



J.B. Simpson
Home Inspection

J.B. SIMPSON HOME INSPECTION

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RESIDENTIAL INSPECTION REPORT J.B. SIMPSON HOME INSPECTION

4245 The Oaks Dr
Raleigh, NC 27606

Crys Rivers
06/04/2026



Inspector

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Thank you for choosing J.B. Simpson Home Inspection as your trusted home inspector.

The inspection performed and written will be a third party, impartial, non-invasive, visual inspection. It will be performed in accordance with the North Carolina Home Inspector Licensure Boards Standards of Practice. The Standards of Practice will be found in the "Inspection Details" section of your report by simply hitting the "Standards" button. Please refer to these Standards of Practice and your inspection agreement for an understanding of both the scope and limitations of your inspection.

Location orientation is always from the inspector facing the front door.

The reports observations will be organized into three categories.

Maintenance Items or Minor Concern

Recommendation/ Does Not Function as Designed

Safety Hazard/ Major Concern

The home inspector is a generalist and will be reporting on the home in its current condition in good faith. No guarantees are expressed on future conditions of the home or its systems and components. All recommendations in this report require the further evaluation and/or repair of a qualified professional contractor. Upon further evaluation from professionals in the field respective to the observations more deficiencies may be discovered. Being a generalist not a specialist the home inspector and the inspection company do not assume liability for such findings.

3rd Party Liability: This inspection report is written for the exclusive use of the client and there representative. Use by any other parties is prohibited unless written permission is obtained.

Please never hesitate to reach out directly with any feedback, suggestions, questions or complaints.

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MAINTENANCE ITEM/
COSMETIC

55

RECOMMENDATION/ DOES
NOT FUNCTION

1

SAFETY HAZARD OR MAJOR
DEFECT

- ⊖ 2.2.1 Structure - Foundation: Moisture staining
- ⊖ 2.3.1 Structure - Crawl Space: Damp floor
- ⊖ 2.3.2 Structure - Crawl Space: Lack of vapor barrier
- ⊖ 2.4.1 Structure - Floor Structure: Evidence of degradation
- ⊖ 2.4.2 Structure - Floor Structure: Loose gusset plates
- ⊖ 2.4.3 Structure - Floor Structure: Evident moisture damage
- ⊖ 2.7.1 Structure - Roof Structure and Attic: Moisture damage
- ⊖ 3.2.1 Plumbing - Drain Waste Systems: Drainage concern
- ⊖ 3.3.1 Plumbing - Water Distribution Systems: Leak around valve
- ⊖ 3.3.2 Plumbing - Water Distribution Systems: Water hammer
- ⊖ 3.3.3 Plumbing - Water Distribution Systems: Galvanic reaction
- ⊖ 3.3.4 Plumbing - Water Distribution Systems: Staining around toilet base
- ⊖ 3.3.5 Plumbing - Water Distribution Systems: Toilet not operational
- ⊖ 3.3.6 Plumbing - Water Distribution Systems: Functional concern
- ⊖ 3.3.7 Plumbing - Water Distribution Systems: Active leak
- ⊖ 3.3.8 Plumbing - Water Distribution Systems: Portions of polybutylene
- ⊖ 4.1.1 Exterior - Cladding Flashing and Trim: Physical damage
- ⊖ 4.1.2 Exterior - Cladding Flashing and Trim: Evidence of moisture damage
- ⊖ 4.2.1 Exterior - Exterior Doors: Evidence of moisture damage and decay
- ⊖ 4.7.1 Exterior - Decks, Balconies and Appurtenances: Evidence of weathering and decay
- ⊖ 4.7.2 Exterior - Decks, Balconies and Appurtenances: Loose railing
- ⊖ 4.7.3 Exterior - Decks, Balconies and Appurtenances: Railing infill
- ⊖ 4.7.4 Exterior - Decks, Balconies and Appurtenances: Atypical bracing
- ⊖ 4.8.1 Exterior - Eavs, Soffits and Fascia: Damage
- ⊖ 5.1.1 Roofing - Coverings: Lifted shingle
- ⊖ 5.1.2 Roofing - Coverings: Deflection
- ⊖ 6.2.1 Electrical - Service Panel: Loose seated breakers
- ⊖ 6.2.2 Electrical - Service Panel: Lack of main breaker
- ⊖ 6.2.3 Electrical - Service Panel: Cover not seating over breakers
- ⊖ 6.5.1 Electrical - Lighting Fixtures, Switches, and Receptacles: Lack of fixture cover for exterior light

- ⊖ 6.5.2 Electrical - Lighting Fixtures, Switches, and Receptacles: Damage to receptacle
- ⊖ 6.5.3 Electrical - Lighting Fixtures, Switches, and Receptacles: Taped receptacle
- ⊖ 6.5.4 Electrical - Lighting Fixtures, Switches, and Receptacles: Missing cover
- ⊖ 6.5.5 Electrical - Lighting Fixtures, Switches, and Receptacles: Damaged switch
- ⊖ 6.5.6 Electrical - Lighting Fixtures, Switches, and Receptacles: Unsafe weather covers
- 🔧 6.5.7 Electrical - Lighting Fixtures, Switches, and Receptacles: Missing fixture cover
- ⊖ 6.5.8 Electrical - Lighting Fixtures, Switches, and Receptacles: Evident scorch marks
- ⚠ 6.8.1 Electrical - Smoke Detectors: Not functional
- 🔧 7.2.1 Interiors - Doors: Does not propely latch
- 🔧 7.2.2 Interiors - Doors: Sticking door
- ⊖ 7.3.1 Interiors - Windows: Does not latch
- ⊖ 7.3.2 Interiors - Windows: Window stuck
- ⊖ 7.3.3 Interiors - Windows: Broken window glazing
- ⊖ 7.4.1 Interiors - Ceilings: Delamination
- ⊖ 7.4.2 Interiors - Ceilings: Staining
- ⊖ 7.5.1 Interiors - Walls: Staining
- ⊖ 7.5.2 Interiors - Walls: Missing drywall
- ⊖ 7.5.3 Interiors - Walls: Cracking
- 🔧 7.5.4 Interiors - Walls: Physical damage
- ⊖ 7.6.1 Interiors - Floors: Deflection, unevenness
- ⊖ 7.6.2 Interiors - Floors: Damaged and loose carpet
- ⊖ 7.7.1 Interiors - Stairways and Railings: Creaking with deflection
- ⊖ 7.9.1 Interiors - Bathrooms: Warping to cabinetry
- ⊖ 7.9.2 Interiors - Bathrooms: Moisture damage and decay
- ⊖ 7.9.3 Interiors - Bathrooms: Gaps around enclosure
- ⊖ 8.3.1 Heating and Cooling - Normal Operating Controls: System not operational
- ⊖ 8.8.1 Heating and Cooling - Ceiling Fans: Inoperable
- ⊖ 8.8.2 Heating and Cooling - Ceiling Fans: Improper mount
- ⊖ 9.3.1 Insulation and Ventilation - Exhaust Systems: Disconnected bathroom exhausts
- ⊖ 10.3.1 Appliances - Range: Functionally damaged door

