



Architectural and Landscape Guidelines

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ARCHITECTURAL AND LANDSCAPE GUIDELINES

Introduction

These Architectural and Landscape Guidelines (the “Guidelines”) have been prepared by the Architectural Control Committee (the “ACC”) for the residential communities known as Trinity Creek (“Trinity Creek”). The Guidelines are contemplated in and are promulgated pursuant to that certain Declaration of Covenants, Conditions and Restrictions for Trinity Creek (the “Declaration”). The Guidelines consist of three components: Architectural and Design Guidelines, Landscape Guidelines and Construction Rules, as set forth below. All defined terms used in the Guidelines, as indicated by the initial capitalization thereof, shall have the same meaning ascribed to such terms in the Declaration, unless otherwise specifically defined herein.

The Guidelines shall be employed in conjunction with the Declaration. If there is an express conflict between the terms of the Declaration and the terms of the Guidelines, the terms of the Declaration shall control and prevail; provided, however, the mere fact that the terms of the Guidelines may be more restrictive than the terms of the Declaration, or vice versa, shall not be construed as an express conflict, and in such case the most restrictive provision shall control and prevail. Of course, in the event governmental or quasi-governmental rules, regulations or requirements that are applicable to Trinity Creek are more restrictive or more stringent than the terms of the Declaration and/or the terms of the Guidelines, the applicable governmental or quasi-governmental rules, regulations or requirements shall control and prevail.

Design Philosophy

The Guidelines have been developed to implement the design philosophy of Trinity Creek, namely, to blend structures and residents' lifestyles into a harmonious and aesthetically pleasing residential community which places an emphasis on the preservation and enhancement of the natural beauty of Trinity Creek, and facilitating a community lifestyle. The Guidelines are intended to provide direction to Lot Owners and builders in the planning, design, and construction of residences and related Improvements on Lots. The primary emphasis of Trinity Creek is on quality of design and compatibility among all Improvements, without unduly restricting the ability of Lot Owners to exercise individuality in their choice or design of a residence and related improvements.

The ACC will be open to and encourage creativity, innovative use of materials and design and unique (if appropriate) methods of construction as long as the final result is consistent with the spirit of the Guidelines and the guiding philosophy of Trinity Creek. The authority of the ACC to approve or disapprove plans, specifications and drawings for residences, related improvements and landscape improvements is provided by the Declaration.

The ACC has been created to explain and assist in the design review process as well as to review, approve, or disapprove Plans and Specifications. It is the ACC's objective to maintain an aesthetically pleasing relationship of building to site and building to building and not to restrict individual creativity or preferences. The ACC will use the Guidelines for the purpose of reviewing each design, but the ACC may consider creative and innovative approaches in order to address special site conditions or circumstances, provided such approaches are permitted under the Declaration and are otherwise consistent with the spirit of the Guidelines. The ACC may retain advisory design professionals to serve as members of the ACC to aid in the review of Plans and Specifications.

Future Amendments

The ACC reserves the right to amend any or all provisions of the Guidelines at any time and from time to time, in the sole and absolute discretion of the ACC. Also, the ACC reserves the right to rule on all issues on a case by case basis, taking into account the fact that these guidelines are to be used as benchmarks for policies and procedures, and may be interrupted from time to time by the ACC to reflect certain circumstantial issues.

Prior to commencing the preparation of Building Plans and Specifications and Landscape Plans and Specifications, it shall be the responsibility of each Lot Owner to obtain from the ACC the most current version of the Guidelines (and all amendments thereto). All Building Plans and Specifications and all Landscape Plans and Specifications shall be prepared in compliance with the most current version of the Guidelines (and all amendments thereto) that has been promulgated by the ACC at the time such Plans and Landscape Plans and Specifications are prepared.

ARCHITECTURAL AND DESIGN GUIDELINES

1 Procedures and Approvals

1.1 Architectural Review Process

Prior to the commencement of any construction activity of any type (including any clearing or grading work) on any Lot, an Application for Approval (using a form to be obtained from the ACC) of such work must be submitted by the Lot Owner or such Owner's designated agent to the ACC. The ACC must receive, review and approve the information and documentation required to be submitted under Section 1.2 herein entitled "Design Review Procedure" prior to the commencement of any such work.

In most cases, all of the home plans, colors, exterior materials, and styles have been submitted by the Featured Builder and preapproved by the ACC.

1.2 Design Review Procedure

The ACC has established a schedule of submittal of submitting Improvement Plans and Specifications ("Plans"), review of the Plans, and meeting with the Lot Owner or the representative of the Lot Owner to discuss any questions or concerns of the ACC relative to the Plans. The established schedule permits a timely review of submitted Plans and allows Lot Owners and their representatives to accurately plan their schedules. Plans must be submitted by the Lot Owner or the Lot Owner's representative to the ACC Coordinator (Phone Number: (980) 321-5180) at the Crescent Holly Springs, LLC office by 5:00 p.m. on the week prior to the scheduled ACC review meeting.

The Application for Improvements and any required Home Plan Elevations, Site Plans, Specifications and all other materials necessary for the ACC to review the Plans shall be sent to:

Trinity Creek HOA
PO Box 97243
Raleigh NC 27624,
via facsimile to 919-848-1548
or via email at
info@charlestonmanagement.com

1.3 Review of Improvements

The Submittal of final Plans shall incorporate all of the requirements stated in the Application for Improvements form, a copy of which is attached hereto as Schedule A, and other portions of the Architectural and Design Guidelines as well as comments from previous meetings and design reviews.

One (1) complete set of the Plans, one (1) Site Plan and Specifications (listed on the Application for Improvements) must be submitted to the ACC.

At such time as the final Plans are approved (or conditionally approved) by the ACC, the approved final Plans, Final Site Plan and Specifications shall be scanned and retained by the ACC and a complete set of the approved final Plans, Final Site Plan, and Specifications shall be marked "Approved as Submitted" or "Approved as Noted" and E-mailed to the Lot Owner, along with a statement with design comments. Once the ACC has approved final Plans for Improvements to be constructed on a particular Lot, the construction of such Improvements must be promptly commenced and diligently pursued to completion; and if such construction is not commenced within one (1) year following the date of approval of the final Plans by the ACC, the approval of such final Plans by the ACC shall be deemed rescinded.

In the event of any such rescission of the ACC's approval of final Plans pursuant to the immediately preceding sentence, construction of Improvements on such Lot may be commenced thereafter only after resubmission of final Plans to the ACC for approval and approval of such final Plans by the ACC.

Any modification or change to the "Approved" set of final Plans must be submitted to the ACC for its review and approval (using the same procedure as set forth herein relative to the submission and approval of the original final Plans).

1.4 Lot Staking and Site Inspection

Once final Plans and Specification approval has been granted by the ACC, the ACC may require that the improvements be staked for an on-site review with the ACC.

The ACC reserves the right to inspect the progress of the improvements from time to time. The primary purpose of the site inspection by the ACC is to ensure compliance with the approved Plans. In addition to the foregoing matters, the site inspection may include a review of the following matters and issues:

- 1) Building Setbacks;
- 2) Side yards;
- 3) Clearing limits;
- 4) Placement of excavation materials;
- 5) Protection of water meter and sewer tap;
- 6) Location of construction entrances;
- 7) Location of temporary toilet;
- 8) Location of trash containers; and
- 9) Erosion control measures (fencing, hay bales, diversion ditches, and/or other erosion control measures as required by local/state/federal erosion ordinances)

No clearing or construction activities may be commenced prior to issuance of the approval by the ACC. The ACC shall have the right to stop any unauthorized clearing and/or construction activities that are commenced on a Lot in violation of the terms and requirements of this paragraph.

