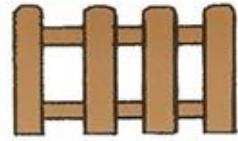
STOCKADE



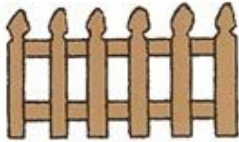
REGULAR POINT



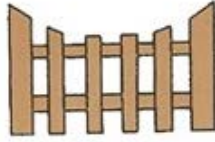
MODIFIED POINT



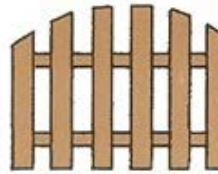
DOG EAR CUT



GOTHIC POINT



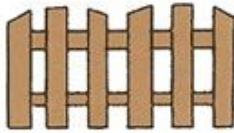
SINGLE CONCAVE



SINGLE CONVEX



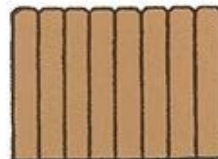
DOUBLE CONCAVE



DOUBLE CONVEX



REGULAR POINT



DOG EAR CUT



GOTHIC POINT



ALTERNATING
GOTHIC



CONCAVE



CONVEX



DOUBLE CONCAVE

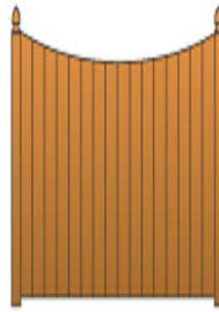
Photo Examples with style Names



Dog Ear Privacy



Arch Privacy



Scallop Privacy



Traditional



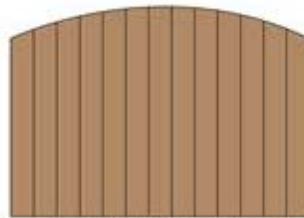
Stockade



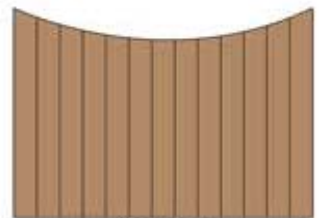
Shadowbox



Framed



Arched



Scalloped



Space Picket



Solid Space Picket



Gothic Space Picket



Concave Space Picket



Single Concave



Single Convex



Double Concave



Double Convex



Solid Board Picket Top



Solid Board Dog Eared Top



Solid Board Gothic Top



Solid Board Alternating Top



Board on Board Convex Top



Board on Board Concave Top



Board on Board Dog Ear Top



Board on Board Picket Top



Board on Board Flat Top

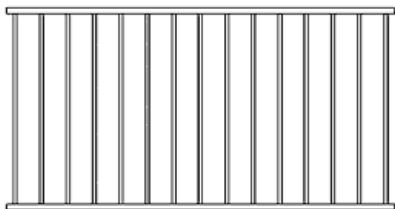


Board on Board Gothic Top

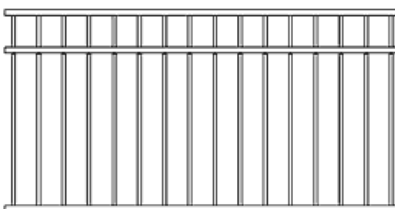
Some Photo Examples for Illustration Purposes Only



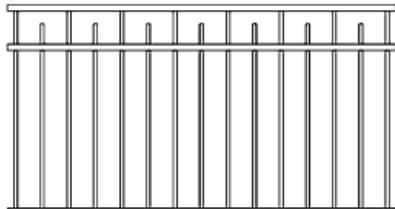
Aluminum Fence Styles



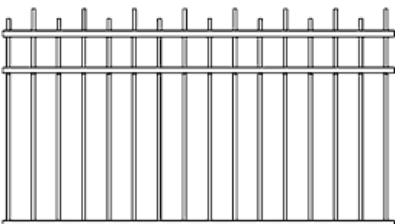
Fence Style 1



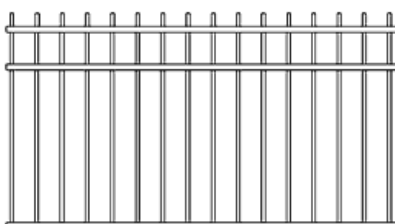
Fence Style 2



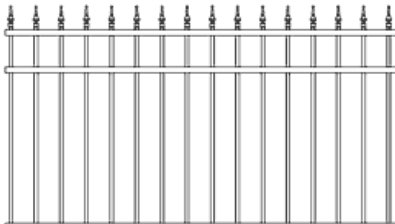
Fence Style 3



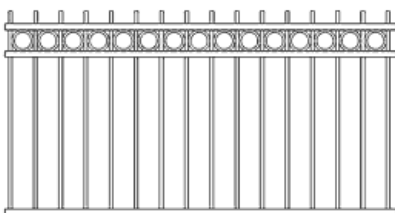
Fence Style 4



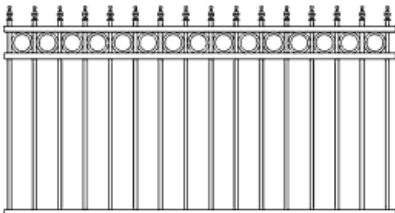
Fence Style 5



Fence Style 6



Fence Style 7



Fence Style 8