1: INSPECTION DETAILS

Information

General Information: Year Home Was Built 1983	General Information: Approximate Square Footage 1392	General Information: General Weather Conditions Sunny
General Information: Temperature 90 Degrees	General Information: Type of Building Single Family	General Information: Occupancy Vacant
General Information: Items that are excluded from the home inspection Low Voltage Systems, Septic, Well, Irrigation Systems, Fence, Landscaping (unless near home), Sump Pump Operation, Jetted Tubs, Pool, Hot Tubs, Central Vacuum Systems, Solar Panels and Related Systems, Generator, Washing Machine, Clothes Dryer		

Limitations

General Information

FURNISHED PROPERTIES

Some areas or items may not be inspected if they are blocked by furniture or stored items.

General Information

ENVIRONMENTAL TESTING

No pest control, lead paint, asbestos, mold, or other types of environmental testing is being performed by the home inspector. Please be aware that older homes often have construction materials that may contain some of these environmental concerns.

General Information

THIS IS NOT A CODE COMPLIANCE INSPECTION.

For code compliance related questions or problems please refer to the county.

2: STRUCTURE

		IN	LIm	NP	NI	DE
2.1	General	X				
2.2	Foundation	X				X
2.3	Crawl Space	X				X
2.4	Floor Structure	X				X
2.5	Wall Structure		X		X	
2.6	Ceiling Structure		X		X	
2.7	Roof Structure and Attic	X				X
2.8	Vapor Barrier (Crawl Space)			X		
2.9	Columns and Piers	X				

IN = Inspected

LIm = Limitation

NP = Not Present

NI = Not Inspected

DE = Defect

Information

General: Inspection method

Flashlight, Probe, and Camera

Foundation: Material

Concrete Block

Floor Structure: Floor Beam Type

Engineered Wood Truss System

Floor Structure: Floor Joist Type

Engineered Truss System

Floor Structure: Sub-Floor

Plywood

Wall Structure: Wood Frame
Ceiling Structure: Ceiling Beam Type

Not Visible

Ceiling Structure: Ceiling Joist Type

Not Visible

Ceiling Structure: Ceiling Material
Gypsum/Drywall/Sheetrock,
Popcorn
Roof Structure and Attic: Access to Attic

Pull Down Ladder

Roof Structure and Attic: Rafter / Beam Type

Engineered Wood Truss System

Roof Structure and Attic: Roof Sheathing Type

Plywood

Columns and Piers: Columns - Exterior

Wooden

Columns and Piers: Piers - Crawl Space

Masonry

Crawl Space: Crawl Space Photos



Roof Structure and Attic: Attic Photos



Limitations

Wall Structure
FINISHED WALLS

Finished walls prevent the structural members from identification and evaluation.

Observations

2.2.1 Foundation
MOISTURE STAINING
FRONT WALL

 Recommendation/ Does not Function

Moisture staining along the foundation wall was observed. This condition often occurs from moisture exposure. Prolonged exposure and moisture infiltration can potentially cause damage to the foundation. Recommend further evaluation and recommendations from a licensed general contractor.

Recommendation
Contact a qualified general contractor.



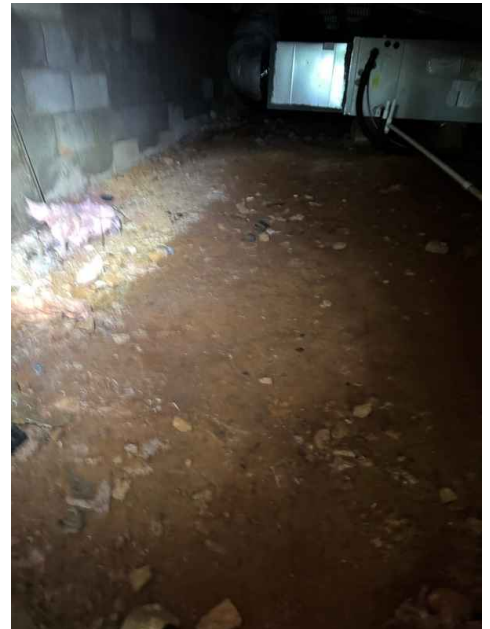
2.3.1 Crawl Space
DAMP FLOOR

 Recommendation/ Does not Function

The crawlspace floor was found to be damp. This indicates moisture elevations within the crawlspace, which can pose risk of damage to the floor structure and foundation of the home. Recommend further evaluation and recommendations from a qualified contractor.

Recommendation

Contact a qualified professional.



2.3.2 Crawl Space

LACK OF VAPOR BARRIER



Recommendation/ Does not Function

The crawlspace lacks a vapor barrier. This can leave the crawlspace susceptible to moisture elevations. Recommend installation from a qualified contractor.

Recommendation

Contact a qualified professional.