1.5 Failure of the ACC to Act

If the ACC fails to approve or disapprove any final Plans and other submittals which conform (and which relate to Improvements which will conform) with the requirements of the Guidelines and of the Declaration or to reject them as being inadequate or unacceptable within thirty (30) business days after receipt thereof, and provided such submittal was a full and complete submittal, in accordance with the Guidelines and the Declaration, of all items that were required to be submitted to the ACC, and provided the ACC shall again fail to approve or disapprove of such final

Plans and other submittals within ten (10) days after additional written request to act on such items is delivered to the ACC following the passage of such first above-described thirty (30) business day period, it shall be conclusively presumed that the ACC has approved such conforming Plans and other submittals, EXCEPT that the ACC has no right or power, either by action or failure to act, to waive or grant any variances relating to any mandatory requirements specified in the Declaration or any Additional Declaration for the Phase in which the Lot is located, and EXCEPT FURTHER, that the ACC shall not be deemed to have waived any of the requirements set forth in Article VIII, Section 6 of the Declaration or any corresponding provisions in the Guidelines. If final Plans or other submittals are not sufficiently complete or are otherwise inadequate, the ACC may reject them as being inadequate or may approve or disapprove part, conditionally or unconditionally, and reject or approve the balance. The ACC is authorized to request the submission of samples of proposed construction materials.

1.6 Changes to Approved Plans

All changes, once Final Plans have been reviewed and approved, must be submitted to the ACC for approval.

2 Site Planning

2.1 Site Analysis and Siting Considerations

The siting of any improvement is a critical and important design decision and should reflect functional needs but also should be sensitive to the unique characteristics of the Lot as well as the unique characteristics of the surrounding neighborhood.

The ACC shall consider each Lot independently but shall give consideration to the impact of each individual Lot (and the Improvements proposed to be constructed thereon) on adjacent Lots and view corridors. Care must be taken to locate each improvement, when and where possible, so as not to infringe upon adjacent Lots and structures constructed or to be constructed thereon, and natural amenities of the area.

2.2 Building Setbacks

Town of Holly Springs has established minimum standards for building setbacks for various types of residential structures. The building setbacks required by Town of Holly Springs, however, are not to be construed necessarily as setbacks that will be approved by the ACC relative to Lots in Trinity Creek, and the ACC reserves the right to impose setback requirements relative to some or all of the Lots that are more stringent than the setback requirements imposed by Town of Holly Springs.

2.3 Easements

Landscape Improvements (as defined In the Landscape Guidelines) and the building of driveways or fencing within utility easements may be permissible, but will be Approved/Denied on a case-by-case basis (unless otherwise prohibited herein, by the county, or by a recorded easement instrument). Provided, however, if in the future there is a need to disturb or remove such Landscape Improvements, driveways or fencing to access such utilities, such removal and any necessary repair and restoration shall be the responsibility of the Owner of the Lot.

2.4 Drainage and Erosion Control

Drainage considerations for individual non-/partially graded Lots play an important part in the ecological balance of the community. Generally, where feasible, each Lot should be graded such that all water draining from such Lot does not drain onto any adjoining Lots. However, it is to be expected that lots with a lower elevation than adjoining lots will receive run-off from the lots situated on a higher elevation. During some rain events, the amount of run-off from neighboring lots may be considered excessive. Water runoff for each individual Lot can possibly be handled by adequately sloping all areas so that runoff can be directed to the natural drainage areas or storm drainage facilities. Water runoff and control are the responsibility of each Lot Owner relative to such Owner's Lot.

It shall be the joint responsibility to communicate, agree on a solution and assign financial responsibility in instances where homes share a common lot line, one being lower than the other, solutions for alleviating water runoff of the home shall be the sole responsibility of the Owners of the two homes.

The ACC may, at its sole option, rule on any drainage disputes. At a minimum, each Lot Owner shall be responsible for implementing proper erosion control measures and maintaining them throughout the course of all earth-disturbing operations until final stabilization.



3 Architectural Design

3.1 Architectural Style

The intent of the Architectural and Design Guidelines is to encourage the excellent design of a community of individual residences which, when viewed together, produce an outstanding total community environment. It is not the intent of the Architectural and Design Guidelines to dictate a particular architectural style. Traditional architectural styles are preferred as the basis or foundation of the design. However, contemporary interpretations of traditional designs are acceptable, provided they adhere to the criteria of the Architectural and Design Guidelines. The designs employed shall be compatible with traditional architectural styling in terms of make, shape, profile, scale, and proportion.

3.2 Quality Design Features

The homes in Trinity Creek should reflect the individuality of their Owners while adhering to the principles of fine architecture. The following considerations are among those to be addressed when developing the architectural design for Improvements to be constructed on a Lot:

- 3.2.1 There shall be a consistency in the site planning, architecture, and Landscape Improvements.
- 3.2.2 Sensitive interpretation of the architectural style is encouraged within the constraints of budget and site.
- 3.2.3 Specific features of the architectural style shall be well developed and carefully detailed.
- 3.2.4 A consistent scale shall be used throughout the design of the residence and other Improvements, with each element designed in proportion to the other design elements.
- 3.2.5 The various building materials shall allow for a pleasing and harmonious exterior appearance for the residence and other Improvements. Building materials shall be used logically.
- 3.2.6 Appropriate colors shall be used, and colors shall be used with restraint.
- 3.2.7 Gutters and downspouts shall be used at all eave lines, unless deemed inappropriate.
- 3.2.8 All exterior utility service connections must be provided in unobtrusive and inconspicuous locations. All electric meters and main fuse boxes must be positioned away from view. This may be accomplished by providing an enclosed recess

in the side of the dwelling or through approved Landscape Improvements and/or screening.

- 3.2.9 Exterior disconnects for air conditioning equipment, etc. shall be mounted at the lowest point allowed by applicable building codes.

4 Design Criteria

4.1 Exterior Materials and Colors

Exterior materials shall be brick, stucco, stone, or cementitious siding. Natural weathering of exterior wood materials is not desired. Minimum 25-year Architectural Shingles are required. Aluminum wrapped exterior trim, vinyl windows and vinyl soffit are allowed.

4.2 Roofs

Roof vents, roof power vents, plumbing vent pipes and skylights should not be located on roofs visible from any street, unless approved in advance by the ACC. Roof vents, roof power vents, rain diverters, skylight housings, plumbing vent pipes and non-copper flashing shall be painted to blend with the roof shingles, except that flashing applied to vertical surfaces may be painted to blend with the vertical materials where more appropriate.

4.3 Windows and Shutters; Doors

Windows shall generally be the same type and style all around the house. All windows with the exception of non-conventional sizes (transoms, bathroom windows) shall have mullion grids, unless otherwise approved by the ACC. Shutters are encouraged, unless specifically waived in writing by the ACC, all windows and doors shall have caps of soldier course brick jack arches or other approved decorative treatment. No window or door casing or decorative treatment shall abut any frieze board. If decorative molding (e.g. dentil molding) is desired, it shall be run in a consistent manner around the perimeter of the home. Gables may be exempted from this.

4.4 Porches and Decks

Porches and decks shall be designed with substantial, well proportioned railing, flooring and support posts meeting applicable building code requirements. Porch and deck support columns constructed of masonry shall be 12"x 12", and porch and deck support columns constructed of wood shall be a minimum 6"x 6". One-story decks shall be appropriately screened with lattice or other approved material, and/or sufficient Landscape Improvements. Under no circumstances may porch and deck support columns be constructed of 4' x 4' material.

4.5 HVAC Equipment

No air conditioning or heating equipment or apparatus shall be installed on the ground in front of, or attached to any front wall of, any residence on a Lot. Additionally, air conditioning and heating equipment and apparatus shall be screened from view front streets by Landscape Improvements, as more particularly provided in the Landscape Guidelines herein.

4.6 Attachments; Satellite Dishes and Antennae

No permanent attachment of any kind or character whatsoever (including, but not limited to, television and radio antennae, solar energy-related systems, satellite or microwave dishes, flag poles or similar improvements) shall be made to the roof or exterior walls of any building on any Lot or otherwise placed or maintained on any Lot, unless such attachments or devices are approved in advance in writing by the ACC. Notwithstanding the above to the contrary, one satellite or microwave dish may be installed within the rear yard of the Building Envelope of any Lot, provided such satellite or microwave dish does not exceed eighteen (18) inches in diameter and is properly screened from view. The location and screening of the satellite or microwave dish must be approved in writing by the ACC prior to installation.

