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take a different look at design

The Kenilworth

Lot 4 Colby Crossing
Apex, North Carolina



vin|yet designs

06.14.24

Issued for Permitting

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The Kenilworth
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Apex, North Carolina

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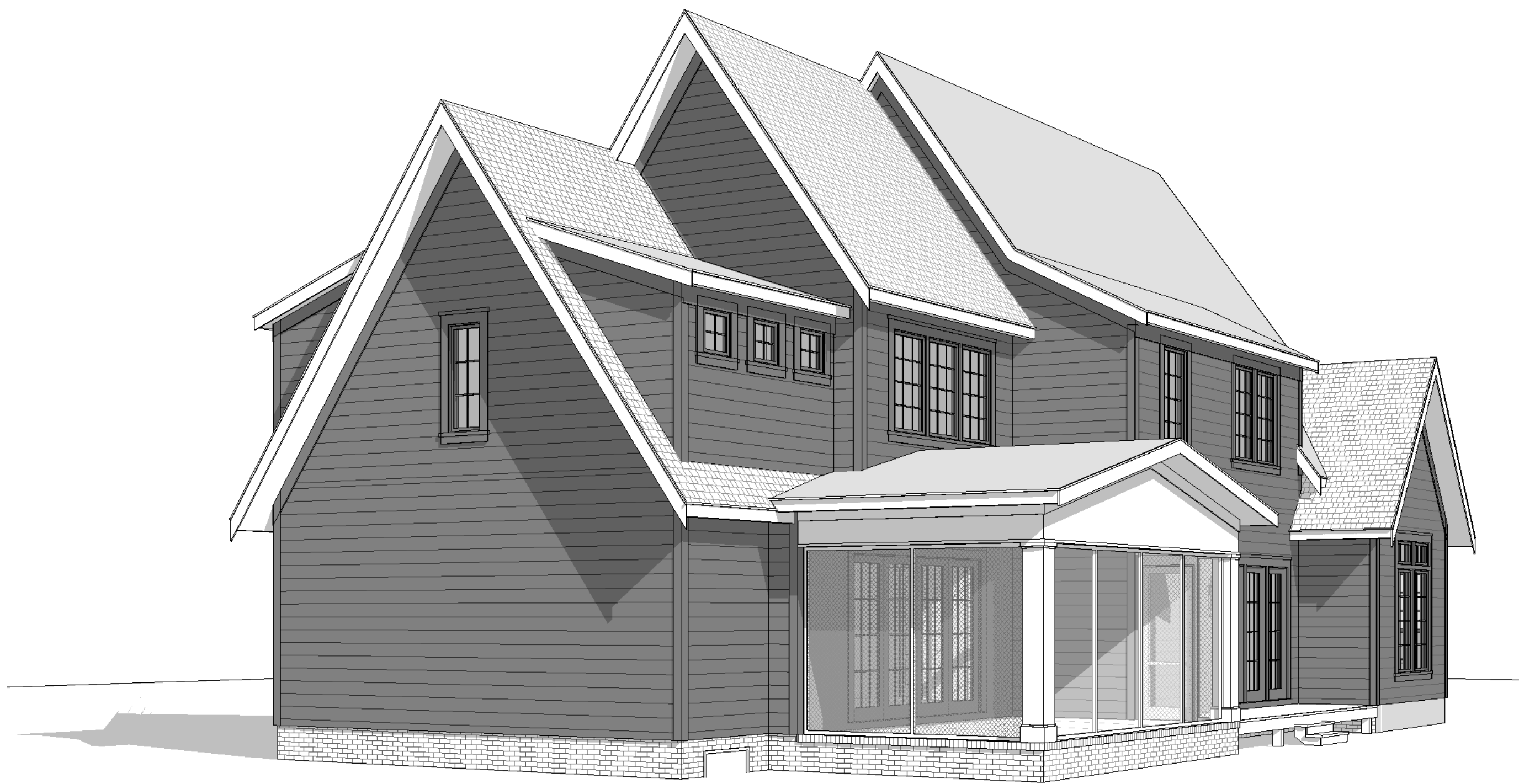
Signature: *R. Justin Smith* Date: 06.14.24



1
G001 | Perspective One



2
G001 | Perspective Two



3
G001 | Perspective Three



4
G001 | Perspective Four



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The Kenilworth

Lot 4 Colby Crossing
Apex, North Carolina

Perspectives

Revision Date:

Project Number: D24011
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G001



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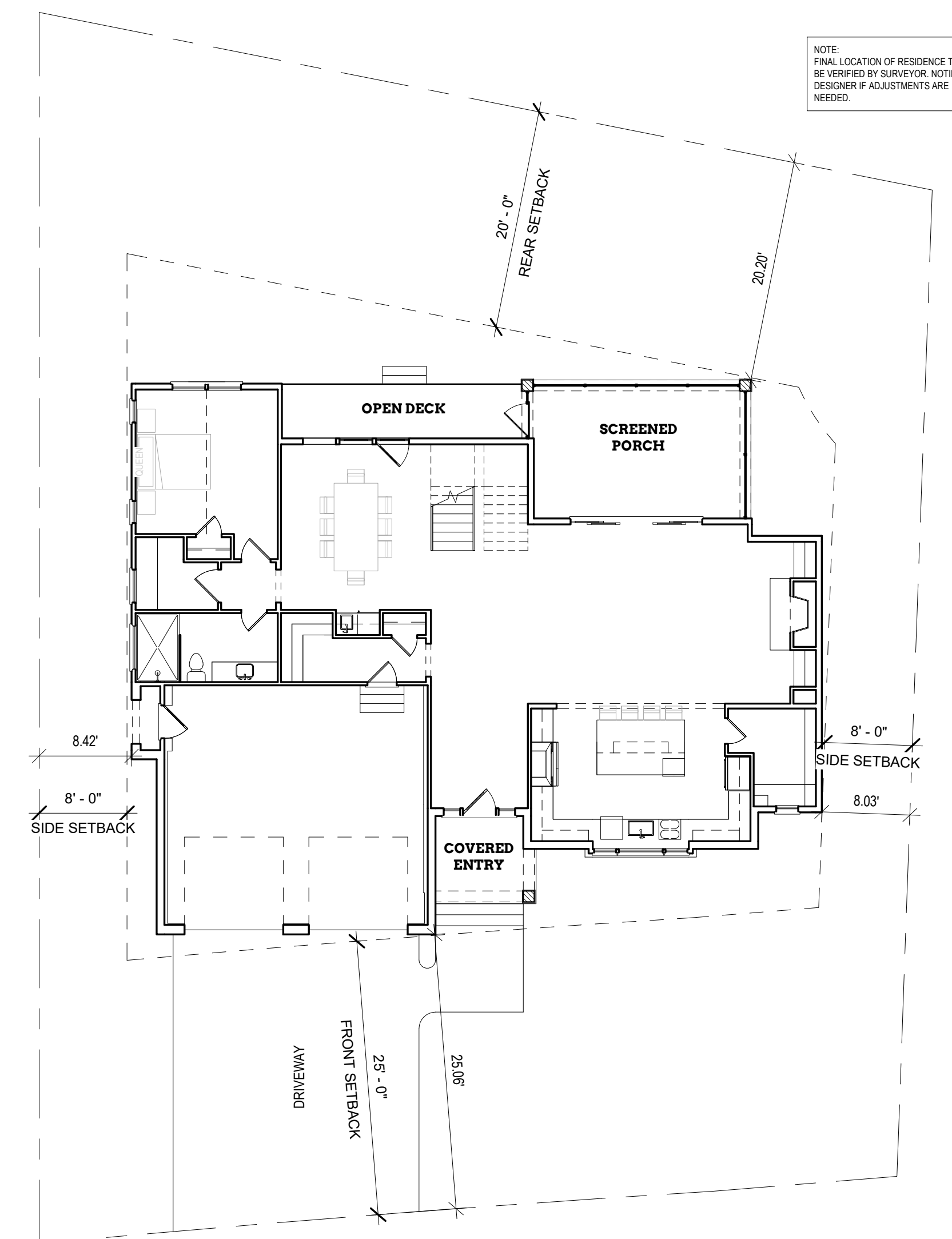
Site Plan

Revision Date:

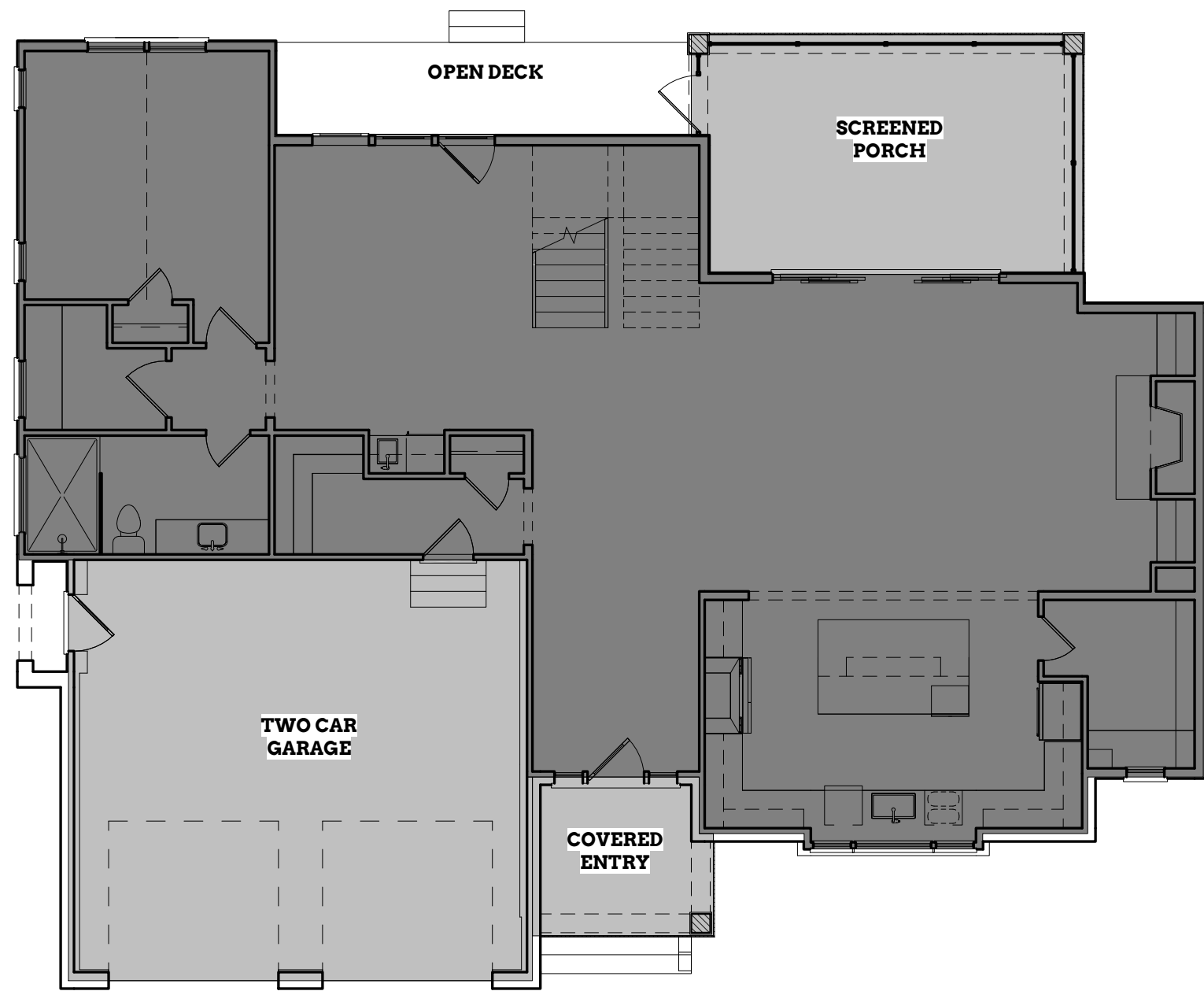
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