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FRONT ELEVATION



PROJECT NAME:

1009 PARKER

OWNER:

-
1009 PARKER ST
RALEIGH, NC 27607
P: (919) 696-4976
E: WALTER@ABODEDB.COM

NOTES:

- WOOLROCK INSULATION ON BATHROOM WALLS.
- TYPE XP DRYWALL AT INTERIOR OF BATHROOM WALLS.
- EXTERIOR WALL COVERING TO BE FIBER CEMENT SIDING INSTALLED PER NCEC SECTION R703.
- ROOF COVERING TO BE ASPHALT SHINGLES PER NCRC CHAPTER 9.
- ATTIC INSULATION TO BE BATT INSULATION WITH A VALUE OR R-38 A 2" MIN. SEPARATION SHALL BE MAINTAINED BETWEEN ATTIC INSULATION AND ROOF SHEATHING.
- THE SOFFIT SHALL HAVE A CONTINUOUS VENT, AND THE ATTIC SHALL HAVE A CONTINUOUS RIDGE VENT.
- VERIFY ALL DIMENSIONS IN FIELD. ANY DISCREPENCIES SHOULD BE BOUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- VERIFY ALL WALL TYPES AND CONSTRUCTION WITH STRUCTURAL PLANS. ANY DISCREPENCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING.
- REFER TO STRUCTURAL PLANS FOR ALL WALL, FOUNDATION, FOOTING, FLOOR AND ROOF CONSTRUCTION.
- GARAGE ENTRANCE DOOR TO BE 20-MINUTE FIRE RATED.
- GARAGE CEILING DRYWALL TO BE 5/8 INCH TYPE X GYPSUM OR EQUIVALENT.

AREA SUMMARY:

MAIN FLOOR:	1 741 SF.
UPPER FLOOR:	2 133 SF.
TOTAL (LIVING/HEATED SPACE):	3 874 SF.
GARAGE:	559 SF.
COV'D DECK @ MAIN FLOOR (FRONT PORCH):	158 SF.
COV'D DECK @ MAIN FLOOR (REAR):	240 SF.
UNCOV'D DECK @ UPPER FLOOR (REAR):	294 SF.



FRONT/RIGHT ELEVATION



REAR ELEVATION



FRONT/LEFT ELEVATION

DRAWING INDEX

SHEET NUMBER	SHEET NAME
A0	COVER SHEET
A1	GROUND FLOOR PLAN
A2	FIRST FLOOR PLAN
A3	ROOF PLAN
A4	FRONT & RIGHT ELEVATIONS
A5	REAR & LEFT ELEVATIONS
A6	SECTIONS
A7	WINDOW SCHEDULE
A8	DOOR SCHEDULE
A9	DETAILS

PROJECT DESCRIPTION:

-

3D RENDERING NOTES:

3D ELEVATIONS ARE FOR REFERENCE ONLY. THESE SHOULD NOT BE USED TO DETERMINE ANY PORTION OF THE CONSTRUCTION OTHER THAN GENERAL MATERIAL AND APPEARANCE. REFER TO ELEVATION SHEETS FOR DETAILS.

BUILDING DEPARTMENT NOTES:

PROJECT NAME
1009 PARKER

PREPARED FOR
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SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

COVER SHEET

PROJECT NUMBER
22201-2-2B

SHEET NUMBER

A0

TYPICAL FLOOR NOTES:

1. INSTALL SMOKE DETECTORS IN ALL SLEEPING ROOMS AND AT AREAS ADJACENT TO SLEEPING ROOMS, AND AT CEILING HEIGHT CHANGES GREATER THAN 24". SMOKE DETECTORS TO BE HARD-WIRED AND INTERCONNECTED, WITH BATTERY BACK-UP PER CODE.
2. INSTALL CARBON MONOXIDE SENSORS ADJACENT TO SLEEPING AREAS.
3. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
4. ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
5. BASEMENT FLOOR HEADERS PER STRUCTURAL @ 8'-0" A.F.F. (U.N.O.)
6. WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
7. DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS
8. PROVIDE FIREBLOCKING AT ALL PLUMBING OPENINGS.
9. PROVIDE SOLID BLOCKING OVER SUPPORTS.
10. WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF CONCEALED SPACE DOES NOT EXCEED 1000 SF. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS AND SHALL BE OF 1/2" GYP BOARD OR OTHER APPROVED MATERIALS INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS PER CODE.
11. PROVIDE FIREBLOCKING TO CUT OFF ALL CONCEALED HORIZONTAL AND VERTICAL DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL CONSIST OF NOT LESS THAN 2" NOMINAL LUMBER OR OTHER APPROVED MATERIAL.
12. APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDINGS STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL SURFACE AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. FLASHING SHALL BE INSTALLED AT, BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:
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 - UNDER MASONRY, WOOD OR METAL COPINGS AND SILLS
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14. AIR EXHAUST & INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED W/ CORROSION RESISTANT SCREENS, LOUVERS, OR GRILLS W/ 1/4" MINIMUM & 1/2" MAX OPENINGS IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS PER 2021 IRC.
15. DUCTS FOR KITCHEN RANGES SHALL BE OF METAL AND BE EQUIPPED W/ BACK-DRAFT DAMPERS PER CODE.
16. ALL INTERIOR FINISHES TO MEET MINIMUM FLAME SPREAD INDEX AND SMOKE DEVELOPMENT INDEX AS REQUIRED BY 2021 IRC.
17. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED A HAZARDOUS LOCATION, SAFETY GLAZING.

GARAGE NOTES:

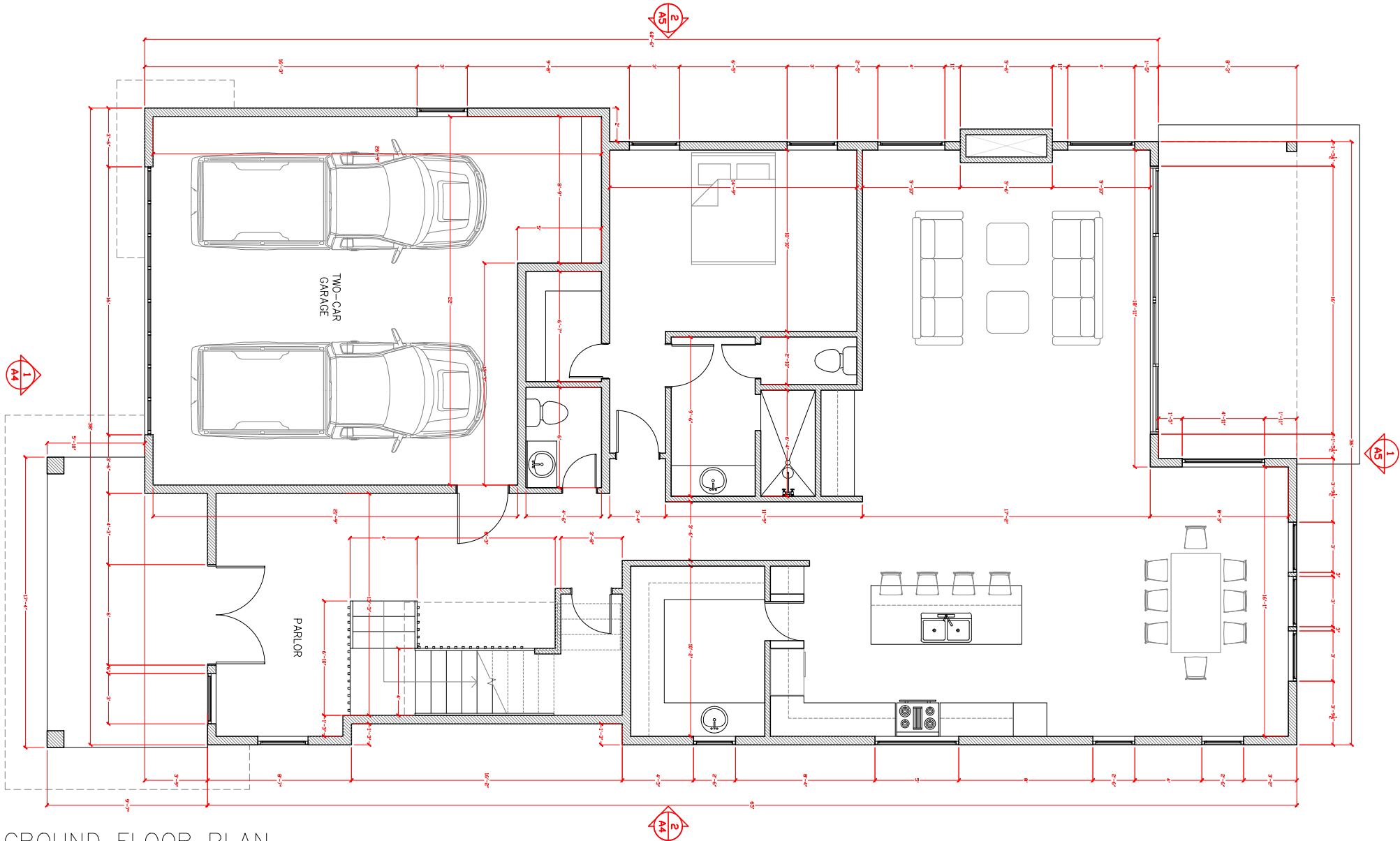
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NOTE:
REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN

NOTE:
EACH DOOR TO BE UNDERCUT A MINIMUM OF 1/2-INCH TO ASSURE FREE FLOW OF FRESH AIR THROUGHOUT HABITABLE ROOMS



1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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1009 PARKER

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SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

GROUND
FLOOR
PLAN

PROJECT NUMBER
22201-2-2B

SHEET NUMBER

A1

TYPICAL FLOOR NOTES:

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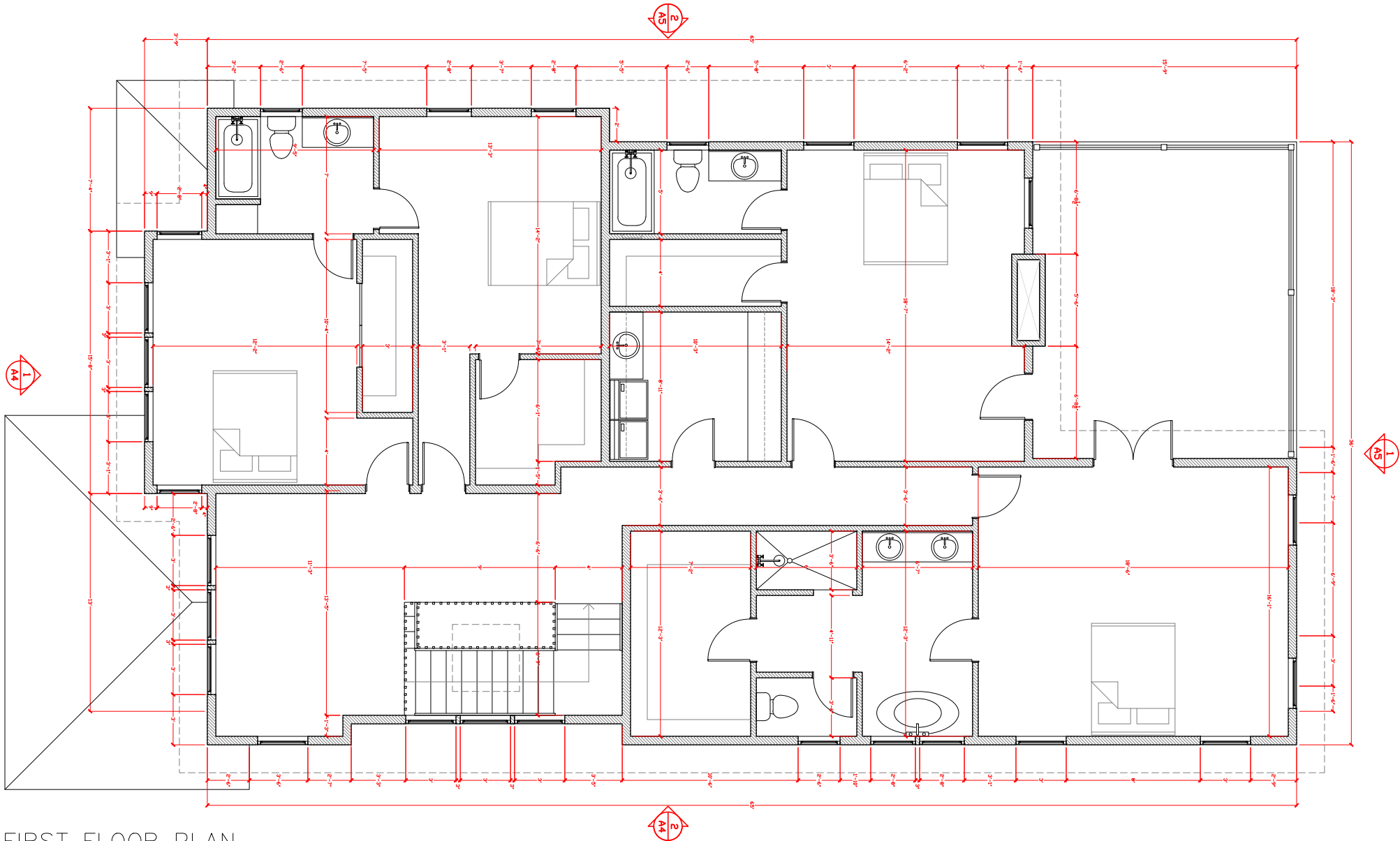
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1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJECT NAME
1009 PARKER

PREPARED FOR
1009 PARKER ST
RALEIGH, NC 27607
P: (919) 696-4976
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SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