4.7 Pools, Therapy Pools and Spas

The size, shape and setting of pools (including standard swimming pools, therapy pools and spas) must be carefully designed to be compatible with the surrounding natural and man-made environment. In locating swimming pools, therapy pools and spas, the following shall be considered:

- 1) Indoor/Outdoor relationship;
- 2) Setbacks imposed by the applicable Building Envelope;

- 3) Views both to and from the pool area;
- 4) Terrain (grading and excavation); and
- 5) Fencing and privacy screening.

Pools, decks and related equipment will not be allowed outside of the Building Envelope area unless otherwise approved by the ACC. Provided, however, pool decks may encroach into the setback area imposed by the Building Envelope on Lots if such deck is either at or within two (2) feet of natural grade. Pool and pool equipment enclosures must be architecturally consistent and harmonious with the residence and other structures on the Lot in terms of their placement mass and detail. Pools, decks and related equipment and pool and pool equipment enclosures shall be screened or treated so as to avoid distracting noise and views.

4.8 Exterior Lighting

- Exterior lighting (which must be approved by the ACC) must be limited to areas within the Building Envelope (unless otherwise approved in writing by the ACC), must not result in excessive glare and must not interfere with the privacy of nearby dwellings, all as determined by the ACC in its sole discretion. Outside seasonal decorations, displayed up to five (5) weeks prior to and three (3) week after the holiday season.

4.9 Play Equipment

Elements of a planned park or playground, swing sets, trampolines, basketball goals, and similar outdoor play structures and equipment must be located where they will have a minimum impact on adjacent Lots and where they will be screened from general public view. Such play equipment shall be located in the middle of the Lot unless waived in writing by the ACC.

All play equipment must have ACC approval before being erected.

Basketball goal backboards must be constructed of clear, see through material. Solid colors will not be allowed. The basketball goal post must be located behind the front plane of the home. In addition, the goal should not face the street.

4.10 Fences and Walls

Walls and fences shall be considered an extension of the architecture of the residence and a transition of the architectural mass to the natural forms of the Lot. All wall and fence designs shall be compatible with the total surrounding environment. Special consideration must be given to design, placement, impact and view of the wall or fence from neighboring Lots. Fences for all lots must start at the rear corners of the home. Fences and walls shall be considered as design elements to enclose and define courtyards, pools, and other private spaces, provide security and relate building forms to the landscape. The location, materials, size and design of all fences and walls must be approved in advance in writing by the ACC prior to installation.

Privacy fences or walls which inhibit visibility are permitted in certain areas of the Trinity Creek community. For all Lots, privacy fences and walls which provide total seclusion generally will be allowed to screen small areas such as outdoor decks and patios.

Fences shall be constructed of dark aluminum material. Prefab wood, prefab brick, chain link, or welded wire fencing will not be permitted. Once an approved fence or wall has been erected on a side Lot boundary line which is a common boundary line with another Lot, that approved fence or wall design and material(s) will be the only approved fence or wall design and material(s) that may be erected on that common Lot line. No double fencing will be allowed on side or rear Lot lines, unless approved by the ACC in writing.

Alterations of lot elevations and grades which create the need for retaining walls shall be the responsibility of the altering party. However, there may be some instances in which a wall is not warranted, e.g. the adjacent owners may alter their grade to match when they begin construction or; it is agreed upon by the parties involved that a transition slope can be created between the two properties in lieu of a wall, depending on side yard setbacks, driveway locations, and height.

It shall be the responsibility of the altering owner (the owner creating the situation due to their grading practices) to identify and contact all parties involved and affected to facilitate negotiations and arrive at an agreed upon solution. This shall include all affected unsold lots belonging to Trinity Crescent, LLC, of which a representative will be available for negotiations.

A retaining wall that is attached to the residence on a Lot shall utilize the same materials as the residence wall that it adjoins, unless otherwise approved by the ACC.

4.11 Remodeling and Additions

A Lot Owner desiring to remodel existing Improvements and/or to construct additions to existing Improvements is required to follow these Guidelines. Possible future Improvements or additions that will be of particular concern to the ACC are skylights and solar collectors, recreational features, lighting, antennas and satellite television and new colors.

As set forth in the Declaration, the Board (i.e., the board of directors of the Property Owners Association) may hereafter create and establish an Architectural Changes Committee (the "Changes Committee") to review and approve Plans for all renovations, changes and additions to existing Improvements on Lots. In the event the Board acts to create and establish the Changes Committee, with regard to renovations, changes and additions to existing Improvements on Lots, the Changes Committee shall have all rights and powers that are reserved to the ACC in the Guidelines.

4.12 Solar Panels

Solar panels / equipment shall not be installed without the prior written approval of the ACC. Any solar panels and related appurtenances and equipment shall be designed and constructed to appear as an integrated part of the architecture of the main residence as much as possible. This shall generally mean that the panels shall be roof mounted so that the top surface is as flush with the roof surface whenever possible, with all appurtenances recessed into the structure's attic.

Solar panels should be located on the rear or side roof of a home whenever possible. The ACC will review in advance and approve in writing all equipment placement.

5 Miscellaneous Matters

5.1 Diligent Construction

All Improvements to be constructed on a Lot must be completed within one (1) year following commencement of construction (i.e., commencement of grading) of the first of such Improvements, unless a longer time is approved in writing by the ACC.

All Improvements shall be completed in a time frame approved by the ACC at final approval of improvements. If Construction activity ceases for a period of thirty (30) days, area is to be stabilized to the ACC's satisfaction.

5.2 Approved Builders

Only builders approved by the ACC may serve as the general contractor/builder for the construction of new homes on any Lot. Any criteria and requirements established by the ACC and Trinity Creek Crescent, LLC for a builder to qualify as an Approved Builder are solely for the protection and benefit of the ACC and Trinity Creek Crescent, LLC and are not intended to, and shall not be construed to, benefit any Owner or any other party whatsoever.

The ACC and Trinity Creek Crescent, LLC make no representation, express or implied, to any Owner or any other party whatsoever with regard to the Approved Builders (which, for the purposes of this Section 5.2 shall include all subcontractors and suppliers of Approved Builders), including, without limitation, the existence, nature and extent (including coverage amounts and deductibles) of insurance policies that may be maintained by the Approved Builders from time to time, the solvency or financial status of the Approved Builders from time to time, the nature and amount of any bonds that may be maintained by the Approved Builders from time to time, the performance (or the ability to perform) by the Approved Builders of their contractual obligations or other legal duties or obligations (including any contractual obligations of any of the Approved Builders in favor of any Owner or any other party whatsoever), the Approved Builder's qualifications and ability to construct a particular type of house or other structure to any particular standard or level of quality the use of any substance or material, including, without limitation, any stucco or synthetic stucco material by the Approved Builders, the compliance by the Approved Builders with building codes and other requirements, rules, laws and ordinances of federal, state and

local governmental and quasi-governmental bodies and agencies relating to the construction of homes and other activities engaged in by the Approved Builders from time to time.

The compliance by the Approved Builders with any licensing requirements imposed by federal, state and local governmental and quasi-governmental bodies and agencies from time to time, including without limitation, the maintenance of any required builder's and/or contractor's license or the failure or alleged failure of any Approved Builder to comply with any industry standard or any other reasonable standard or practice with respect to such Approved Builder's work or materials used in the construction of houses and other activities engaged in by the Approved Builder at Trinity Creek. Furthermore, neither the ACC nor Trinity Creek Crescent, LLC, nor the officers, directors, members, employees, agents or affiliates of either of them, shall have any responsibility whatsoever for any sum that any Owner or any other party may deposit with an Approved Builder, including, without limitation, any earnest money or other deposit that any Owner may deliver to an Approved Builder.