2.4.1 Floor Structure

EVIDENCE OF DEGRADATION

SPOTTED LOCATIONS AROUND CRAWLSPACE

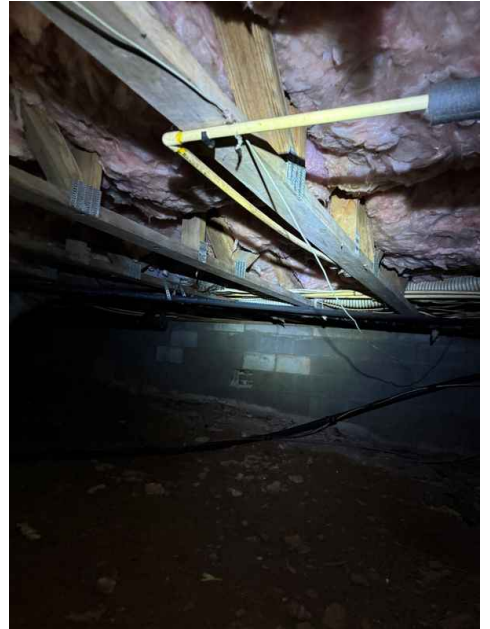
Evidence of degradation was observed to portions of the floor structure. This condition can potentially worsen and spread. Further evaluation of the affected areas should be made from a licensed general contractor. If repairs are needed to be made, the repairs should be approved by a structural engineer.

Recommendation

Contact a qualified general contractor.



Recommendation/ Does not Function



2.4.2 Floor Structure

LOOSE GUSSET PLATES

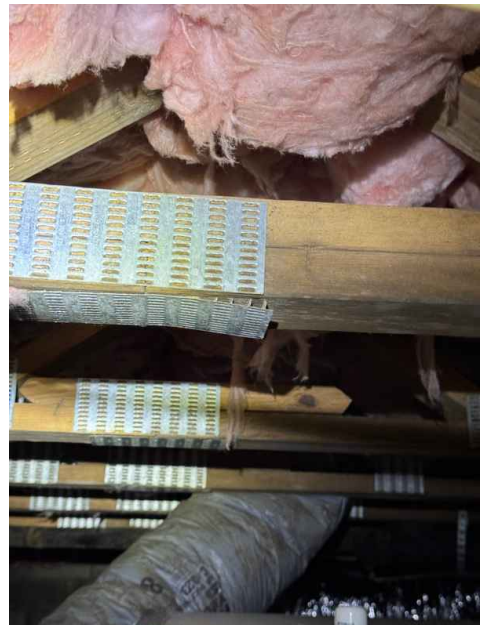


Recommendation/ Does not Function

Noted gusset plate was found to be loose. This can lead to detachment. Recommend repair/ correction.

Recommendation

Contact a qualified professional.



2.4.3 Floor Structure

EVIDENT MOISTURE DAMAGE

UNDER HALF BATH

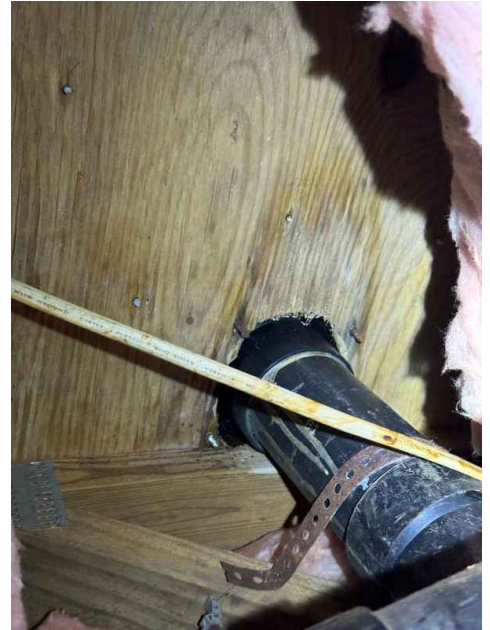
Evidence of moisture damage to the floor structure was observed at noted locations. This condition can potentially spread and worsen if left unattended. Recommend evaluation and repairs as needed.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function



2.7.1 Roof Structure and Attic

MOISTURE DAMAGE

REAR EXTERIOR UTILITY. MAIN ATTIC SPACE AROUND PLUMBING BOOT AND CHIMNEY

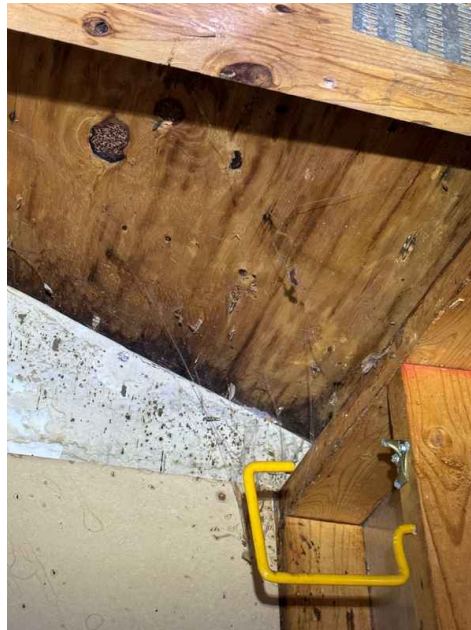
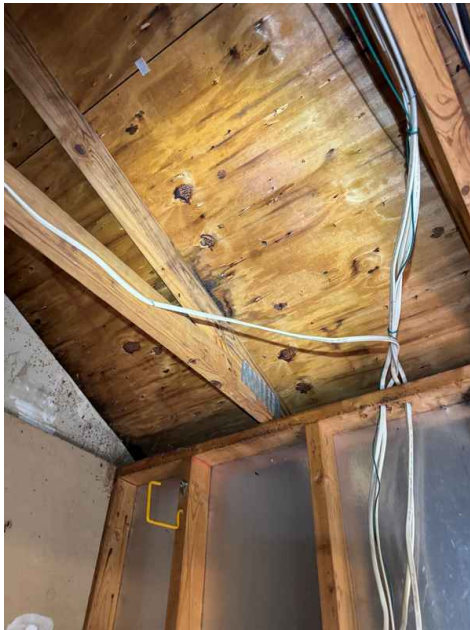
Moisture damage was found at this location. This can result in premature decay of building materials. This should be repaired or replaced as deemed necessary by a qualified contractor.

