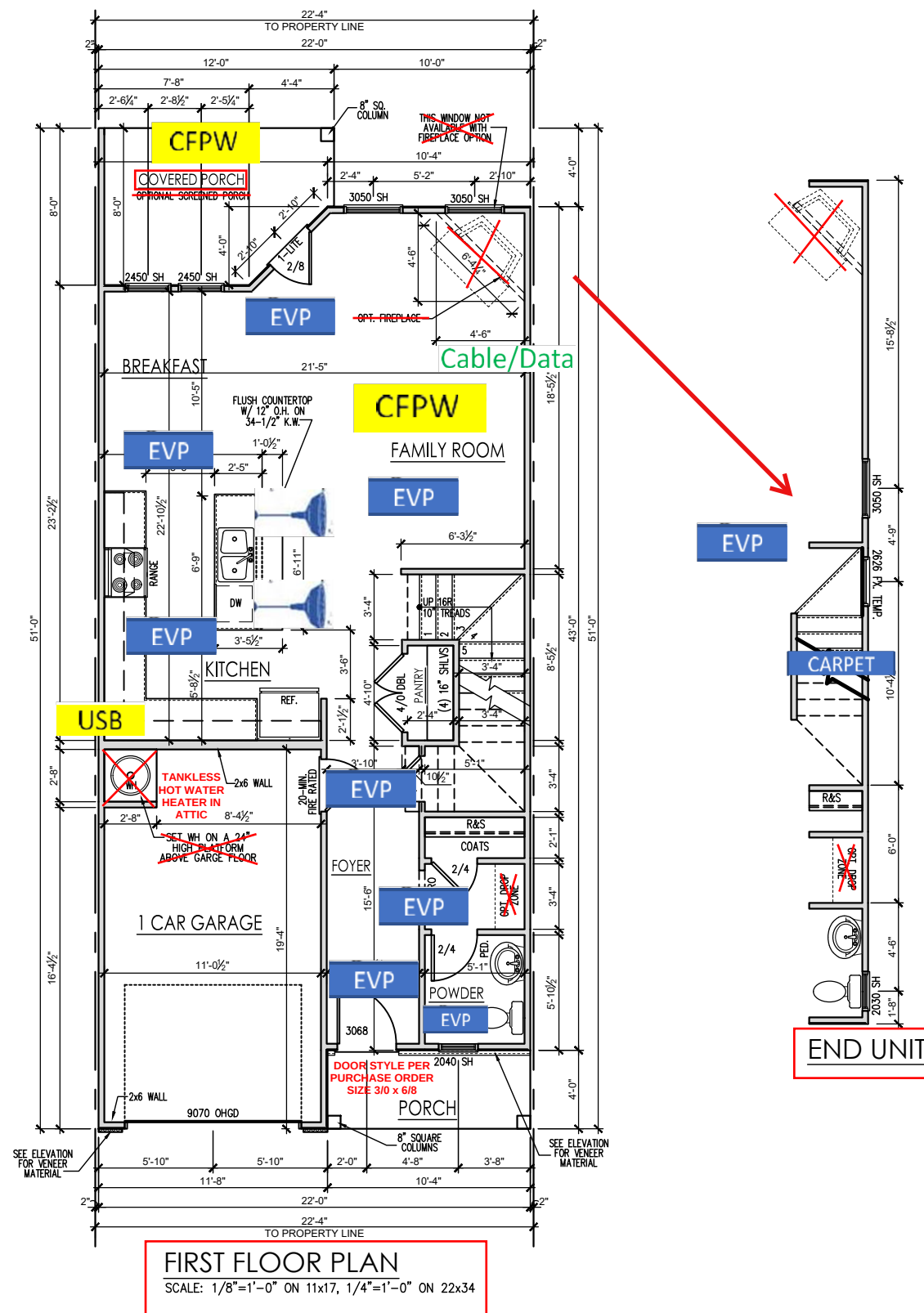


General Floor Plan Notes shall apply unless noted otherwise on plan.

1. **Wall Heights:** Typically 9'-1 1/2" at first floor and 8'-1 1/2" at second floor. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. **Wall Thickness** is typically 4" at exterior walls, 3 1/2" at interior. 2x6 frame shell be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. **Typical header height** shall be 8'-0" AFF at First Floor, and 7'-4" AFF at Second Floor U.O.
4. **Jacks:** Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack stud SPF on each side.
5. **Soffits, Coffered Ceilings, Trey Ceilings** and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens do not include soffits over wall cabinetry.
6. **Door & Window Frames**, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. **Windows:** Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. **Closets** for clothing or coat storage shall be equipped with 1 rod/shelf. Closets for linen shall have 5 open equal shelves. Closets for pantries shall have 5 equal wood shelves, painted.
9. **Stair treads** shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. **Handrails and Guards** at stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multi-level spaces shall be 34" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. **Attic Access** shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. **Garage Door to Living Space** shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. **Garage Walls**, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.