5.3 Sewer Pump System Installation and Maintenance

Either the Lot Owner, Trinity Creek Crescent, LLC or the ACC may determine, in such party's sole discretion, that a Lot requires a Sewer Pump System for the purpose of pumping sewage from the residence to be constructed upon such Lot into the Town of Holly Springs Utility Department sewage system. Any such sewer pump or related lines or facilities that are installed for a particular Lot and all such maintenance costs for such sewer pump shall be borne by the Owner of such lot. The Owner of any such Lot shall be responsible for incorporating the plans and specifications for the Sewer Pump System to service such Lot into the Plans for such Lot and for arranging to have the Sewer Pump System installed by a licensed contractor. The Owner also shall be responsible for the cost of installing and supplying electrical service to the Sewer Pump System and for paying and "turn on" charges required by the Town of Holly Springs Utility Department.

5.4 Notices

Each notice, document or submittal (collectively, “notice”) required or permitted to be given under the Guidelines must be given in compliance with the requirements of this section.

5.4.1 Each notice shall be in writing.

5.4.2 Any notices to be given to the ACC shall be deemed to have been duly served and to be effective only when a receipt acknowledging such delivery (such as a registered mail, overnight express service or hand delivery receipt) is signed by a member or authorized representative of the ACC. The address of the ACC for delivery of notices hereunder shall be as follows:

Trinity Creek HOA
PO Box 97243
Raleigh NC 27624

5.4.3 Any notice to be given to an Owner shall be deemed to be duly served when picked up by the Owner at the ACC’s office or when delivered to the Owner’s address by regular U.S. Mail Service (such delivery being presumed to have occurred on the second (2nd) day following the deposit of such notice by the ACC in the U.S. Mail).

5.4.4 Either the ACC or an Owner may change its address for notices hereunder by written notice to the other party designating the new address, such written notice of the changed address to be given to the other party in accordance with this Section 5.4.

LANDSCAPE GUIDELINES

6 General Landscape Matters

6.1 Goals and Objectives

These Landscape Guidelines have been prepared for use by all Lot Owners and their builders, contractors, architects and landscape architects who are involved in making site improvements to Lots in the Trinity Creek community. Adherence to the Landscape Guidelines by all such parties will help ensure the continued success of Trinity Creek. The overall success of the Trinity Creek community is dependent, in large part, on the coordination of Landscape Improvements (as defined herein) and architectural improvements.

The specific objectives of the Landscape Guidelines are to:

- 6.1.1 Provide all Owners with the minimum standards for the installation of Landscape Improvements and associated site Improvements within Lots at Trinity Creek.
- 6.1.2 Establish criteria to ensure visual continuity in the Landscape Improvements at Trinity Creek.
- 6.1.3 Present clear, concise, and enforceable guidelines for the installation and maintenance of Landscape Improvements at Trinity Creek.

6.2 “Landscape” and “Landscape Improvements” Defined

For the purposes of the Guidelines, and to distinguish landscape elements from other site structural elements (which are covered by the separate Architectural and Design Guidelines), “Landscape” shall be deemed to be the combination of existing and introduced plant material and all of the land area within each Lot located outside the boundaries of the building perimeter of the house. As used in the Guidelines, “Landscape Improvements” include, but are not limited to trees, shrubs, ground covers, annual and perennial flowers, turf grasses, mulches, irrigation and landscape lighting systems, and similar existing and introduced Improvements.

7 Procedures and Approvals

7.1 Landscape Review Process

Prior to the commencement of any Landscape activity of any type on any Lot, an Application for Improvements (the form of which is attached hereto as Schedule A) must be submitted by the Lot Owner or such Owner’s designated agent to the ACC. The ACC must receive, review and approve the information and documentation required to be submitted under the section herein entitled “Final Landscape Plans and Specifications Review Procedure” prior to the commencement of any such Landscape work. Please note, review of landscape improvements follows the same process that is described in Section 1.

7.2 Design Review Procedure

The successful completion of the landscape review process under the Landscape Guidelines will be facilitated by reviewing and complying with the requirements outlined in the Landscape Guidelines and by reviewing and following the landscape review procedure described herein.

The Landscape Plans and Specifications Review Application, the Landscape Plans and Specifications and all other materials necessary for the ACC to review the Landscape Plans and Specifications shall be sent to:

Trinity Creek HOA
PO Box 97243
Raleigh NC 27624
or by email to info@charlestonmanagement.com
or by facsimile to 919-848-1548

7.3 Final Landscape Plans and Specifications Review Procedure

Landscape Plans and Specifications submitted to the ACC will be reviewed by a member of the ACC that may be hired by the ACC to conduct such review on behalf of the ACC.

7.4 Required Elements of Final Landscape Plans

All final Landscape Plans and Specifications shall include the following:

- 7.4.1 An 11" x 17" blueprint or an 11" x 17" blueprint with accurate boundaries of the Lot (i.e., as taken from the most recent boundary survey of the Lot) drawn to scale.
- 7.4.2 Accurate adjoining street right-of-way lines, accurate back of curb and face curb lines, and the appropriate names of adjoining street(s).
- 7.4.3 Accurate locations and widths of any and all utility easements, each labeled as to the specific type of utility occupying the easement (i.e., septic, water, electric power, etc.).
- 7.4.4 Accurate location of Building Envelope for the Lot.
- 7.4.5 Accurate North direction shall be shown and labeled.
- 7.4.6 A title block located in either the lower right-hand corner of the sheet, across the entire bottom edge of the sheet, or down the entire right-hand edge of the sheet shall contain the following information:
 - 1) Lot number within the Trinity Creek community.
 - 2) Scale of the drawing.
 - 3) Date of the drawing, including any revision dates
 - 4) The name, address and telephone number of the preparer of the Landscape Plans and Specifications.
 - 5) Lot Owner's name.
- 7.4.7 Precise location of the dwelling, garage and all other structures as depicted on the approved final Plans for the Lot.
- 7.4.8 Precise location of driveways, walkways, decks and steps, screened porches, gazebos, swimming (or other) pools, fountains, spas/hot tubs, fences and gates, garden walls, sculptures, sundials, bird houses, basketball goals, play equipment/swing sets, retaining and freestanding walls, etc.
- 7.4.9 Location of all proposed new Landscape Improvements, clearly labeled and indicating the species and quantities. Show
- 7.4.10 Plant list/planting schedule listing all proposed plant material, quantities, their common name and their botanical/scientific name, their size at the time of planting, and any special or notable distinguishing characteristics. (See the

sample final Landscape Plans and Specifications attached all lawn areas as "lawn seed" or "land sod."

Improvements installation for compliance with the approved final Landscape Plans and Specifications. Plant locations, plant species and plant sizes shall be consistent with those shown on the approved final Landscape Plans and Specifications. Plant sizes shall conform to the latest edition of the American Standards For Nursery Stock, published by the American Association of Nurserymen, Inc.

All resubmittals for disapproved installation inspections are to be submitted to the ACC by a completed Schedule A.

hereto as Schedule J and the recommended plant list, Schedule H.)

7.4.11 Location of gas and electric meters, location of heating, ventilating and air conditioning units and pool equipment/ pump or other utility-related equipment and apparatus.

7.4.12 Label appropriately any Common Areas or Maintenance Areas or grounds that adjoin the Lot and show any adjoining paths (where applicable).

7.4.13

the initial planting of the Lot. Any plants to be installed in a later phase (i.e., following the initial planting of the Lot) must be clearly labeled to that effect on the final Landscape Plans and Specifications and in the plant list that constitute a part of the final Landscape Plans and Specifications.

7.4.14 Street trees must be located and the species must be noted as is specified by the Street Tree Planting Plan for each street.