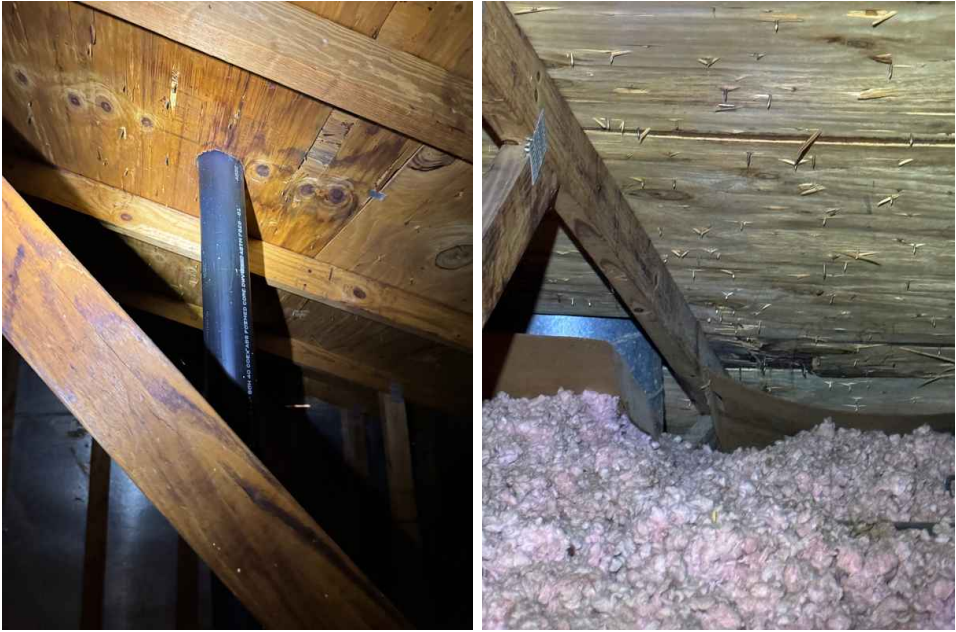
Recommendation

Contact a qualified professional.



Recommendation/ Does not Function





3: PLUMBING

		IN	LIm	NP	NI	DE
3.1	General	X				
3.2	Drain Waste Systems	X				X
3.3	Water Distribution Systems	X				X
3.4	Water Heater Equipment	X				

IN = InspectedLIm = LimitationNP = Not PresentNI = Not InspectedDE = Defect

Information

General: Water Source

Public

Drain Waste Systems: Drain Waste Material

ABS, PVC

Water Distribution Systems: Distribution Line Materials

Polybutylene, CPVC, Copper

Water Distribution Systems: Water Pressure

Water pressure was between 30-80 psi

Water Heater Equipment: Gas Water Heater

Location: exterior attached utility

Manufacturer: State

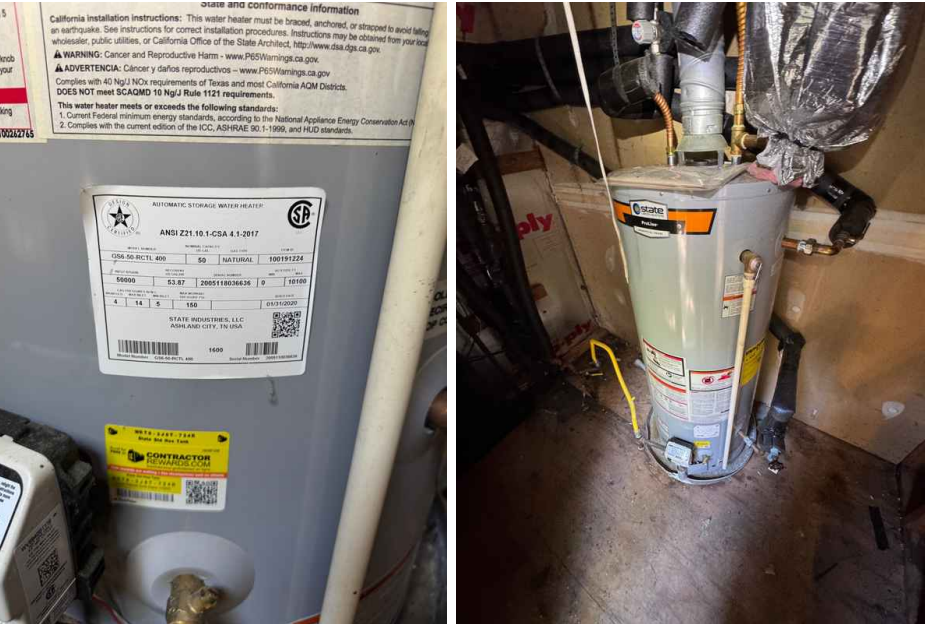
Model#: GS6-50-RCTL 400

Serial#: 2005118036636

Est Year Manufactured: 2020

Capacity: 50

Gas Type: Natural Gas



Limitations

General

SHUT OFF VALVE NOT OPERATED

Operation of the shut off valve is beyond the scope of the home inspector.

General

SUMP PUMP OPERATION IS LIMITED

If a sump pump is present the operation from the home inspector is limited. A well inspector or licensed plumber should be contacted for further evaluation.

Drain Waste Systems

MAIN LINE VIDEO SCAN

The inspector makes every attempt to determine the draining is functional by running large amounts of water through every fixture however a main line video scan is the only way to fully determine the health of the main drain line.

Drain Waste Systems

MANY DWV PIPES NOT VISIBLE

Many drain, waste, and vent pipes were not visible due to wall, ceiling and floor coverings.

Water Distribution Systems

MANY DISTRIBUTION LINES ARE NOT VISIBLE

Most water distribution pipes were not visible due to wall, floor, and ceiling coverings.

Observations

3.2.1 Drain Waste Systems

DRAINAGE CONCERN

KITCHEN

Slow drainage to the sink was observed. This condition can potentially indicate blockages or restrictions. Further evaluation and recommendations should be made from a plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



Recommendation/ Does not Function



3.3.1 Water Distribution Systems



Recommendation/ Does not Function

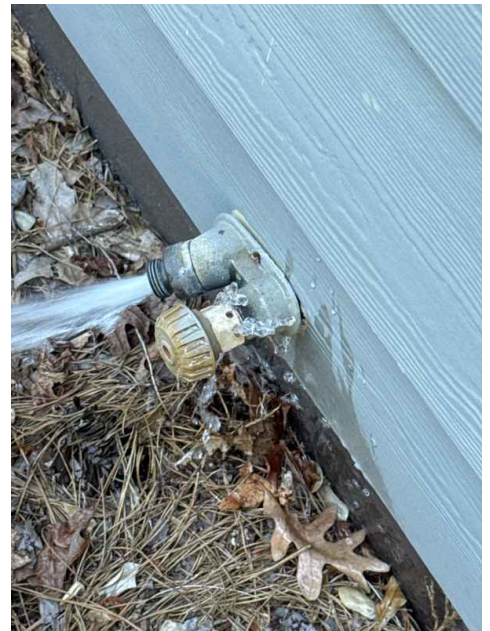
LEAK AROUND VALVE

REAR OF HOME

Leaking around the hose bib valve was observed. This condition can potentially allow leaking in unintended locations. Recommend further evaluation and repairs as needed.