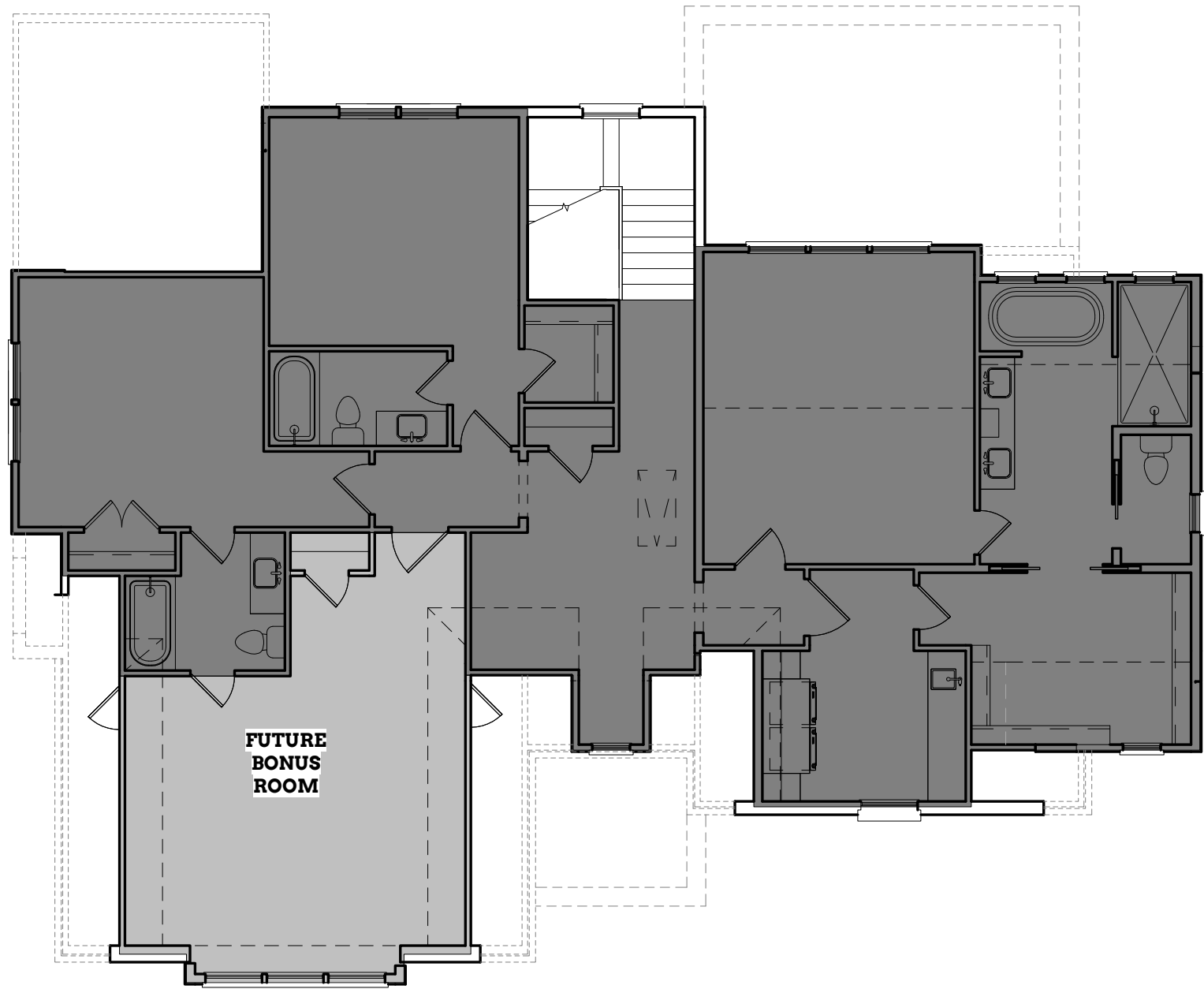
A001