7.4.15 Street light locations shall be noted on the final Landscape Plans and Specifications (where applicable).

7.4.16 The type(s) of mulch material(s) to be used and their location(s) must be clearly indicated.

7.4.17 Drainage Plan – At a minimum, plans are to include the direction of over land water flow.

All plants shown on the final Landscape Plans and

7.5 Field Verification

Specifications are assumed to be scheduled for installation in Following the approval of final Landscape Plans and Specifications for a Lot and the subsequent installation of Landscape Improvements in accordance with such approved final Landscape Plans and Specifications, the Lot Owner shall so notify the ACC, and the ACC may inspect the Landscape

8 Minimum Planting Requirements

Minimum requirements for the initial landscape improvements to be installed on each Lot within the Trinity Creek Crescent, LLC community have been devised to ensure that the high quality, visually appealing house styles and associated landscaping portray an aesthetically pleasing streetscape image. Essential to this is a unified and consistent balance between the quality of the architecture and the quality of the Landscape Improvements.

Of course, as provided above, the ACC may, from time to time and at the sole discretion of the ACC, make revisions or amendments to all requirements and provisions in the Guidelines, including, without limitation, these minimum initial Landscape Improvements planting requirements.

It is the responsibility of each Lot owner to ensure the minimum planting requirements (below) are maintained.

8.2 Recommended Planting Seasons

Optimum planting times are from March 15 to May 15 and from September 15 to November 1 for most plant materials. Trees may be planted throughout the winter months if the ground is not frozen and as long as the plants receive adequate water.

8.1 Minimum Landscape Planting Requirements (Per Lot)

Lot Size	*Shade Tree (2.5" caliper)	Accent Tree (2" caliper)	Evergreen Tree (6-7' tall)	Evergreen Shrub (7 gal.)	Evergreen Shrub (3 gal.)	Bermuda Sod
50-74'	1	2	2	16	10	All Disturbed Areas
50-74' Corner	2	3	3	20	14	All Disturbed Areas
75-89'	1	2	2	18	12	All Disturbed Areas
75-89' Corner	2	3	3	24	16	All Disturbed Areas
90' +	2	2	2	18	12	All Disturbed Areas
90' + Corner	3	3	3	24	16	All Disturbed Areas
*Including Street Tree						

Improvements installation for compliance with the approved final Landscape Plans and Specifications. Plant locations, plant species and plant sizes shall be as shown on the approved final Landscape Plans and Specifications. The Association of

special or notable distinguishing characteristics. (See the All resubmittals for disapproved installation inspections are to be submitted to the ACC by a completed Schedule A.

9 Landscape Design Guidelines—Required Practices

The following guidelines shall be followed by all Lot Owners and the builders, contractors, subcontractors, and architects of the Lot Owners when planning for and installing Landscape Improvements on Lots within Trinity Creek. These guidelines contain specific required practices and techniques for creating an aesthetically pleasing landscape.

9.1 Screening of HVAC Units, Utility Meters, Utility Transformers, Etc.

All heating, ventilating, and air conditioning units, utility meters, electric utility transformer boxes, swimming pool pump equipment, permitted satellite dishes and similar equipment, apparatus and fixtures on each Lot, must be screened from view from streets and neighboring Lots. Plants used as screening should be maintained by the Lot Owner so that the equipment, apparatus or fixture being screened is accessible (wherever possible) by service personnel and/or meter readers. Plant materials for this purpose shall be installed using either five (5) or seven (7) gallon sizes, evergreen only. Recommended plant types include Otto Luykens Laurel, Schipka Laurel, Dwarf Burford Holly, Compacta Holly, Variegated Ligustrum, Wax Myrtle, and Fortunes Osthmanthus, although this is not intended as an exclusive listing.

9.2 Driveway Location and Planting

Driveways shall not be located closer than two (2) feet to the side Lot boundary line unless approved by the ACC.

9.3 Retaining Walls

As set forth in the Architectural and Design Guidelines, all retaining walls must be approved by the ACC prior to construction (see Schedule A), and the material, location, and height of all retaining walls must be clearly labeled on the final Plans and Specifications. Where retaining walls are located on a Lot in an area that is visible from a street, additional plant material, over and above the minimum initial Landscape Improvements planting requirements herein, may be required to screen, or otherwise “soften” the retaining wall from view at the street. Additionally, it is recommended that retaining walls that are visible from neighboring Lots be screened and/or “softened” with

plant material. Additional plant screening material required to be installed pursuant to this Section 9.3 must be installed at the same time the minimum initial Landscape Improvements are installed hereunder.

9.4 Street Trees

Street trees are required at each lot front. Such trees might be planted within the road right of way. The street trees planted on each Lot are expected to contribute to the overall effect of a unified street planting scheme that distinguishes each street with a particular species of tree. It is the responsibility of each Lot Owner to maintain the street trees in a healthy, well-maintained condition in perpetuity, including the trees in the road row.

9.5 Lawn Ornaments/Bric-a-Brac

All lawn ornaments and bric-a-brac constitute Landscape Improvements and therefore are subject to review and approval by the ACC (see Schedule A). Without limiting the generality of the foregoing, no such landscape elements will be permitted in the front yard of any Lot without the prior written approval of the ACC. If, in the sole discretion of the ACC, such landscape elements are incompatible with the objectives of the Guidelines, they must be removed or relocated by the responsible Lot Owner, as specified by the ACC, within ten (10) days from the date of written notification to the Lot Owner.

9.6 Mulch Materials

Annual flower beds and perennial flower beds shall receive two (2) inches of small/fine mulch. All planting beds and natural areas require a cover of three (3) inches of mulch. Acceptable mulch materials for covering planting beds and natural areas include pine straw, pine bark nuggets, and shredded hardwood mulch. Other types of mulch may be considered by the ACC and must be approved in writing. White gravel will not be permitted without the prior approval of the ACC. Consistent use of the same mulch material for any given Lot is required. Each Lot Owner shall be responsible for replacing and maintaining mulch material on such Owner’s Lot from time to time consistent with the requirements of this Section 9.6.

9.7 Walkway Layout

Walkways from the driveway to the front door or porch of the house shall be designed with smooth, flowing curves (where possible), rather than rigid straight lines. Walkways shall be at least three (3) feet wide.

10 Landscape Design Guidelines— Recommended Practices

The following guidelines are recommended to be followed by all Lot Owners and the builders, contractors, subcontractors, and architects of the Lot Owners when planning for and installing Landscape Improvements on Lots within Trinity Creek. These guidelines contain specific recommended practices and techniques for creating an aesthetically pleasing landscape.

10.1 Automatic Irrigation Systems

Automatic irrigation systems are highly recommended. Besides the obvious advantage of convenience, automatic irrigation systems, when designed, installed and operated properly, should provide plant and lawn sod Landscape Improvements with the consistent waterings they require to thrive. Landscape Improvements that are installed between March 15 and September 30 likely will be subjected to periods of intense heat and periods of low precipitation. Automatic irrigation systems are especially beneficial during such periods to help ensure a consistent amount, frequency and duration of watering.

10.2 Landscape Lighting Systems

Subject to the restrictions in Section 4.8 in the Architectural and Design Guidelines, landscape lighting systems are encouraged, although approval of landscape lighting systems may be granted or denied by the ACC in its sole discretion (see Schedule A). Landscape lighting systems shall be designed, installed and operated to enhance the architecture of the house and the Landscape Improvements on the Lot in a tasteful and subtle manner. Overlighting the house and/or landscaping shall be avoided.

10.3 Foundation Planting

When designing foundation plantings, several important factors must be considered. Select shrubs that will not overgrow the location at maturity (i.e., covering windows). Select evergreen shrubs to be planted adjacent to the house foundation to provide an aesthetically pleasing appearance during all seasons, rather than deciduous plants (which shed their leaves in the winter months). Select plant types and varieties that require moderate to low maintenance and pruning. Locate foundation shrubs on either side of windows instead of directly under windows; this allows the shrubs more vertical growing room without blocking the window. Locate foundation plants far enough from the foundation of the house to allow ease of maintenance access to the house. Foundation plants shall be layered from front to back, with taller plants (evergreen) at the back and successively lower plants in the front. (see Figure 10.3.1).