Recommendation

Contact a qualified plumbing contractor.



3.3.2 Water Distribution Systems



Recommendation/ Does not Function

WATER HAMMER

VARIOUS LOCATIONS.

Water hammer was observed to the noted fixture. This causes sporadic spraying. Recommend corrections/ repair from a plumbing professional.

Recommendation

Contact a qualified plumbing contractor.



3.3.3 Water Distribution Systems



Recommendation/ Does not Function

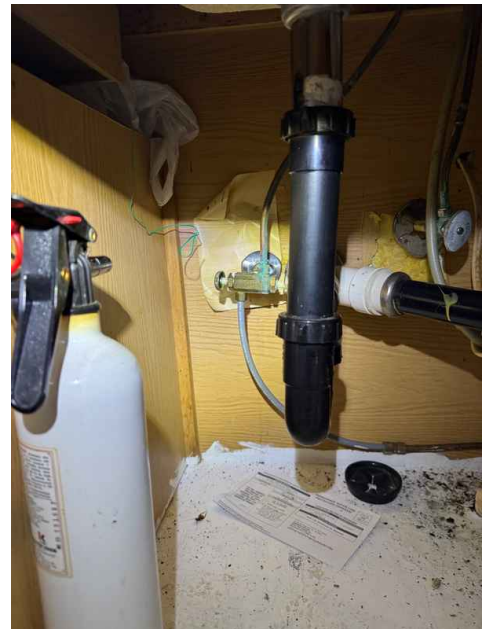
GALVANIC REACTION

KITCHEN

Galvanic reaction was observed to the noted plumbing line. Galvanic reaction is a form of corrosion, which can lead to leak development over time. Recommend evaluation and repairs as needed.

Recommendation

Contact a qualified plumbing contractor.



3.3.4 Water Distribution Systems



Recommendation/ Does not Function

STAINING AROUND TOILET BASE

HALF BATH

This may potentially indicate leaking around the toilet, which can pose risk of damage to the floor structure. Recommend evaluation and repair/ correction as needed.

Recommendation

Contact a qualified professional.



3.3.5 Water Distribution Systems



Recommendation/ Does not Function

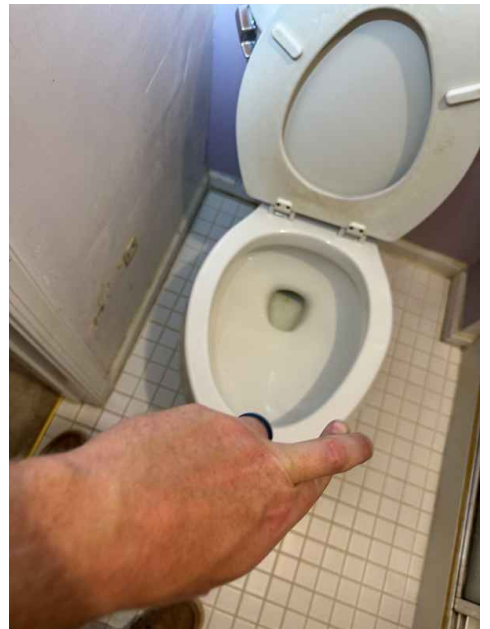
TOILET NOT OPERATIONAL

MASTER BATHROOM

Noted toilet did not operate as intended. This inhibits functional use. Recommend further evaluation and recommendations from a plumbing professional.

Recommendation

Contact a qualified plumbing contractor.



3.3.6 Water Distribution Systems



Recommendation/ Does not Function

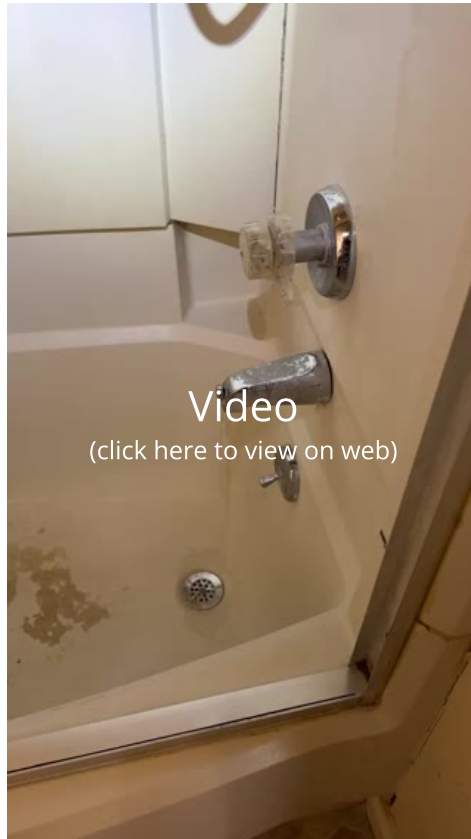
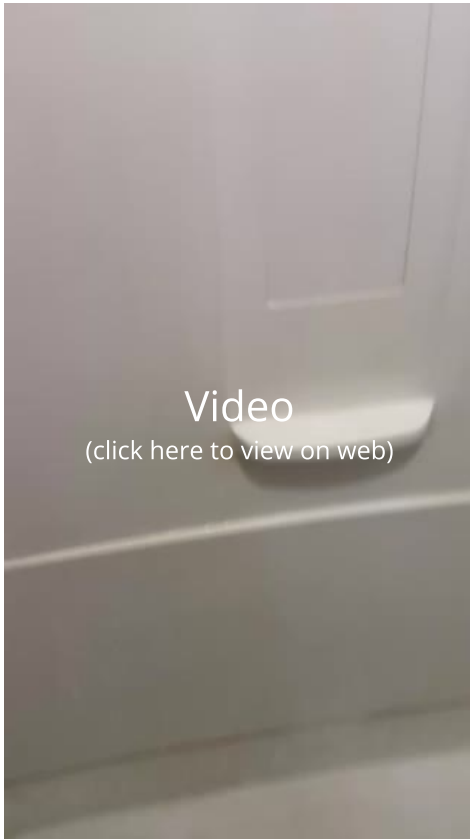
FUNCTIONAL CONCERN

MASTER AND HALLWAY BATHROOM

Noted fixtures did not function as intended. This inhibits functional use. Recommend further evaluation and recommendations from a plumbing professional.