FIRST
FLOOR
PLAN

PROJECT NUMBER
22201-2-2B

SHEET NUMBER

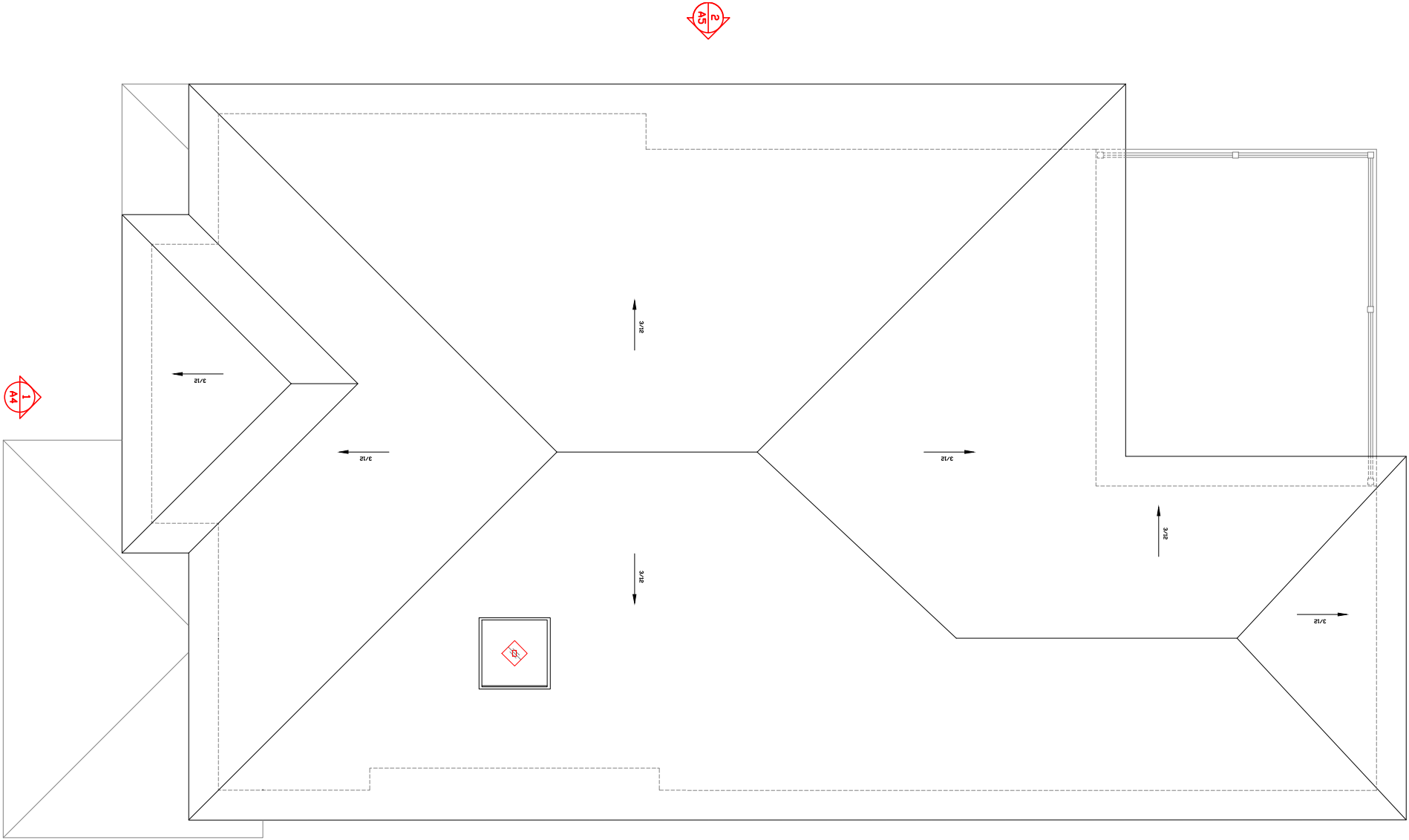
A2

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1 ROOF PLAN
SCALE: 1/8" = 1'-0"

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PREPARED FOR
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SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

ROOF
PLAN

PROJECT NUMBER
22201-2-2B

SHEET NUMBER

A3

ELEVATION NOTES:

1. VERIFY SHEAR WALL NAILING & HOLDDOWNS PER PLAN PRIOR TO INSTALLING SIDING.
2. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
3. PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.8
4. PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R905.2.8
5. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE-INTERIOR DOORS.
6. PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS @ ALL EAVES, TYP.
7. ADDRESS OR HOUSE NUMBER TO BE POSTED AND PLAINLY VISIBLE FROM THE STREET FRONTAGE. MIN. 4" HEIGHT, 1/2" STROKE WIDTH AND CONTRASTING BACKGROUND.
8. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. R303.6
9. SEE SHEET A1 FOR ADDITIONAL NOTES.
10. PROVIDE SURFACE DRAINAGE 6" : 10' MIN. AWAY FROM HOUSE FOOTPRINT IRC R401.3

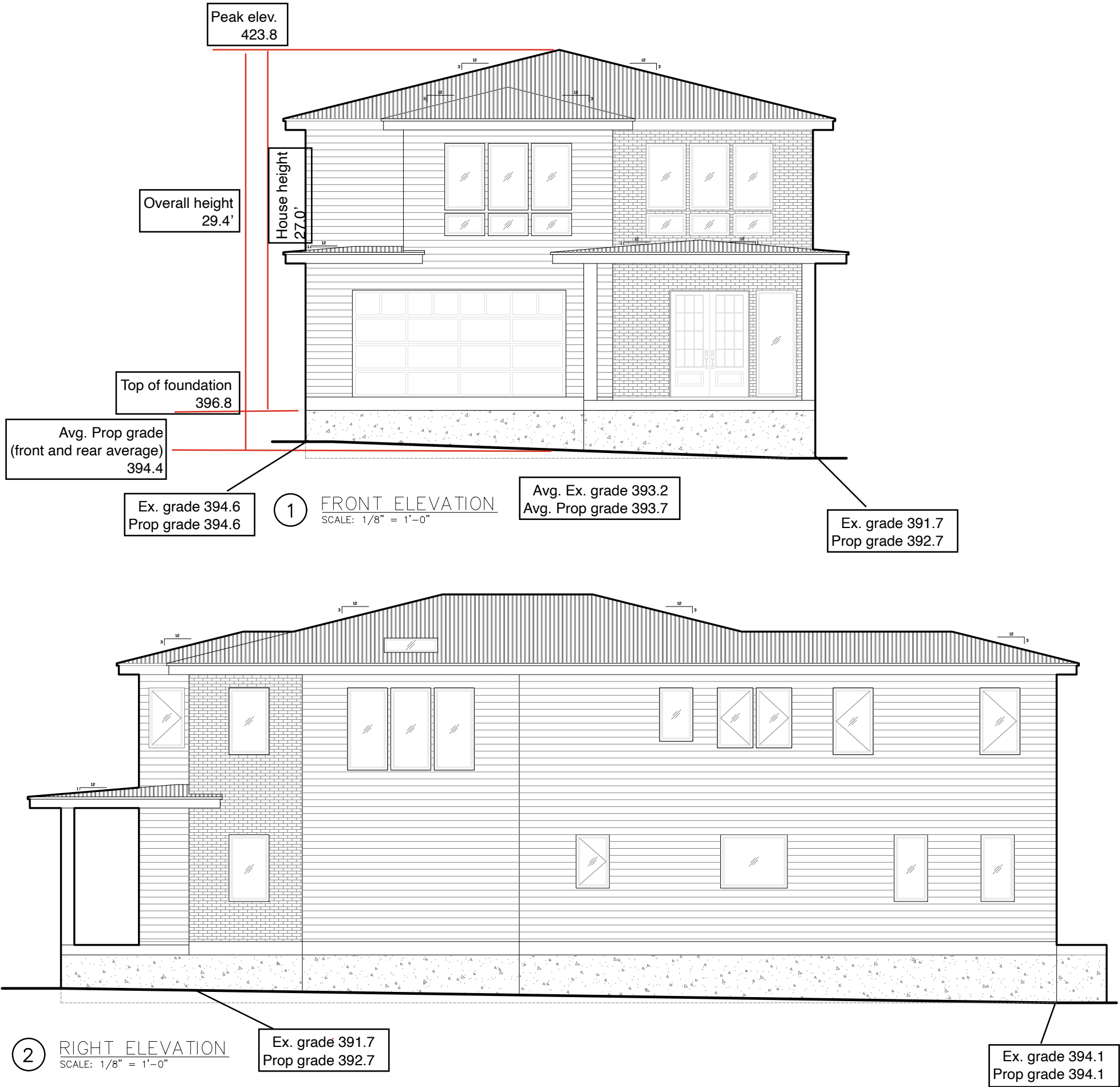
NOTE:
NO OPERABLE WINDOW SHALL BE INSTALLED LESS THAN 24 INCHES ABOVE FINISHED FLOOR THAT IS GREATER THAN 72 INCHES ABOVE THE FINISH GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING.