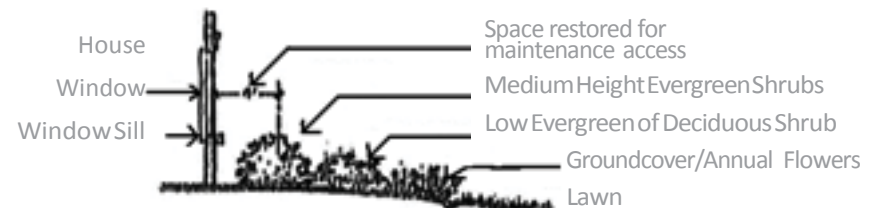


Figure 10.3.1. – Foundation Planting Hierarchy

10.4 Corner Lots

With regard to Landscape Improvements, care and consideration shall be given to selecting plant material that will lend privacy to the rear yard by grouping evergreen trees and/or shrubs near the side right-of-way line.

10.5 Planting Bed Layout

Planting beds containing plant materials such as trees, shrubs, ground covers, and annual flowers shall be designed and constructed with smooth, flower curves (whenever possible). The curves shall be broad enough to allow ease of maneuvering lawn mowing equipment along the edges of the planting beds. Consideration also should be given to the type of lawn mowing equipments that will be used (i.e., riding lawn mower or push-type lawn mower) and its minimum turning radius. (See figure 10.5.1)

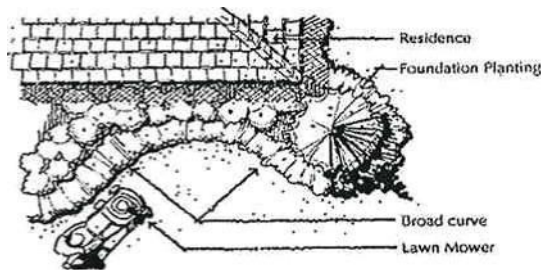


Figure 10.5.1 - Planting Bed Layout

10.6 Landscape and Architecture Compatibility

The landscape design for each Lot should enhance the architectural style of the residence on such Lot. Different architectural styles call for different landscape styles. Lot Owners/builders are urged to hire an experienced, qualified landscape architect or landscape designer to assist in achieving such compatibility.

10.7 Fish Ponds and Fountains

Fish ponds and fountains are permitted to be installed on Lots, subject to the ACC prior written approval (see Schedule A). Generally, such site amenities must be restricted to rear yards only. Professional design and installation services are highly recommended for such amenities. 7.4.10 Plant list/planting schedule listing all proposed plant material, quantities, their common name and their botanical/scientific name, their size at the time of planting, and any special or notable distinguishing characteristics. (See the

10.8 Yards and Visual Importance

Any area of a Lot that is visible from a public street takes on a “semi-public” character in that the visual quality of that portion of the Lot contributes to the overall quality and character of the community at large. It is incumbent upon all Lot Owners, therefore, to landscape and maintain all such “semi-public” areas of their Lots with utmost care and consideration. Corner Lots effectively have two such “semi-public” yards due to the fact that such Lots front on two public streets.

In contrast, rear yards tend to be the private domain of the Lot Owner, allowing somewhat more flexibility in the uses of the rear yard space. However, it is the hope of the ACC and Trinity Creek Crescent, LLC that equal care and attention will be given the landscaping and maintenance of these areas. Additionally, rear yards become more “semi-public” where they front on Common Areas, common recreation facilities, or Amenity Area; and rear yards in these locations should always be well-maintained and adequately landscaped as “semi-public” areas.

Improvements installation for compliance with the approved final Landscape Plans and Specifications. Plant locations, plant species and plant sizes shall be consistent with those shown on the approved final Landscape Plans and Specifications. Plant sizes shall conform to the latest edition of the American Standards For Nursery Stock, published by the American Association of Nurserymen, Inc.

All resubmittals for disapproved installation inspections are to be submitted to the ACC by a completed Schedule A.

CONSTRUCTION RULES

1 Applicability

These construction rules (collectively the “Construction Rules”) shall apply to all Lot Owners and their builders, and any reference herein to an Owner shall also apply to the Owner’s builder and subcontractors. All Owners shall abide by the Construction Rules and such other rules as the Board and /or the ACC may establish from time to time.

2 Construction Hours and Noise

All construction activities must be conducted and all deliveries must be made from 7:00a.m. until 7:00p.m. Monday through Friday and 8:00a.m. through 5:00p.m. on Saturdays, provided, however, no construction activities shall be conducted and no deliveries shall be made on July 4, Labor Day, Thanksgiving Day, Christmas Day or New Years Day. Any construction activities conducted other than during the foregoing hours must be scheduled with the ACC at least twenty-four (24) hours in advance and must be approved by the ACC in writing. No loud radios or distracting noise (other than normal construction noise) will be allowed within the community during construction. This is distracting to Lot Owners. Normal radio levels are acceptable. Radio and stereo speakers shall not be mounted on vehicles or outside of homes under construction.

3 Rubbish and Debris

In order to maintain a neat and orderly appearance at all times throughout Trinity Creek, the following rubbish and debris rules must be strictly followed:

- a) Interior Construction Debris. All parties are strongly encouraged to frequently clean up and remove rubbish and construction debris located within the walls of a residence that is under construction.
- b) Exterior Construction Debris. With regard to all construction debris located on a Lot outside the walls of a residence that is under construction, the following rules shall apply:
 - 1) At the end of each day on which work occurs on the Lot, all lightweight, blowable construction debris, such as roofing paper, insulation bags, foam sheathing, polyethylene, etc., must be placed in a silt fence pen or other approved containment device on the Lot; and
 - 2) At the end of the day on each Friday, all non-blowable construction debris, such as wood scraps, shingles, brickbats, drywall, bricks and masonry blocks, must be gathered into at least one but not more than five neat piles.
 - 3) Within the last three (3) days of every month, all debris must be taken off the Lot and out of Trinity Creek, leaving the pens and the Lot free of all debris.
- c) No Burning or Burial. Burning or burial of construction debris or vegetation is prohibited.

4 Street Cleaning

It is the responsibility of each Lot Owner with a home under construction to keep the streets cleaned in front of and around the lot.

Trinity Creek Crescent, LLC also shall have the right, without notice, clean up any significant amount of dirt, gravel, cement, etc., left on any street if the same is not immediately removed by the responsible Owner, to charge the cost of such clean up to the responsible Owner and to receive reimbursement for the expense of such clean up from the responsible Owner.

5 Silt Fences

Silt fences and/or other devices for sedimentation control shall be installed where necessary, as required by local/state government or as directed by the ACC. Silt fences on rear of lots contiguous to the water must be of the reinforced wire mesh type with steel poles for support.

6 Material Storage

No construction materials, equipment or debris of any kind may be stored on any street, curb, sidewalk or area between streets and sidewalks, on any adjacent Lots or otherwise than in the location approved by the ACC.

7 Trailers

No construction office trailers may be placed, erected or allowed to remain on any lot or in any other area in Trinity Creek, except as approved in writing by the ACC.

8 Construction Access

During the time a residence or other Improvements are being built, all construction access shall be confined to the approved driveway for the Lot, unless the ACC approves an alternate access way.

9 Gravel Drives

Prior to the commencement of construction on a Lot, the Owner of such Lot or such Owner's contractor shall provide at the approved driveway location a gravel drive with a minimum of five (5) inches of #5 stone base from the paved street to the house under construction.

10 Parking

All vehicles must be parked so as not to impede traffic or damage vegetation. No vehicles (trucks, vans, cars, trailers, construction equipment, etc.) may be left parked on any streets within Trinity Creek overnight only if additional use of the vehicle will be made within the following three (3) days.