Recommendation

Contact a qualified plumbing contractor.



3.3.7 Water Distribution Systems



Recommendation/ Does not Function

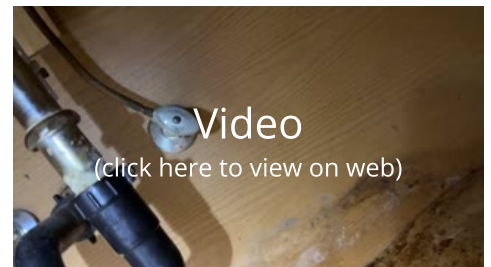
ACTIVE LEAK

MASTER BATHROOM

Active leaking to a plumbing fixture line was observed. This condition can contribute to moisture damage and decay to cabinetry and surrounding frame and structure components. Further evaluation and recommendations should be made from a licensed general contractor.

Recommendation

Contact a qualified general contractor.



3.3.8 Water Distribution Systems



Recommendation/ Does not Function

PORTIONS OF POLYBUTYLENE

Portions of polybutylene was observed at areas of the crawlspace, and at fixture connections. Polybutylene is a material that is susceptible to failure and leak development. Recommend further evaluation and recommendations for repairs from a plumbing professional.

Recommendation

Contact a qualified plumbing contractor.



4: EXTERIOR

		IN	LIm	NP	NI	DE
4.1	Cladding Flashing and Trim	X				X
4.2	Exterior Doors	X				X
4.3	Window Exteriors	X				
4.4	Driveways			X		
4.5	Walkways	X				
4.6	Patios and Porches	X				
4.7	Decks, Balconies and Appurtenances	X				X
4.8	Eavs, Soffits and Fascia	X				X
4.9	Vegetation, Grading, Drainage and Retaining Walls	X				X

IN = Inspected LIm = Limitation NP = Not Present NI = Not Inspected DE = Defect

Information

Cladding Flashing and Trim:

Siding Material

Fiber Board

Cladding Flashing and Trim: Trim

Material

Wood

Exterior Doors: Exterior Door

Glass, Wood

Walkways: Walkway Material

Concrete

Patios and Porches: Porch

Material

Concrete, Wood

Eavs, Soffits and Fascia: Eave

Material

Wood

Eavs, Soffits and Fascia: Fascia

Material

Wood

Limitations

Cladding Flashing and Trim

MANY FLASHINGS NOT VISIBLE

Most flashings were not visible due to construction methods and materials.

Eavs, Soffits and Fascia

IF GUTTERS ARE INSTALLED THEY MAY HIDE AREAS OF FASCIA FROM BEING INSPECTED.

Observations

4.1.1 Cladding Flashing and Trim

PHYSICAL DAMAGE

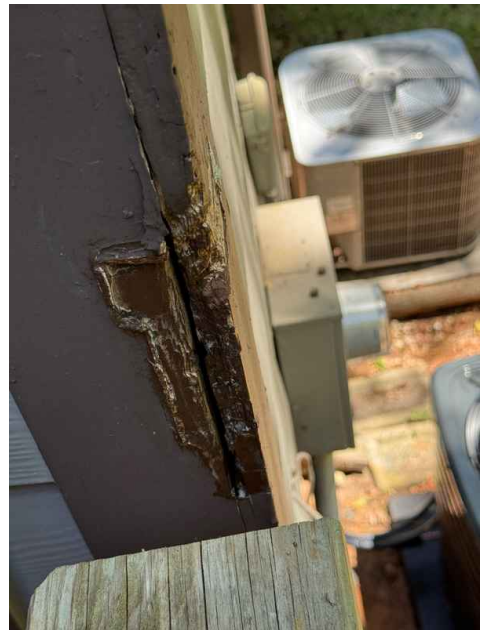
VARIOUS LOCATIONS AROUND HOME.

 Recommendation/ Does not Function

Physical damage to the siding was observed. This form of damage can leave the affected area susceptible to water entry and further damage. Recommend evaluation and repairs as needed.

Recommendation

Contact a qualified siding specialist.



4.1.2 Cladding Flashing and Trim



Recommendation/ Does not Function

EVIDENCE OF MOISTURE DAMAGE

Observed evidence of moisture damage along the sidewall of the home. This condition can potentially worsen and spread if left unattended. Recommend evaluation and repairs as needed.

Recommendation

Contact a qualified siding specialist.



4.2.1 Exterior Doors

EVIDENCE OF MOISTURE DAMAGE AND DECAY

REAR EXTERIOR UTILITY

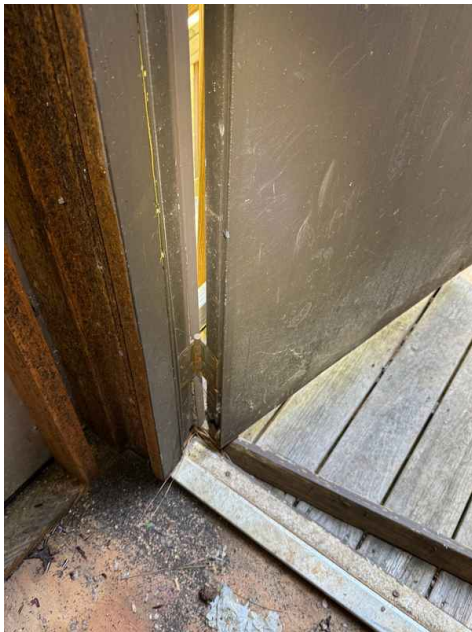
Observed evidence of moisture damage and decay to portions of the door frame and door. This condition can worsen and spread if left unattended. Recommend further evaluation and recommendations for repairs as needed.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function



4.7.1 Decks, Balconies and Appurtenances

EVIDENCE OF WEATHERING AND DECAY

REAR DECK

Evidence of weathering and decay to the decking was observed at various locations. This condition can worsen and spread if left unattended. Recommend further evaluation and recommendations for repairs as needed.