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

SMOKE & CARBON MONOXIDE ALARMS:

- SMOKE AND CARBON MONOXIDE ALARMS MUST BE PROVIDED IN ALL REQUIRED LOCATIONS AND MUST BE:
- * AUDIBLE IN ALL PARTS OF THE HOUSE
 - * INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- NEW HOUSES (IRC R314 & R315)
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE REQUIRED AND MUST BE CONNECTED TO THE MAIN ELECTRICAL SYSTEM WITH BATTERY BACKUP.
- CARBON MONOXIDE ALARMS ARE REQUIRED IN ALL NEW AND EXISTING HOMES, APARTMENTS, CONDOMINIUMS, AND OTHER MULTI-FAMILY UNITS.
- REQUIRED LOCATIONS
- * SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND IN NAPPING AREAS IN A FAMILY HOME, CHILD CARE.
 - * SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE LOCATED OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - * SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE LOCATED ON EVERY FLOOR LEVEL, INCLUDING BASEMENTS (DOES NOT INCLUDE CRAWLSPACE AND UNINHABITABLE ATTICS).
 - * IN SPLIT LEVEL FLOOR PLANS, AT THE UPPER LEVEL, PROVIDED THERE IS NO INTERVENING DOOR BETWEEN ADJACENT LEVELS AND THE LOWER LEVEL IS LESS THAN A FULL STORY BELOW THE UPPER LEVEL
 - * A CARBON MONOXIDE ALARM IS REQUIRED IN A BEDROOM WHEN A FUEL-BURNING APPLIANCE IS INSTALLED IN THE BEDROOM OR ITS ATTACHED BATHROOM.
 - * A COMBINATION ALARM (COMBINED SMOKE AND CARBON MONOXIDE ALARM) IS ACCEPTABLE IN ANY REQUIRED LOCATION.
- *WALL MOUNTED ALARMS MUST BE NOT MORE THAN 12 INCHES FROM THE ADJOINING CEILING SURFACE.
- * AVOID PLACING ALARMS LESS THAN 3 FEET FROM SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND DO NOT PLACE ALARMS IN THE DIRECT AIRFLOW OF THE REGISTERS.
 - * AVOID PLACING ALARMS WITHIN 3 FEET HORIZONTALLY FROM DOORS TO BATHROOMS CONTAINING A BATHTUB OR SHOWER.
 - * DO NOT PLACE ALARMS IN SPACES WHERE TEMPERATURES MAY BE ABOVE OR BELOW THE ALARM'S OPERATING TEMPERATURE RANGE.
 - * DO NOT PLACE ALARMS WITHIN 3 FEET OF THE BLADES OF A CEILING FAN.
 - * ALARMS IN PEAKED OR SLOPED CEILINGS MUST BE WITHIN 3 FEET OF THE PEAK, MEASURED HORIZONTALLY, BUT NOT IN THE HIGHEST 4 INCHES OF THE CEILING, MEASURED VERTICALLY.
- A. PHOTOELECTRIC SMOKE ALARMS MUST NOT BE LESS THAN 6 FEET FROM A PERMANENT COOKING APPLIANCE.
- B. IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH MUST NOT BE LESS THAN 10 FEET FROM A PERMANENT COOKING APPLIANCE.
- C. IONIZATION SMOKE ALARMS WITHOUT AN ALARM-SILENCING SWITCH MUST NOT BE LESS THAN 20 FEET FROM A PERMANENT COOKING APPLIANCE
- CARBON MONOXIDE ALARM LOCATION LIMITATIONS
- * DO NOT PLACE ALARMS DIRECTLY ABOVE OR BESIDE FUEL-BURNING APPLIANCES.
 - * DO NOT PLACE ALARMS IN DIRECT SUNLIGHT.
 - * DO NOT PLACE ALARMS IN LOW AREAS WHERE CHILDREN CAN REACH.
 - DO NOT PLACE ALARMS BEHIND CURTAINS OR ANY STRUCTURE THAT MIGHT PREVENT CARBON MONOXIDE FROM REACHING THE SENSOR.

FOR SIDING & PANEL DETAILS SEE SHEETS A12 & A13



PROJECT NAME
1009 PARKER

PREPARED FOR
1009 PARKER ST
RALEIGH, NC 27607
P: (919) 696-4976
E: walter@abodedb.com

SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

FRONT &
RIGHT
ELEVATIONS

PROJECT NUMBER
22201-2-2B

SHEET NUMBER

A4

ELEVATION NOTES:

1. VERIFY SHEAR WALL NAILING & HOLDDOWNS PER PLAN PRIOR TO INSTALLING SIDING.
2. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
3. PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.8
4. PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R905.2.8
5. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE-INTERIOR DOORS.
6. PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS @ ALL EAVES, TYP.
7. ADDRESS OR HOUSE NUMBER TO BE POSTED AND PLAINLY VISIBLE FROM THE STREET FRONTAGE. MIN. 4" HEIGHT, 1/2" STROKE WIDTH AND CONTRASTING BACKGROUND.
8. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. R303.6
9. SEE SHEET A1 FOR ADDITIONAL NOTES.
10. PROVIDE SURFACE DRAINAGE 6" : 10' MIN. AWAY FROM HOUSE FOOTPRINT IRC R401.3

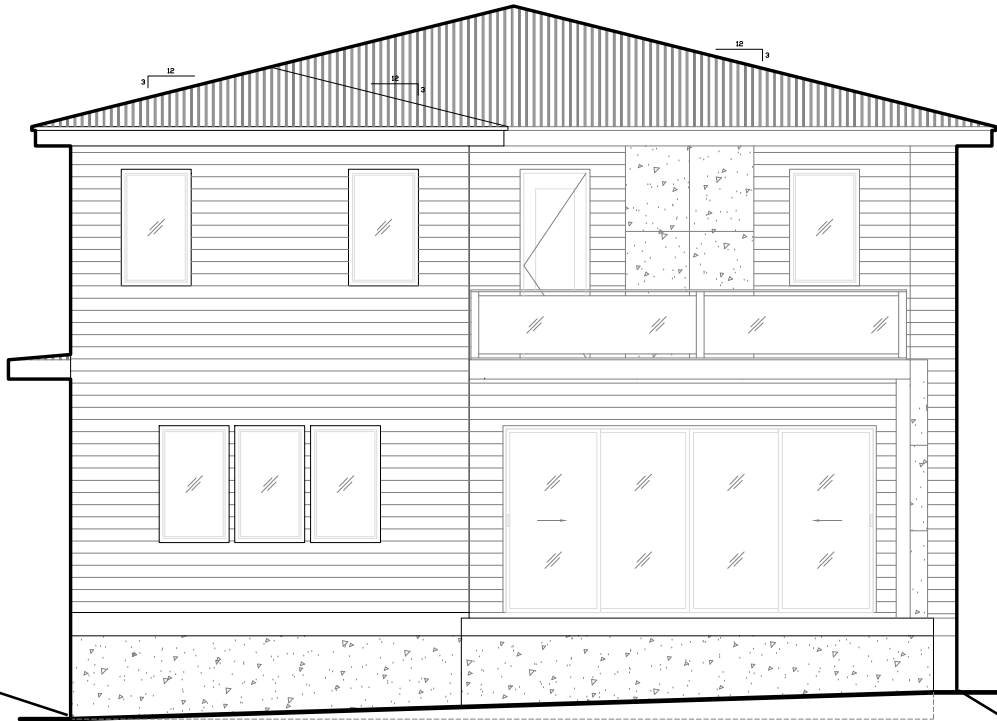
NOTE:
NO OPERABLE WINDOW SHALL BE INSTALLED LESS THAN 24 INCHES ABOVE FINISHED FLOOR THAT IS GREATER THAN 72 INCHES ABOVE THE FINISH GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING.