Springvale Towns Lot 25



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1	SEE COVER SHEET	06/10/19
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3	SEE COVER SHEET	08/21/2024
4	----	----
5	----	----
6	----	----
7	----	----
8	----	----

1713 THE GRAHAM - LH

First Floor Plan

DRAWN BY:
outh Designs

ISSUE DATE:

CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"

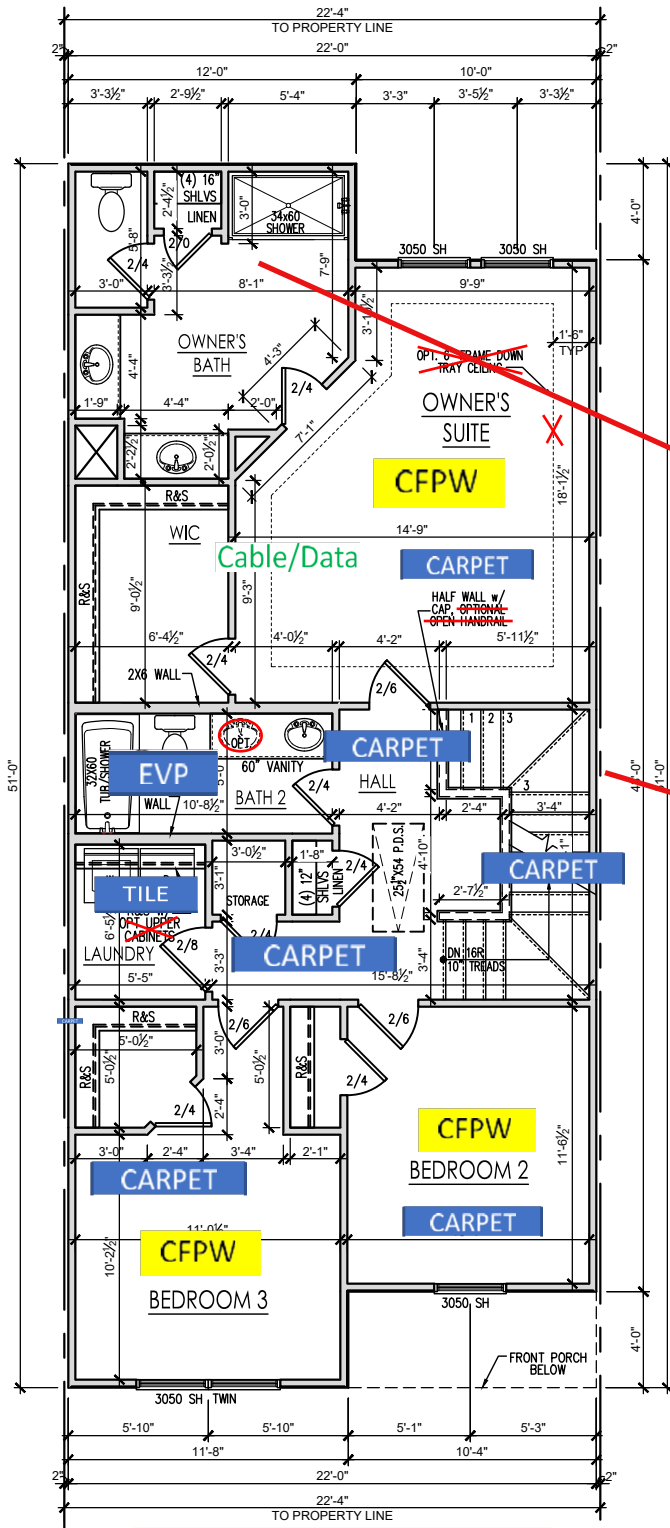
SHEET

2.1

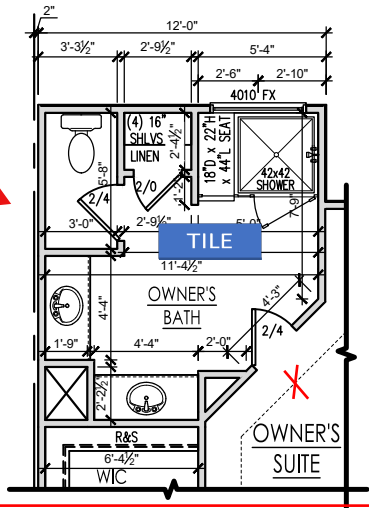
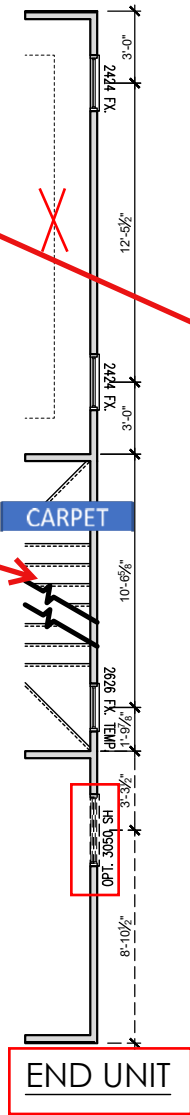
General Floor Plan Notes

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SECOND FLOOR PLAN
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



OPT. SPA SHOWER
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

Springvale Towns Lot 25



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7	---	---
8	---	---

1713 THE GRAHAM - LH

cond Floor Plan

DRAWN BY:
South Designs

ISSUE DATE:
8-12-2022

CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"

SHEET
2.2 S