Recommendation

Contact a qualified deck contractor.



Recommendation/ Does not Function



4.7.2 Decks, Balconies and Appurtenances

 Recommendation/ Does not Function

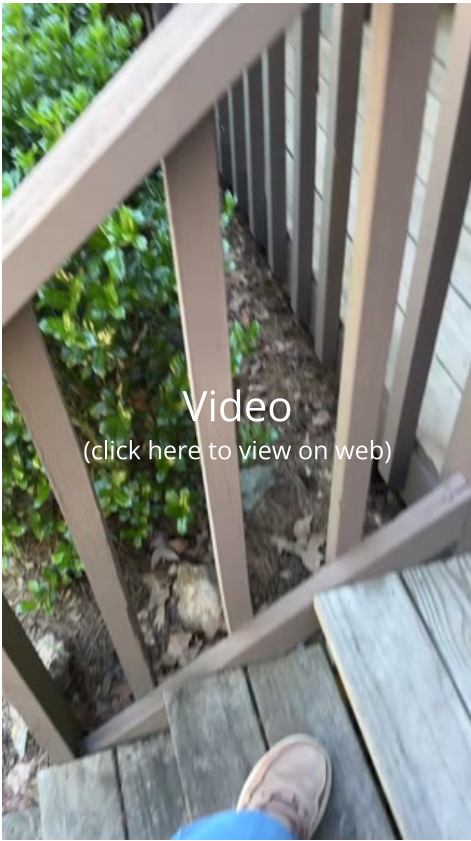
LOOSE RAILING

REAR DECK

Railing was observed to be loose. This poses a potential safety risk. Recommend further evaluation and repair as needed.

Recommendation

Contact a qualified deck contractor.



4.7.3 Decks, Balconies and Appurtenances

 Recommendation/ Does not Function

RAILING INFILL

FRONT PORCH

Railing infill was observed to be spread apart. This condition poses a safety risk to children. Recommend further evaluation and recommendations for corrections as needed.

Recommendation

Contact a qualified professional.



4.7.4 Decks, Balconies and Appurtenances

 Recommendation/ Does not Function

ATYPICAL BRACING

REAR DECK

Atypical bracing practices were observed under the deck. This appears to be a temporary brace/ repair. Recommend further evaluation and recommendations from a deck professional.

Recommendation
Contact a qualified deck contractor.



4.8.1 Eavs, Soffits and Fascia

DAMAGE

FRONT OF HOME

Damage to eaves was observed. This condition can potentially leave the affected area susceptible to water entry. Recommend evaluation and repair as needed.

Recommendation
Contact a qualified professional.

 Recommendation/ Does not Function



5: ROOFING

		IN	LIm	NP	NI	DE
5.1	Coverings	X				X
5.2	Underlayment		X		X	
5.3	Roof Drain Systems	X				
5.4	Flashings	X				
5.5	Skylights, Chimneys, and Other Roof Penetrations	X				

IN = Inspected LIm = Limitation NP = Not Present NI = Not Inspected DE = Defect

Information

Inspection Method Ground With Zoom	Roof Style Gable	Approximate Roof Age Beyond 10 years
Coverings: Roof Covering Material 3 Tab Shingles	Underlayment: Underlayment Material Mostly Hidden	Roof Drain Systems: Guttering Coverage Full Guttering
Roof Drain Systems: Gutter Material Aluminum	Roof Drain Systems: Guttering System Type Standard Tray System	Flashings: Flashing Material Mostly Hidden
Skylights, Chimneys, and Other Roof Penetrations: Chimney or Flue Type Pre-Fab Metal	Skylights, Chimneys, and Other Roof Penetrations: Chimney Cap Material Metal	

Roof Images



Limitations

General
COULD NOT VIEW REAR OF ROOF

Underlayment
UNDERLAYMENT HIDDEN

The underlayment is mostly concealed by standard construction methods. Therefor it could not be inspected.

Observations

5.1.1 Coverings

LIFTED SHINGLE

FRONT OF HOME.

Lifted shingles can loosen and allow for leakage. Have the shingles evaluated and repaired or replaced as deemed necessary by a qualified roofing contractor.

Recommendation

Contact a qualified professional.

Recommendation/ Does not Function



5.1.2 Coverings

DEFLECTION

FRONT OF HOME

Deflection to the roof was observed at the noted location. This condition may potentially indicate sag to the sheathing. Recommend further evaluation and recommendations from a roof professional.

Recommendation

Contact a qualified roofing professional.

Recommendation/ Does not Function



6: ELECTRICAL

		IN	LIm	NP	NI	DE
6.1	Main Service	X				
6.2	Service Panel	X				X
6.3	Sub-Panel			X		
6.4	Branch Circuits	X				
6.5	Lighting Fixtures, Switches, and Receptacles	X				X
6.6	Door Bell	X				
6.7	GFCI and AFCI Protection	X				
6.8	Smoke Detectors	X				X
6.9	Carbon Monoxide Detectors	X				

IN = Inspected

LIm = Limitation

NP = Not Present

NI = Not Inspected

DE = Defect

Information

Main Service: Service Entry

Underground

Main Service: Grounding Method

In ground (hidden)

Branch Circuits: Branch Wire Material

Copper, Aluminum

Branch Circuits: Wiring Method

Non-Metallic

Door Bell: Presence

Yes

Smoke Detectors: All accessible smoke detectors were manually tested using the test button during inspection

Carbon Monoxide Detectors: All accessible CO detectors were manually tested using the test button on the detector during the inspection.