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

SMOKE & CARBON MONOXIDE ALARMS:

- SMOKE AND CARBON MONOXIDE ALARMS MUST BE PROVIDED IN ALL REQUIRED LOCATIONS AND MUST BE:
- * AUDIBLE IN ALL PARTS OF THE HOUSE
 - * INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- NEW HOUSES (IRC R314 & R315)
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE REQUIRED AND MUST BE CONNECTED TO THE MAIN ELECTRICAL SYSTEM WITH BATTERY BACKUP.
- CARBON MONOXIDE ALARMS ARE REQUIRED IN ALL NEW AND EXISTING HOMES, APARTMENTS, CONDOMINIUMS, AND OTHER MULTI-FAMILY UNITS.
- REQUIRED LOCATIONS
- * SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND IN NAPPING AREAS IN A FAMILY HOME, CHILD CARE.
 - * SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE LOCATED OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - * SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE LOCATED ON EVERY FLOOR LEVEL, INCLUDING BASEMENTS (DOES NOT INCLUDE CRAWLSPACE AND UNINHABITABLE ATTICS).
 - * IN SPLIT LEVEL FLOOR PLANS, AT THE UPPER LEVEL, PROVIDED THERE IS NO INTERVENING DOOR BETWEEN ADJACENT LEVELS AND THE LOWER LEVEL IS LESS THAN A FULL STORY BELOW THE UPPER LEVEL
 - * A CARBON MONOXIDE ALARM IS REQUIRED IN A BEDROOM WHEN A FUEL-BURNING APPLIANCE IS INSTALLED IN THE BEDROOM OR ITS ATTACHED BATHROOM.
 - * A COMBINATION ALARM (COMBINED SMOKE AND CARBON MONOXIDE ALARM) IS ACCEPTABLE IN ANY REQUIRED LOCATION.
- *WALL MOUNTED ALARMS MUST BE NOT MORE THAN 12 INCHES FROM THE ADJOINING CEILING SURFACE.
- * AVOID PLACING ALARMS LESS THAN 3 FEET FROM SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND DO NOT PLACE ALARMS IN THE DIRECT AIRFLOW OF THE REGISTERS.
 - * AVOID PLACING ALARMS WITHIN 3 FEET HORIZONTALLY FROM DOORS TO BATHROOMS CONTAINING A BATHTUB OR SHOWER.
 - * DO NOT PLACE ALARMS IN SPACES WHERE TEMPERATURES MAY BE ABOVE OR BELOW THE ALARM'S OPERATING TEMPERATURE RANGE.
 - * DO NOT PLACE ALARMS WITHIN 3 FEET OF THE BLADES OF A CEILING FAN.
 - * ALARMS IN PEAKED OR SLOPED CEILINGS MUST BE WITHIN 3 FEET OF THE PEAK, MEASURED HORIZONTALLY, BUT NOT IN THE HIGHEST 4 INCHES OF THE CEILING, MEASURED VERTICALLY.
- A. PHOTOELECTRIC SMOKE ALARMS MUST NOT BE LESS THAN 6 FEET FROM A PERMANENT COOKING APPLIANCE.
- B. IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH MUST NOT BE LESS THAN 10 FEET FROM A PERMANENT COOKING APPLIANCE.
- C. IONIZATION SMOKE ALARMS WITHOUT AN ALARM-SILENCING SWITCH MUST NOT BE LESS THAN 20 FEET FROM A PERMANENT COOKING APPLIANCE
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- * DO NOT PLACE ALARMS DIRECTLY ABOVE OR BESIDE FUEL-BURNING APPLIANCES.
 - * DO NOT PLACE ALARMS IN DIRECT SUNLIGHT.
 - * DO NOT PLACE ALARMS IN LOW AREAS WHERE CHILDREN CAN REACH.
 - DO NOT PLACE ALARMS BEHIND CURTAINS OR ANY STRUCTURE THAT MIGHT PREVENT CARBON MONOXIDE FROM REACHING THE SENSOR.

FOR SIDING & PANEL DETAILS SEE SHEETS A12 & A13

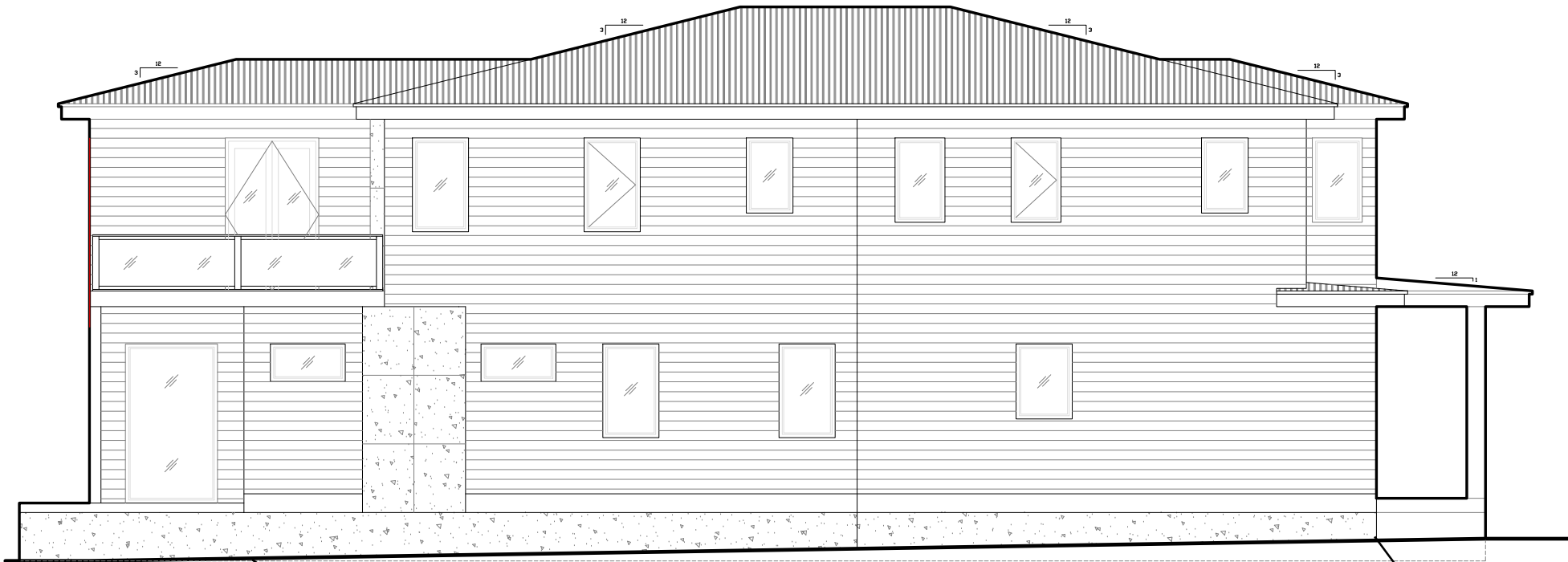


Ex. grade 394.1
Prop grade 394.1

1 REAR ELEVATION
SCALE: 1/8" = 1'-0"

Avg. Ex. grade 395.5
Avg. Prop grade 395.0

Ex. grade 396.8
Prop grade 395.8



Ex. grade 396.8
Prop grade 395.8

2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

Ex. grade 394.6
Prop grade 394.6

PROJECT NAME
1009 PARKER

PREPARED FOR
1009 PARKER ST
RALEIGH, NC 27607
P: (919) 696-4976
E: walter@abodedb.com

SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

REAR &
LEFT
ELEVATIONS

PROJECT NUMBER
22201-2-2B

SHEET NUMBER

A5

ELEVATION NOTES:

1. VERIFY SHEAR WALL NAILING & HOLDDOWNS PER PLAN PRIOR TO INSTALLING SIDING.
2. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
3. PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.8
4. PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R905.2.8
5. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE-INTERIOR DOORS.
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7. ADDRESS OR HOUSE NUMBER TO BE POSTED AND PLAINLY VISIBLE FROM THE STREET FRONTAGE. MIN. 4" HEIGHT, 1/2" STROKE WIDTH AND CONTRASTING BACKGROUND.
8. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. R303.6
9. SEE SHEET A1 FOR ADDITIONAL NOTES.
10. PROVIDE SURFACE DRAINAGE 6" : 10' MIN. AWAY FROM HOUSE FOOTPRINT IRC R401.3

NOTE:

NO OPERABLE WINDOW SHALL BE INSTALLED LESS THAN 24 INCHES ABOVE FINISHED FLOOR THAT IS GREATER THAN 72 INCHES ABOVE THE FINISH GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING.

NOTE:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

SMOKE & CARBON MONOXIDE ALARMS:

SMOKE AND CARBON MONOXIDE ALARMS MUST BE PROVIDED IN ALL REQUIRED LOCATIONS AND MUST BE:

- * AUDIBLE IN ALL PARTS OF THE HOUSE
- * INSTALLED PER MANUFACTURER'S INSTRUCTIONS

NEW HOUSES (IRC R314 & R315)

SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE REQUIRED AND MUST BE CONNECTED TO THE MAIN ELECTRICAL SYSTEM WITH BATTERY BACKUP.

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CARBON MONOXIDE ALARM LOCATION LIMITATIONS

- * DO NOT PLACE ALARMS DIRECTLY ABOVE OR BESIDE FUEL-BURNING APPLIANCES.
- * DO NOT PLACE ALARMS IN DIRECT SUNLIGHT.
- * DO NOT PLACE ALARMS IN LOW AREAS WHERE CHILDREN CAN REACH.

DO

NOT PLACE ALARMS BEHIND CURTAINS OR ANY STRUCTURE THAT MIGHT PREVENT CARBON MONOXIDE FROM REACHING THE SENSOR.

FOR SIDING & PANEL DETAILS SEE SHEETS A12 & A13

PROJECT NAME
1009 PARKER

PREPARED FOR
1009 PARKER ST
RALEIGH, NC 27607
P: (919) 696-4976
E: walter@abodedb.com

SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

SECTIONS

PROJECT NUMBER

22201-2-2B

SHEET NUMBER

A6

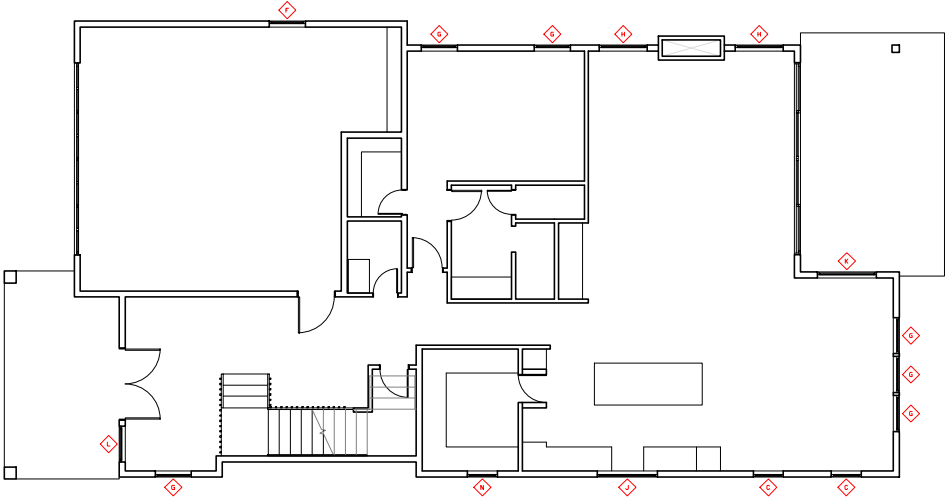
ELEVATION NOTES:

- 1. VERIFY SHEAR WALL NAILING & HOLDDOWNS PER PLAN PRIOR TO INSTALLING SIDING.
- 2. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- 3. PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.8
- 4. PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R905.2.8
- 5. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE-INTERIOR DOORS.
- 6. PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS @ ALL EAVES, TYP.
- 7. ADDRESS OR HOUSE NUMBER TO BE POSTED AND PLAINLY VISIBLE FROM THE STREET FRONTAGE. MIN. 4" HEIGHT, 1/2" STROKE WIDTH AND CONTRASTING BACKGROUND.
- 8. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. R303.6
- 9. SEE SHEET A1 FOR ADDITIONAL NOTES.
- 10. PROVIDE SURFACE DRAINAGE 6" : 10' MIN. AWAY FROM HOUSE FOOTPRINT IRC R401.3

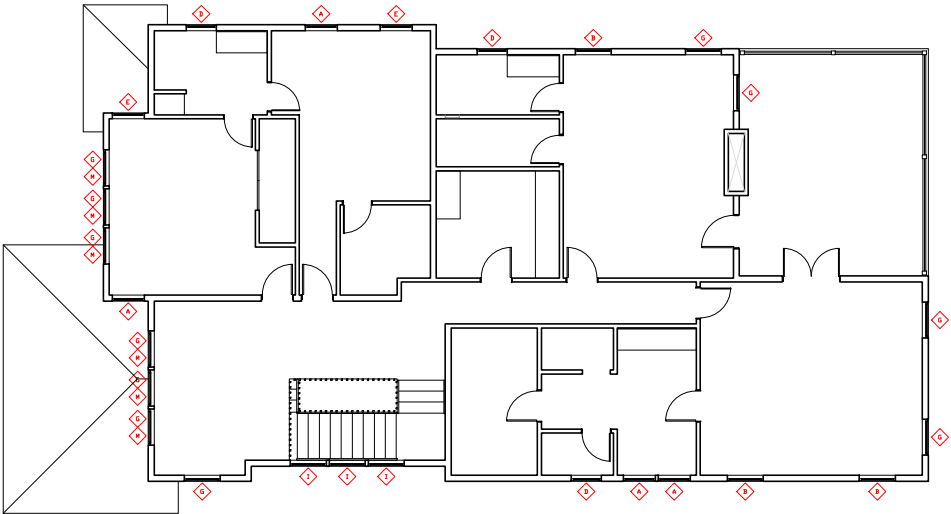
NOTE:
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NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