11 Miscellaneous Practices

The following practices are prohibited at Trinity Creek:

- a) Changing oil of any vehicle or equipment;
- b) Allowing concrete suppliers and contractors to clean their equipment other than at locations, if any, designated for that purpose by the ACC;
- c) Carrying and/or discharging any type of firearms, except by in writing by Trinity Creek Crescent, LLC;
- d) Careless disposition of cigarettes and other flammable material;
- e) Operators of vehicles are required to use due care to ensure that they do not spill any damaging materials while within Trinity Creek. If spillage does occur, it is the responsibility of the operator of the vehicle to properly clean up the spill. Any such clean up operations completed by Trinity Creek Crescent, LLC's personnel will be charged to the responsible party. Any spills must be reported to the ACC and Trinity Creek in writing as soon as possible.

12 Pets

Builder and contractor personnel may not bring pets into Trinity Creek.

13 Common Areas

Except with the prior written permission of the ACC, builder and contractor personnel are not allowed in the Common Areas, and no construction access will be allowed across the Common Areas.

14 Accidents

Trinity Creek, LLC and the ACC shall be notified immediately of any accidents, injuries or other emergency occurrences.

15 Portable Chemical Toilets

An enclosed and regularly service portable chemical toilet must be provided for at least every two homes under construction, and must be located in as inconspicuous a location as possible.

16 Speed Limit

The established speed limit within the Trinity Creek community is twenty-five miles per hour (25 mph) for all vehicles, and this limit must be obeyed at all times.

17 Signs

Building permits and Lot ID signs are the only signs or documentation that may be posted at a residence or on a Lot during construction. Business permits are to be attached to a post in a manner protected from the elements; and in no event may building permits or any other signage or documentation be attached to trees.

18 Property Damage

Any damage to streets and curbs, drainage inlets, street lights, street markers, mailboxes, walls, fences, etc. may be repaired by The Trinity Creek POA and the cost of such repairs will be billed to the responsible Owner. If any telephone, cable TV, electrical, water or other utility lines are cut, it is the responsible party's obligation to report such an accident within thirty (30) minutes to Trinity Creek Crescent, LLC personnel; and any cost incurred in connection with repairing such damage shall be borne by the responsible party.

19 Failure to Abide

Failure of a builder or contractor to abide by any of the Construction Rules may result in the loss of such builder's or contractor's privilege to enter Trinity Creek on a temporary or permanent basis, or a fine, the amount being Trinity Creek Crescent, LLC's discretion, may be levied for infractions and failure to abide.

20 General Builder Responsibilities

Builders are encouraged to maintain strict control over subcontractors to minimize soil and mud build-up in streets. Planning the home constructions with the erosion control measures and the Architectural Guidelines specifically in mind will be crucial to the success of each builder in Trinity Creek. Builders are encouraged to develop Lot plans which preserve natural wooded areas wherever possible and which minimize Lot grading and disturbance. Alignment of utilities and access should

be planned to minimize the cutting of mature trees.

Builders are encouraged to be proactive against:

- Excessive trash build-up and/or disposal on the project either in lots or in Common Areas.
- Changing oil, maintenance of equipment, or disposal of chemicals or paints resulting in spills on the Lots or into the storm drainage system for Trinity Creek.
- Use of excessive amounts of fertilizer or herbicides on seeded area;
- Destruction or modification of any part of the permanent storm drainage system for Trinity Creek



ARCHITECTURAL REQUEST

**Trinity Creek
Homeowners Association, Inc.**

Name: _____

Date: _____

Address: _____

Daytime Phone: _____

Evening Phone: _____

E-mail Address: _____

In order for your application to be reviewed, you must submit all required information for your application to be deemed complete. Please note failure to provide this information may cause a delay in the review process. Provide a detailed description below:

Each request must be accompanied by the following additional information:

1. Plot Plan with location of project shown, a bird's eye view drawn to scale indicating all dimensions (length, width, height, square footage) and distance to property lines. For fencing, indicate existing fences and if you will be attaching or abutting, plus setback dimensions and location and size of any gate(s).
2. Materials List. For landscaping requests, include list of plants to be used with locations shown and size of plant type at maturity.
3. Indicate color(s) and include paint/stain samples and note if it will match the existing home.
4. Provide photos of proposed project. For tree removal, please include photos of the tree(s) marked with an "X".
5. Drainage Plan and/or landscaping plan as applicable.

Please mark the box with an "X" beside your proposed project type. The numbers in parentheses correspond to the required attachments for each project.

☐ Fence (1,2,3,4)

Storage Shed (1,2,3,4)

Deck/Screened Porch (1,2,3,4,5)

☐ Patio (1,2,3,4,5)

Landscaping (1,2,5)

Tree Removal (1,2,4)

Play Equipment (1,2,3,4)

Other as applicable (1,2,3,4,5)

****PLOT PLAN, RENDERING, SIGNATURE AND INITIALS REQUIRED ON ALL APPLICATIONS****

REQUIRED: All directly adjoined neighbors' signatures for any major improvements such as pools, additions, etc.

My signature acknowledges I am aware of my neighbor's proposed improvement(s)/addition(s). If I have any concerns or questions about the proposed project I will direct them to the Board of Directors and/or Architectural Committee.

NAME	SIGNATURE	ADDRESS	LOT #

I understand that this application will be reviewed by the Board of Directors (or its Architectural Committee). I further understand that the Board of Directors (or its Architectural Committee) has the authority to approve, approve with conditions or deny this request and that there is no appeal other than resubmission of a modified request. I further understand that the placement and design of my improvement must meet the architectural guidelines, regardless of my submission or errant approval of such submission. A variance from standards must be noted by the committee in the comments section below. Please note the Board/Committee is allowed up to 45 days to render a decision from the date the complete application is received.

Signature

Date

Initial
Here

Submission without a Plat Map/Survey: I hereby certify that my mortgage company did not require a survey. In lieu of a recorded plat map, I certify that the attached rendering is true, complete, and correctly drawn to scale to the best of my knowledge. As lot Owner, I accept liability for any inaccuracies that may be proven in the future and release the Association, Management and its Agents from any responsibility.

Initial
Here

Disclaimer: The Association reviews applications primarily based upon aesthetic qualities and to a lesser degree, basic construction practices. Owners (and their contractors) are responsible for determining and ensuring that all applicable municipalities, county and state requirements are met and all necessary permits, variances, etc. are obtained. Should the requirements set forth by the municipality, county and state be more stringent/restrictive than those established by the Association, the more stringent/restrictive requirements prevail.

You may submit your application via E-mail (info@charlestonmanagement.com), Upload your request directly to the website at www.charlestonmanagement.com (see instructions below), Fax (919) 848-1548, US Mail to:

**Trinity Creek HOA
c/o Charleston Management Corp
PO Box 97243
Raleigh NC, 27624**

Directions for Uploading your request online:

Visit the website link listed above, click the 'Homeowner Log In' link and sign in.

Once you have logged on to your homeowner home page, please go to 'Association Business'

Select 'Architectural Control'

- Create a request
- Submit your scanned form

Complete the email address field and give a description of your project in the comments field.

Please upload your form, plat map, and any other supplemental documents or details.

Select 'Submit Architectural Control Request' and you will receive an email confirmation.

ACC Additions/Additions

C-1 Storage Sheds

C1 - Storage Sheds

All storage buildings must be reviewed by the Architectural Control Committee and must be approved in writing prior to installation.