1	Site Plan
A001	1" = 10'-0"



1 First Floor Square Footage
A002 1/8" = 1'-0"



2 Second Floor Square Footage
A002 1/8" = 1'-0"

Square Footage	
NOTE: SQUARE FOOTAGE CALCULATION IS TAKEN FROM OUTSIDE FACE OF EXTERIOR STUD WALL.	
FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT	
DARK GRAY HATCH DENOTES HEATED SQUARE FOOTAGE	
LIGHT GRAY HATCH DENOTES UNHEATED SQUARE FOOTAGE	
FIRST FLOOR HEATED	1754 SF
SECOND FLOOR HEATED	1498 SF
TOTAL HEATED	3252 SF
COVERED ENTRY	79 SF
TWO CAR GARAGE	545 SF
FUTURE BONUS ROOM	361 SF
SCREENED PORCH	257 SF
TOTAL UNHEATED	1242 SF
TOTAL UNDER ROOF	4494 SF
OPEN DECK	111 SF



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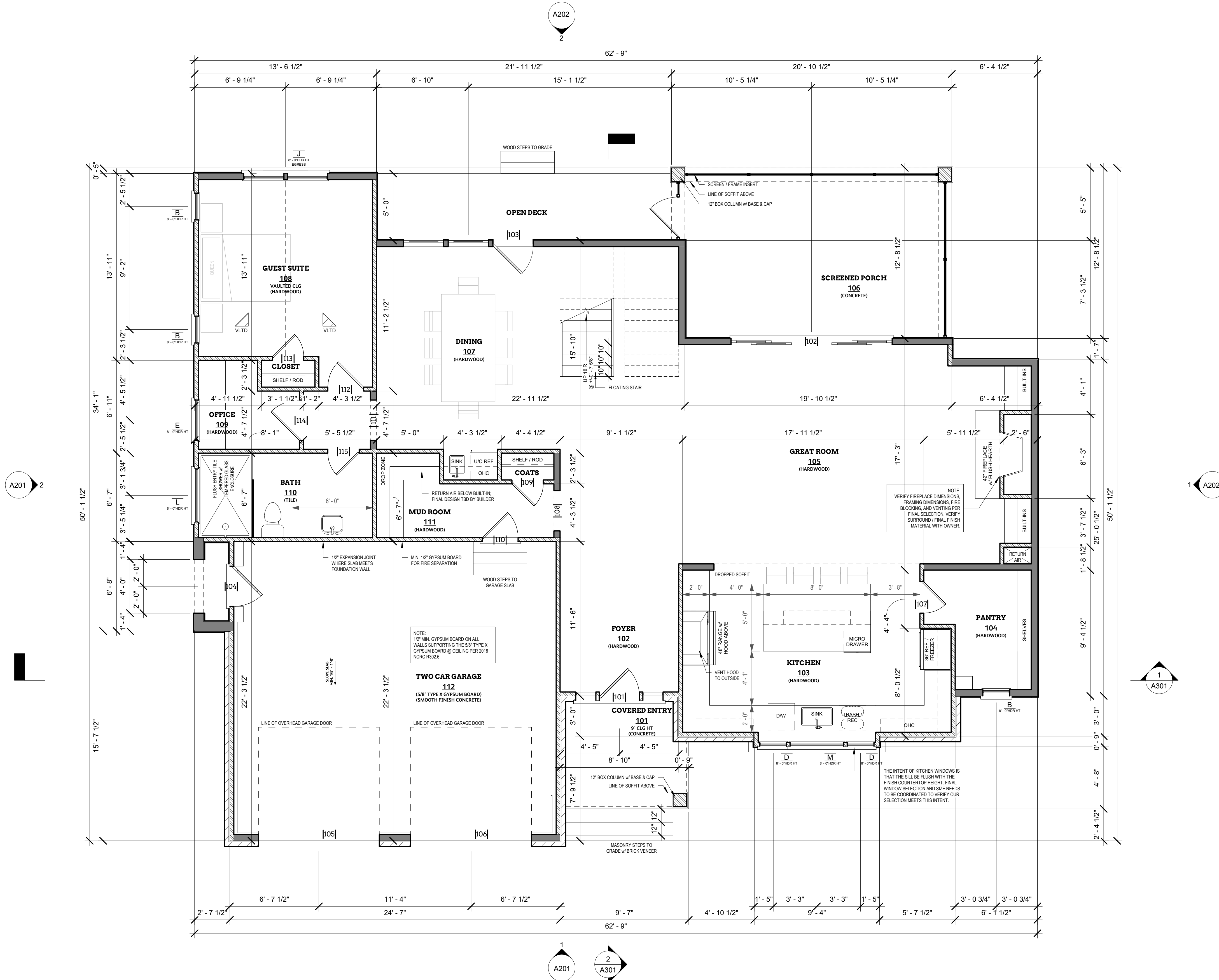
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Lot 4 Colby Crossing
Apex, North Carolina

Square Footage
Revision Date:

Project Number: D24011
Date: 06.14.24
Scale: 1/8" = 1'-0"
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Floor Plan General Notes