WINDOW SCHEDULE				
HEADER HEIGHT: GROUND FLOOR 8', FIRST FLOOR 8'				
TAG	CALL SIZE		TYPE	QUANTITY
A	2'8"	4'6"	CASEMENT	3
B	3'	5'	CASEMENT	3
C	2'6"	5'	FIXED	2
D	2'6"	4'	FIXED	3
E	2'8"	4'6"	FIXED	2
F	3'	4'	FIXED	1
G	3'	5'	FIXED	17
H	4'	2'	FIXED	2
I	3'	6'2"	FIXED	3
J	5'	4'	FIXED	1
K	4'11"	8'6"	FIXED	1
L	3'	8'	FIXED, TEMPERED	1
M	3'	1'8"	FIXED	6
N	2'6"	4'	CASEMENT	1
O	4'	4'	FIXED (SKYLIGHT)	1



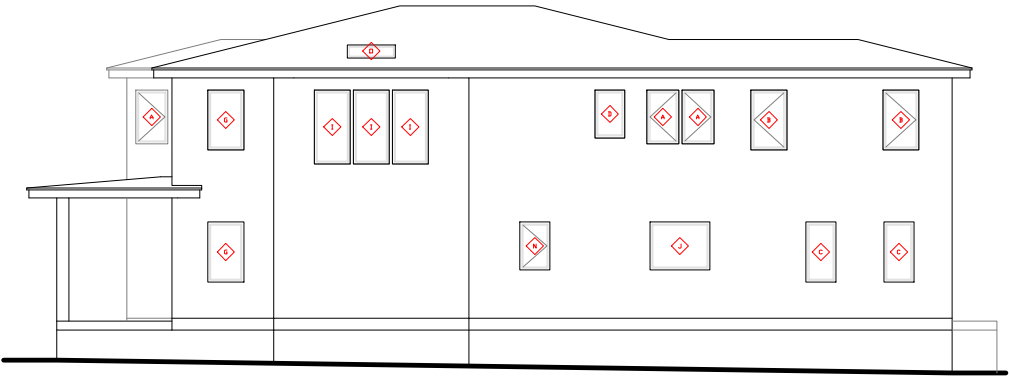
1 GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



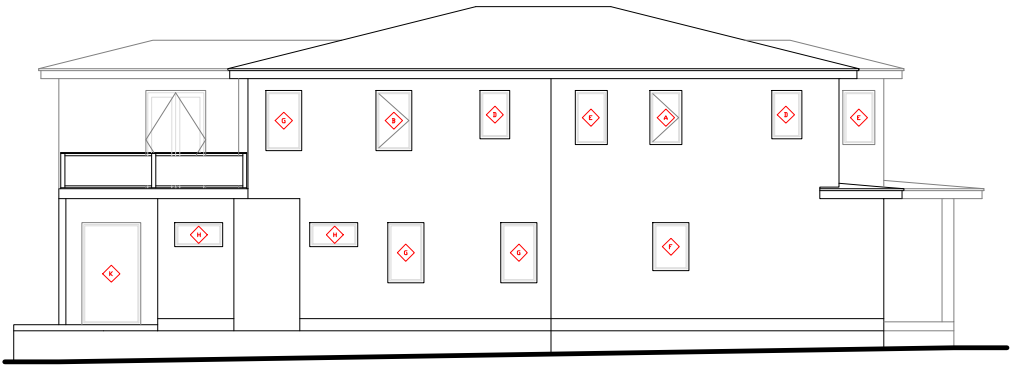
3 FRONT ELEVATION
SCALE: 1/16" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/16" = 1'-0"



5 REAR ELEVATION
SCALE: 1/16" = 1'-0"



6 LEFT ELEVATION
SCALE: 1/16" = 1'-0"

PROJECT NAME
1009 PARKER

PREPARED FOR
1009 PARKER ST
RALEIGH, NC 27607
P: (919) 696-4976
E: walter@abodedb.com

SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

WINDOW
SCHEDULE

PROJECT NUMBER
22201-2-2B

SHEET NUMBER

A7

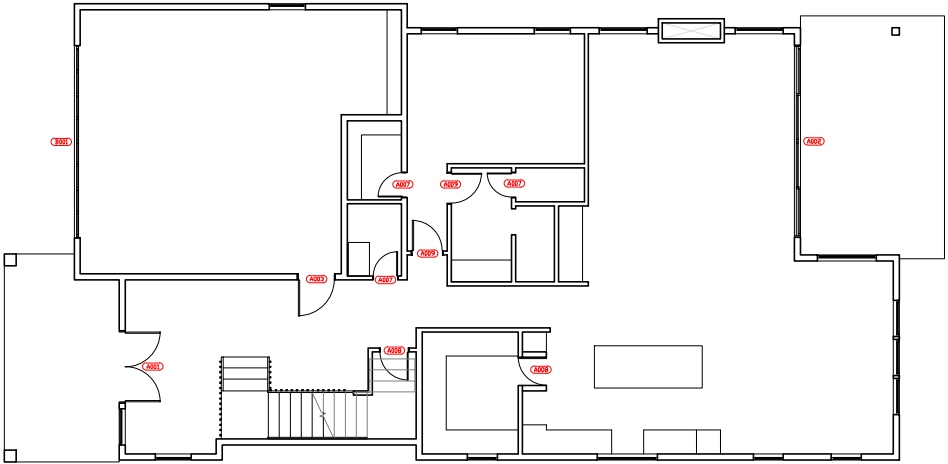
ELEVATION NOTES:

- 1. VERIFY SHEAR WALL NAILING & HOLDDOWNS PER PLAN PRIOR TO INSTALLING SIDING.
- 2. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- 3. PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.8
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- 6. PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS @ ALL EAVES, TYP.
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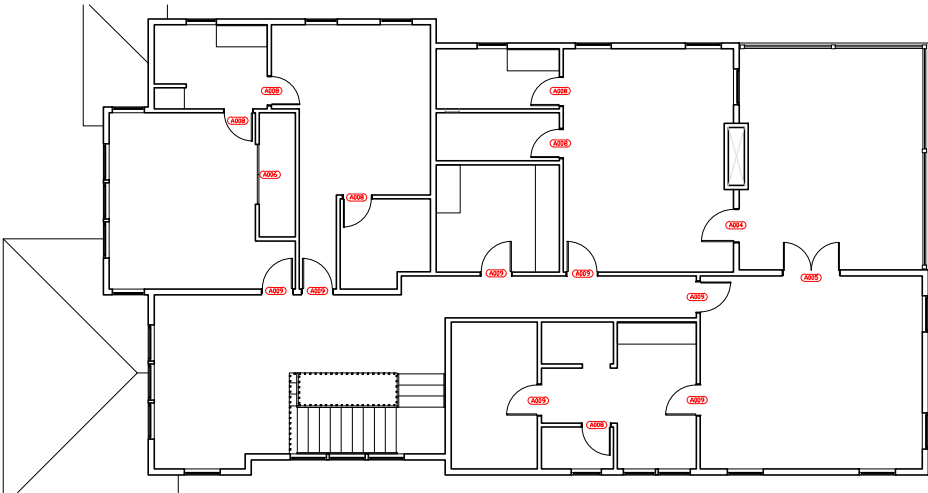
NOTE:
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DOOR SCHEDULE				
HEADER HEIGHT: GROUND FLOOR 8', FIRST FLOOR 8'				
TAG	CALL	SIZE	TYPE	QUANTITY
A001	5'10"	8'	EXT. DOUBLE ENTRY SWING	1
A002	16'	8'	EXT. SLIDER	1
A003	3'	8'	EXT. SWING (20 MIN FIRE RATED)	1
A004	2'8"	8'	EXT. SWING	1
A005	2'4"	8'	EXT. DOUBLE SWING	1
A006	5'	8'	INT. BYPASS CLOSET	1
A007	2'	8'	INT. SWING	3
A008	2'4"	8'	INT. SWING	8
A009	2'6"	8'	INT. SWING	9
B001	16'	8'	GARAGE DOOR	1