Exterior to match home in color and materials and architectural style - Figure C1-1

Trim and coach light to match garage - Figure C1-2

Door to match front door - Figure C1-3

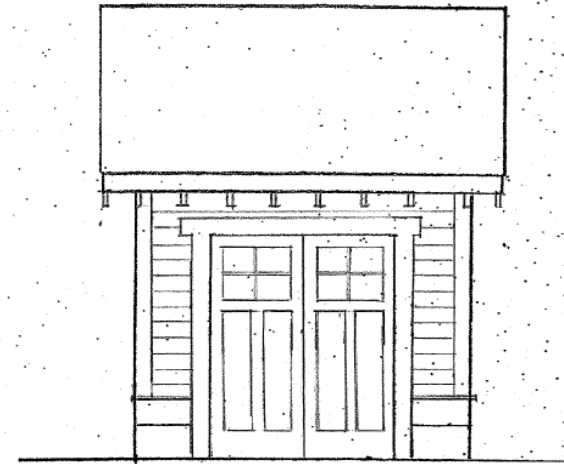
Storage building to have footing and foundation. Foundation must match the material and treatment of the home's foundation

Electricity must be run to the building for exterior coach light; Electricity must be run underground

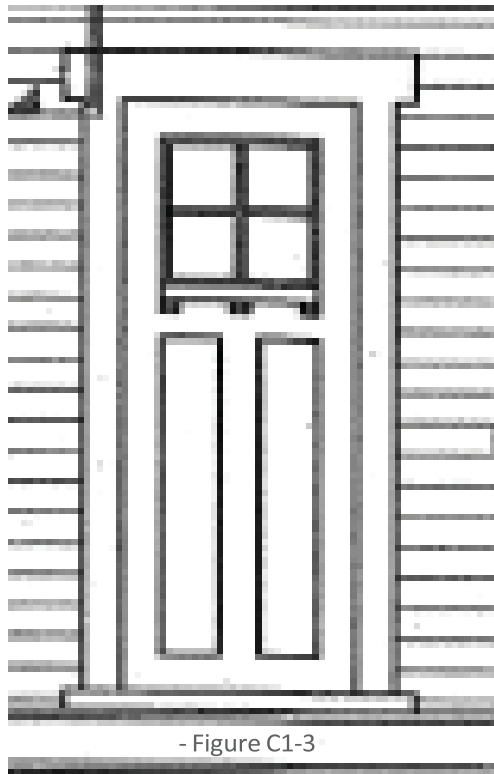
Landscape screening with 3 - 7 gallon evergreen shrubs required on the sides and rear of the storage building (total 9 shrubs)

Storage building Door must not face the rear of the lot not the closest side neighboring lot

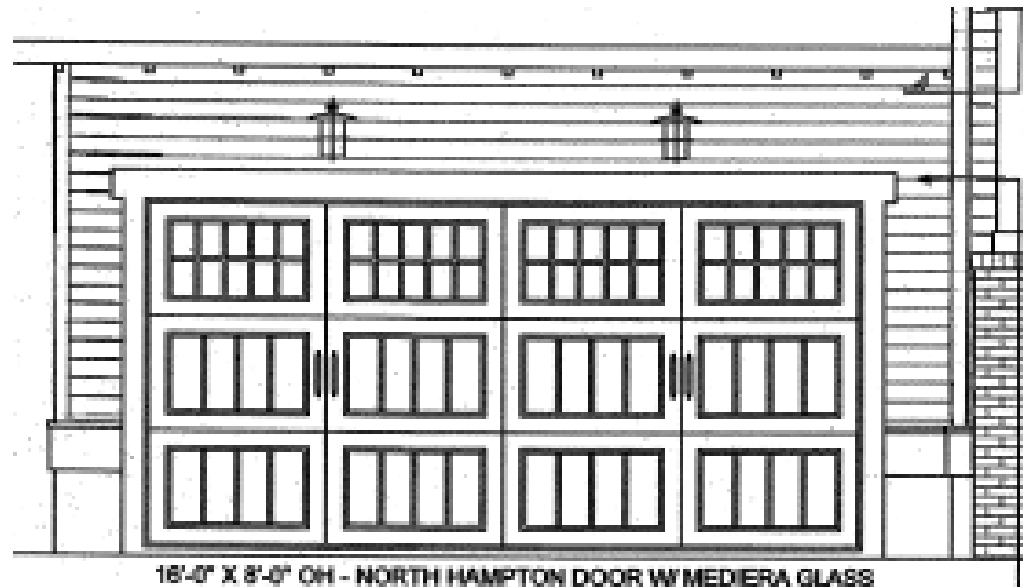
Location to be in the rear center portion of the lot, within the site lines of the home - see Figure C1-4 - page 27



- Figure C1-1



- Figure C1-3



16'-0" X 8'-0" OH - NORTH HAMPTON DOOR W/ MEDIERA GLASS

- Figure C1-2

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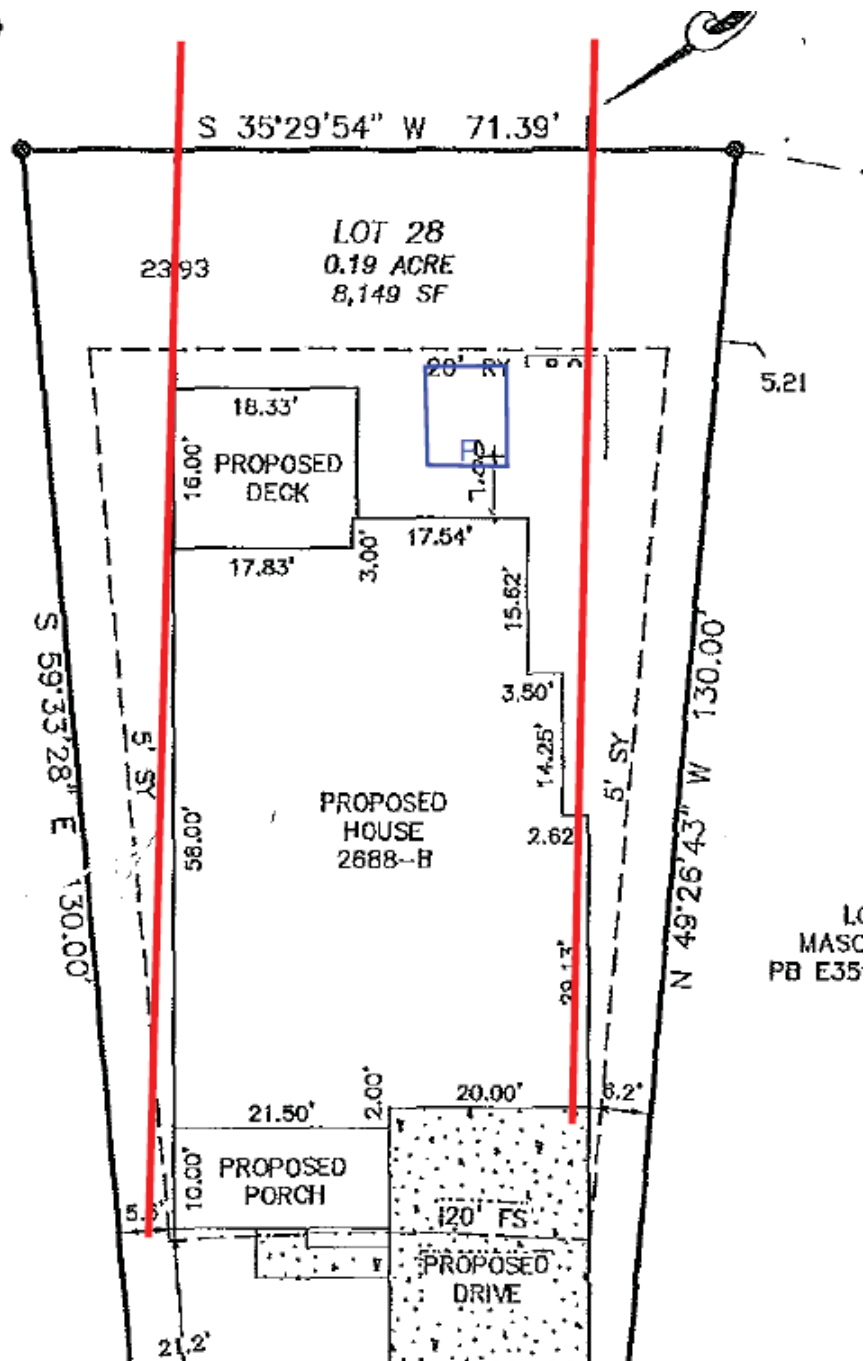
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- Figure C1-4