- The contractor shall examine and become familiar with all documents in their entirety, survey the project, and become familiar with existing conditions and scope of work. If any discrepancy and/or uncertainty as to what material or product is to be used, verify with the owner or architect.
- All dimensions shown to exterior face of stud at new construction and exterior face of finish material at existing construction (U.N.O.). If any discrepancy and/or uncertainty is found in field, consult designer.
- Ceiling heights are as shown on elevations (U.N.O.)
- Provide Attic Access to meet NCRC 2018 r807.1 (final locations to be determined in field)
- Header heights shown from top of finished subfloor (U.N.O.)
- Coordinate with mechanical for ducts and floor, ceiling or wall registers. Consult designer as needed if modifications to plans are needed.
- Verify final design of all built-ins with owner.
- Kitchen cabinet layout shown for intent only. Final layout to be designed by others.
- All interior plan dimensions are to face of stud. U.N.O. Column dimensions are to centerline of column.
- Where no dimension is given at the door locations, use layout as dimension as indicated.
- Center all doors and cased openings on hallways and closets. U.N.O.
- Contractor shall provide and install all blocking and bracing for casework, accessories, etc.
- Slope all exterior concrete pads min. 1/8\"/>
- Broom finish all exterior concrete slabs (U.N.O.)

Diagonal Hatch Indicates 2x4 Stud Wall @ 16\"/>

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The Kenilworth
Lot 4 Colby Crossing
Apex, North Carolina

Door Schedule - First Floor

Door Number	Width	Height	Family	Type Comments
101	3'-0"	8'-0"	Single Three-Quarter Glass Entry Door with Sidelights	
102	3'-0"	8'-0"	Quad French Glass Sliding Entry Door	
103	3'-0"	8'-0"	Triple French Glass Entry Door with Stud Pockets	
104	3'-0"	8'-0"	Single Three-Quarter Glass Entry Door	
105	9'-0"	8'-0"	Overhead Garage Door	
106	9'-0"	8'-0"	Overhead Garage Door	
107	2'-4"	8'-0"	Single Two-Panel Interior Door	
108	3'-0"	8'-0"	Cased Opening	
109	2'-4"	8'-0"	Single Two-Panel Interior Door	
110	2'-8"	8'-0"	Single Two-Panel Interior Door	Fire Rated per 2018 NCRC R302.5
111	3'-0"	8'-0"	Cased Opening	
112	2'-8"	8'-0"	Single Two-Panel Interior Door	
113	2'-4"	8'-0"	Single Two-Panel Interior Door	
114	3'-0"	8'-0"	Single Two-Panel Interior Door	
115	2'-4"	8'-0"	Single Two-Panel Interior Door	