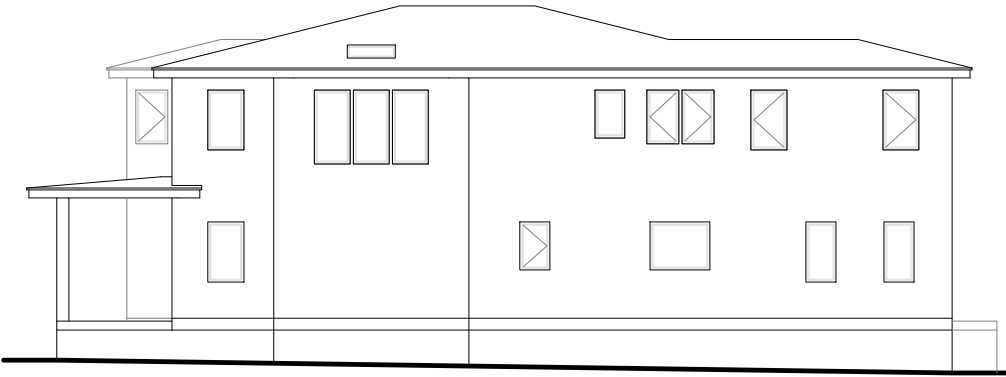
1 GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



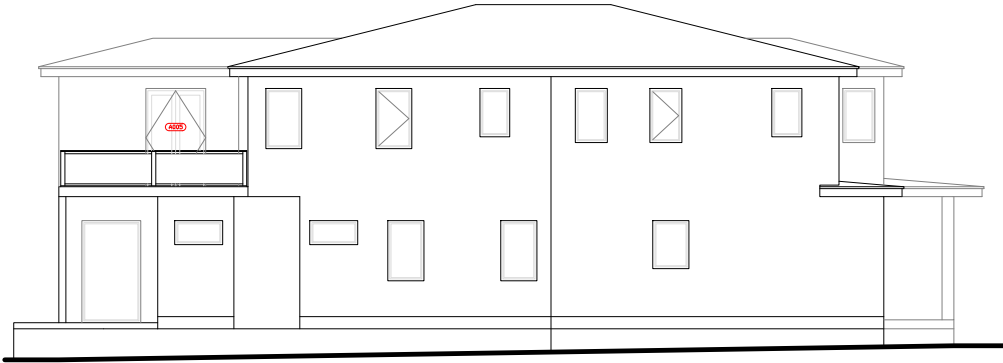
3 FRONT ELEVATION
SCALE: 1/16" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/16" = 1'-0"



5 REAR ELEVATION
SCALE: 1/16" = 1'-0"



6 LEFT ELEVATION
SCALE: 1/16" = 1'-0"

PROJECT NAME
1009 PARKER

PREPARED FOR
1009 PARKER ST
RALEIGH, NC 27607
P: (919) 696-4976
E: walter@abodedb.com

SUBMITTAL/REVISION DATE
SUBMITTED:
REVISED:

DESIGNED BY:

DRAFTED BY:

SHEET TITLE

DOOR
SCHEDULE

PROJECT NUMBER
22201-2-2B

SHEET NUMBER

A8

ELEVATION NOTES:

1. VERIFY SHEAR WALL NAILING & HOLDOWNS PER PLAN PRIOR TO INSTALLING SIDING.
2. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
3. PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.8
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SMOKE & CARBON MONOXIDE ALARMS:

SMOKE AND CARBON MONOXIDE ALARMS MUST BE PROVIDED IN ALL REQUIRED LOCATIONS AND MUST BE:

- * AUDIBLE IN ALL PARTS OF THE HOUSE
- * INSTALLED PER MANUFACTURER'S INSTRUCTIONS

NEW HOUSES (IRC R314 & R315)

SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE REQUIRED AND MUST BE CONNECTED TO THE MAIN ELECTRICAL SYSTEM WITH BATTERY BACKUP.

CARBON MONOXIDE ALARMS ARE REQUIRED IN ALL NEW AND EXISTING HOMES, APARTMENTS, CONDOMINIUMS, AND OTHER MULTI-FAMILY UNITS.

REQUIRED LOCATIONS

- * SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND IN NAPPING AREAS IN A FAMILY HOME CHILD CARE.
- * SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE LOCATED OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- * SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE LOCATED ON EVERY FLOOR LEVEL, INCLUDING BASEMENTS (DOES NOT INCLUDE CRAWLSPACE AND UNINHABITABLE ATTICS).
- * IN SPLIT LEVEL FLOOR PLANS, AT THE UPPER LEVEL, PROVIDED THERE IS NO INTERVENING DOOR BETWEEN ADJACENT LEVELS AND THE LOWER LEVEL IS LESS THAN A FULL STORY BELOW THE UPPER LEVEL
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- * A COMBINATION ALARM (COMBINED SMOKE AND CARBON MONOXIDE ALARM) IS ACCEPTABLE IN ANY REQUIRED LOCATION.

*WALL MOUNTED ALARMS MUST BE NOT MORE THAN 12 INCHES FROM THE ADJOINING CEILING SURFACE.

- * AVOID PLACING ALARMS LESS THAN 3 FEET FROM SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND DO NOT PLACE ALARMS IN THE DIRECT AIRFLOW OF THE REGISTERS.
- * AVOID PLACING ALARMS WITHIN 3 FEET HORIZONTALLY FROM DOORS TO BATHROOMS CONTAINING A BATHTUB OR SHOWER.
- * DO NOT PLACE ALARMS IN SPACES WHERE TEMPERATURES MAY BE ABOVE OR BELOW THE ALARM'S OPERATING TEMPERATURE RANGE.
- * DO NOT PLACE ALARMS WITHIN 3 FEET OF THE BLADES OF A CEILING FAN.
- * ALARMS IN PEAKED OR SLOPED CEILINGS MUST BE WITHIN 3 FEET OF THE PEAK, MEASURED HORIZONTALLY, BUT NOT IN THE HIGHEST 4 INCHES OF THE CEILING, MEASURED VERTICALLY.

A. PHOTOELECTRIC SMOKE ALARMS MUST NOT BE LESS THAN 6 FEET FROM

A PERMANENT COOKING APPLIANCE.

B. IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH MUST NOT BE LESS THAN 10 FEET FROM A PERMANENT COOKING APPLIANCE.

C. IONIZATION SMOKE ALARMS WITHOUT AN ALARM-SILENCING SWITCH MUST NOT BE LESS THAN 20 FEET FROM A PERMANENT COOKING APPLIANCE

CARBON MONOXIDE ALARM LOCATION LIMITATIONS

- * DO NOT PLACE ALARMS DIRECTLY ABOVE OR BESIDE FUEL-BURNING APPLIANCES.
- * DO NOT PLACE ALARMS IN DIRECT SUNLIGHT.
- * DO NOT PLACE ALARMS IN LOW AREAS WHERE CHILDREN CAN REACH.

DO NOT PLACE ALARMS BEHIND CURTAINS OR ANY STRUCTURE THAT MIGHT PREVENT CARBON MONOXIDE FROM REACHING THE SENSOR.

FOR SIDING & PANEL DETAILS SEE SHEETS A12 & A13

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1009 PARKER

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DESIGNED BY:

DRAFTED BY:

SHEET TITLE

DETAILS

PROJECT NUMBER
22201-2-2B

SHEET NUMBER