Window Schedule

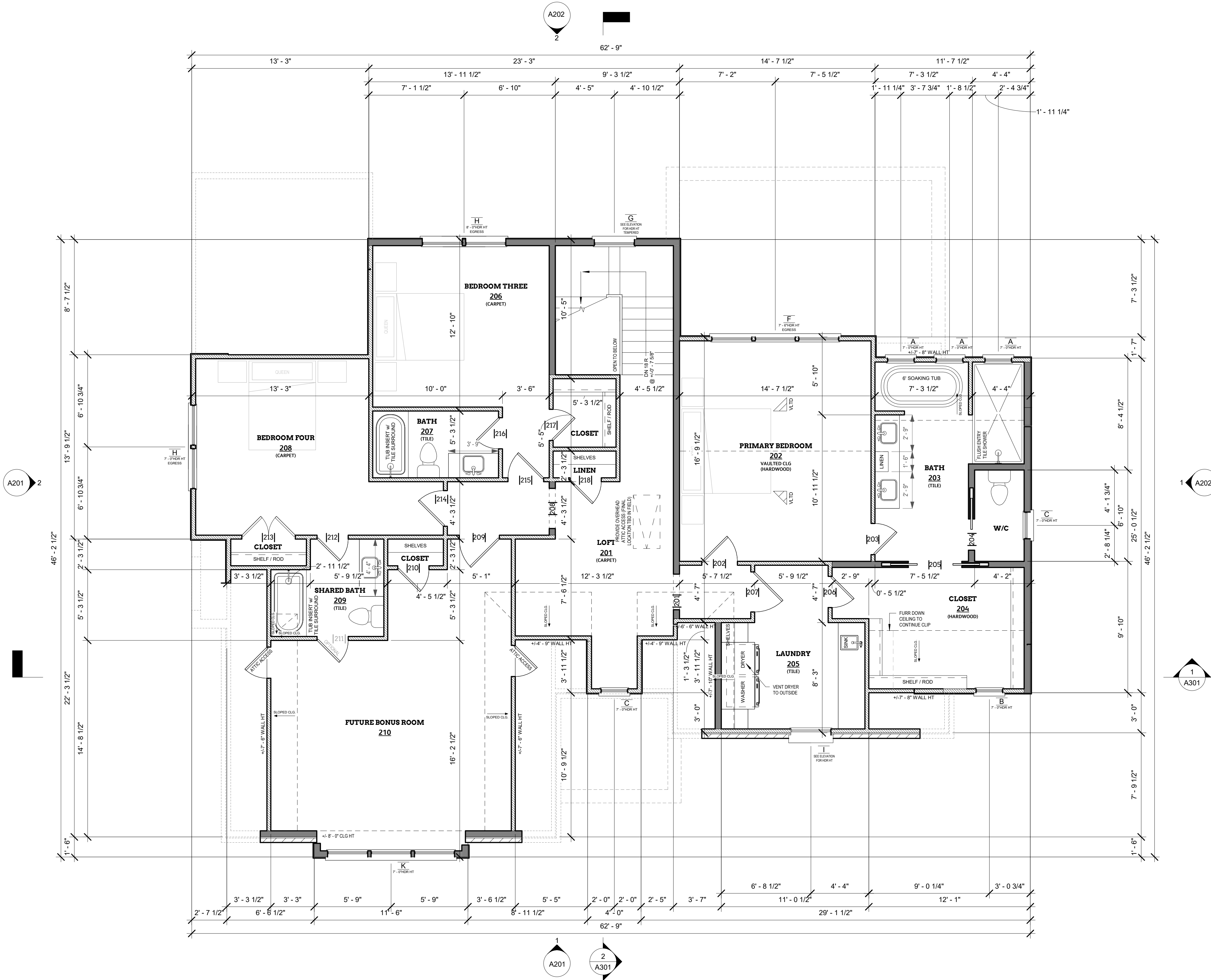
Note: All sizes are nominal. Final window selection rough openings should be coordinated with plans to ensure the design intent is consistent. Builder to verify all egress & non-egress conditions, fall protection code & glazing requirements per code w/ manufacturer selected. All selections to comply w/ 2018 NCRC.
3" Stud Pocket (typ, U.N.O.); 4" Horizontal Mull (typ, U.N.O.)

Type Mark	Width	Height	Type	Notes
A	2'-0"	2'-0"	1 - Fixed Window	
B	2'-0"	4'-0"	1 - Fixed Window	
C	2'-0"	5'-0"	1 - Fixed Window	
D	2'-0"	5'-0"	1 - Fixed Window with Transom with Horizontal Mull	12" High Transom
E	3'-0"	4'-0"	1 - Casement Window	
F	3'-0"	5'-0"	3 - Casement Window with Stud Pockets	
G	3'-0"	5'-6"	1 - Fixed Window with Transom with Horizontal Mull	66" High Transom
H	3'-0"	5'-6"	2 - Casement Window with Stud Pockets	
I	3'-0"	6'-6"	1 - Archtop Fixed Window	
J	3'-0"	6'-6"	2 - Casement Window with Transoms with Stud Pockets and Horizontal Mull	18" High Transom
K	3'-0"	6'-6"	3 - Casement Window with Stud Pockets	
L	4'-0"	1'-6"	1 - Fixed Window	
M	4'-0"	5'-0"	1 - Fixed Window with Transom with Horizontal Mull	12" High Transom

Project Number: D24011
Date: 06.14.24
Scale: 1/4" = 1'-0"
Drawn by: MKS

Sheet

A101



Floor Plan General Notes

1. The contractor shall examine and become familiar with all documents in their entirety, survey the project, and become familiar with existing conditions and scope of work. If any discrepancy and/or uncertainty as to what material or product is to be used, verify with the owner or architect.
2. All dimensions shown to exterior face of stud at new construction and exterior face of finish material at existing construction (U.N.O.). If any discrepancy and/or uncertainty is found in field, consult designer.
3. Ceiling heights are as shown on elevations (U.N.O.)
4. Provide Attic Access to meet NCRC 2018 r807.1 (final locations to be determined in field)
5. Header heights shown from top of finished subfloor (U.N.O.)
6. Coordinate with mechanical for ducts and floor, ceiling or wall registers. Consult designer as needed if modifications to plans are needed.
7. Verify final design of all built-ins with owner.
8. Kitchen cabinet layout shown for intent only. Final layout to be designed by others.
9. All interior plan dimensions are to face of stud. U.N.O. Column dimensions are to centerline of column.
10. Where no dimension is given at the door locations, use layout as dimension as indicated.
11. Center all doors and cased openings on hallways and closets. U.N.O.
12. Contractor shall provide and install all blocking and bracing for casework, accessories, etc.
13. Slope all exterior concrete pads min. 1/8"=12" away from building.
14. Broom finish all exterior concrete slabs (U.N.O.)

Diagonal Hatch Indicates 2x4 Stud Wall @ 16" O.C.
Solid Hatch Indicates 2x6 Stud Wall @ 16" O.C.

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Door Schedule - Second Floor

Door Number	Width	Height	Family	Type Comments
201	2' - 8"	6' - 8"	Cased Opening	
202	2' - 8"	6' - 8"	Single Two-Panel Interior Door	
203	2' - 4"	6' - 8"	Single Two-Panel Interior Door	
204	2' - 4"	6' - 8"	Single Two-Panel Interior Pocket Door	
205	2' - 0"	6' - 8"	Double Two-Panel Interior Pocket Door	
206	2' - 4"	6' - 8"	Single Two-Panel Interior Door	
207	3' - 0"	6' - 8"	Single Two-Panel Interior Door	
208	3' - 0"	6' - 8"	Cased Opening	
209	3' - 0"	6' - 8"	Single Two-Panel Interior Door	
210	2' - 4"	6' - 8"	Single Two-Panel Interior Door	
211	2' - 4"	6' - 8"	Single Two-Panel Interior Door	
212	2' - 4"	6' - 8"	Single Two-Panel Interior Door	
213	2' - 0"	6' - 8"	Double Two-Panel Interior Door	
214	2' - 8"	6' - 8"	Single Two-Panel Interior Door	
215	2' - 8"	6' - 8"	Single Two-Panel Interior Door	
216	2' - 4"	6' - 8"	Single Two-Panel Interior Door	
217	2' - 4"	6' - 8"	Single Two-Panel Interior Door	
218	2' - 4"	6' - 8"	Single Two-Panel Interior Door	

Window Schedule

Note: All sizes are nominal. Final window selection rough openings should be coordinated with plans to ensure the design intent is consistent. Builder to verify all egress & non-egress conditions, fall protection code & glazing requirements per code w/ manufacturer selected. All selections to comply w/ 2018 NCRC. 3" Stud Pocket (typ, U.N.O.); 4" Horizontal Mull (typ, U.N.O.)

Type Mark	Width	Height	Type	Notes
A	2' - 0"	2' - 0"	1 - Fixed Window	
B	2' - 0"	4' - 0"	1 - Fixed Window	
C	2' - 0"	5' - 0"	1 - Fixed Window	
D	2' - 0"	5' - 0"	1 - Fixed Window with Transom with Horizontal Mull	12" High Transom
E	3' - 0"	4' - 0"	1 - Casement Window	
F	3' - 0"	5' - 0"	3 - Casement Window with Stud Pockets	
G	3' - 0"	5' - 6"	1 - Fixed Window with Transom with Horizontal Mull	66" High Transom
H	3' - 0"	5' - 6"	2 - Casement Window with Stud Pockets	
I	3' - 0"	6' - 6"	1 - Archtop Fixed Window	
J	3' - 0"	6' - 6"	2 - Casement Window with Transoms with Stud Pockets and Horizontal Mull	18" High Transom
K	3' - 0"	6' - 6"	3 - Casement Window with Stud Pockets	
L	4' - 0"	1' - 6"	1 - Fixed Window	
M	4' - 0"	5' - 0"	1 - Fixed Window with Transom with Horizontal Mull	12" High Transom

The Kenilworth
Lot 4 Colby Crossing
Apex, North Carolina

Second Floor Plan

Revision Date:

Project Number: D24011
Date: 06.14.24
Scale: 1/4" = 1'-0"
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A102