Service Panel: Service Panel

Location:

Panel Manufacturer:

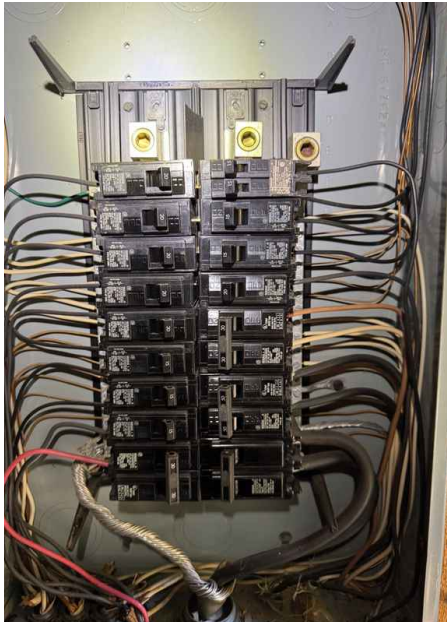
Service Cable: AI

Amp: 200

Voltage: 120/240

Number of 220 Volt Circuits:

Number of 120 Volt Circuits:



Limitations

Main Service

GROUND ROD VERIFICATION

The verification of the proper install and length of the ground rods are beyond the scope of the inspector due to them being underground. If further information is desired a licensed electrical contractor should be consulted.

Branch Circuits

MOST BRANCH CIRCUIT NOT VISIBLE

Most of the branch circuit wiring is concealed by walls, floors, and ceilings. The inspector does not remove cover plates.

Lighting Fixtures, Switches, and Receptacles

SWITCH LIMITATIONS

All switches observed are operated by the home inspector however some switches are dedicated to things beyond the home inspectors knowledge such as movement or light sensors.

Lighting Fixtures, Switches, and Receptacles

NO COVER PLATES REMOVED

Removing the cover plates is beyond the scope of the inspector.

Observations

6.2.1 Service Panel

LOOSE SEATED BREAKERS

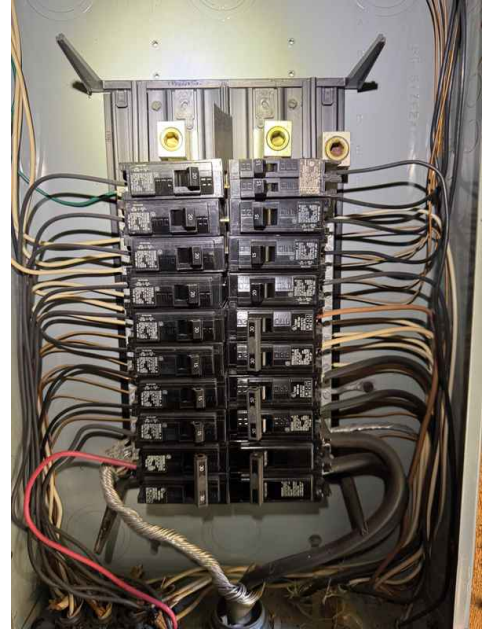
Breakers appear to be loosely seated. This condition can lead to damage to the breakers. Recommend repair/ corrections as needed.

Recommendation

Contact a qualified electrical contractor.



Recommendation/ Does not Function



6.2.2 Service Panel

LACK OF MAIN BREAKER

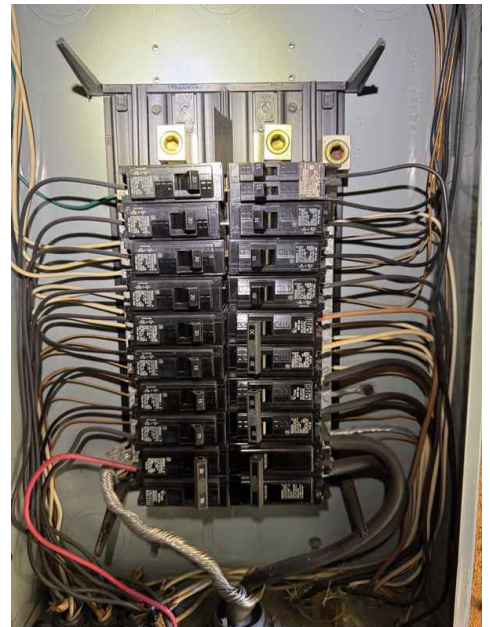
There is a lack of a main breaker shutoff for the panel. This poses a potential safety risk. Recommend further evaluation and recommendations for an electrical professional.

Recommendation

Contact a qualified electrical contractor.



Recommendation/ Does not Function



6.2.3 Service Panel

COVER NOT SEATING OVER BREAKERS



Recommendation/ Does not Function

The panel cover is not seating over the breakers properly. This condition causes pressure to be exerted against the breakers. Recommend further evaluation and recommendations from a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



6.5.1 Lighting Fixtures,
Switches, and Receptacles



Recommendation/ Does not Function

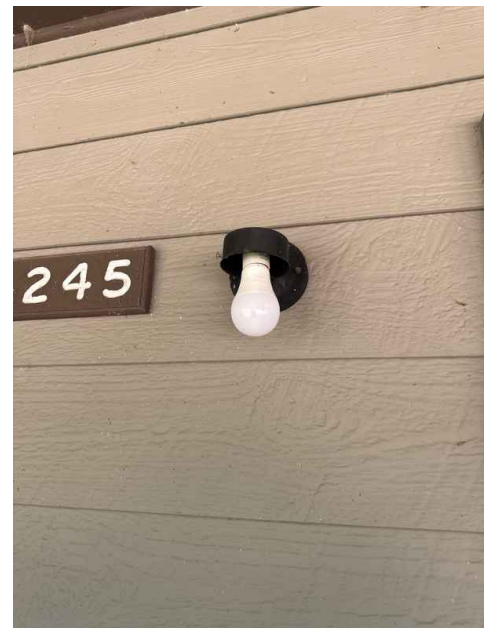
LACK OF FIXTURE COVER FOR EXTERIOR LIGHT

FRONT OF HOME.

This leaves the fixture susceptible to damage from moisture exposure. Recommend repair/ replacement.

Recommendation

Contact a qualified electrical contractor.



6.5.2 Lighting Fixtures,
Switches, and Receptacles



Recommendation/ Does not Function

DAMAGE TO RECEPTACLE

OFFICE

Physical damage to receptacles was observed. This condition poses a safety risk for use. Recommend evaluation and recommendations for repair as needed.

Recommendation

Contact a qualified electrical contractor.



6.5.3 Lighting Fixtures, Switches, and Receptacles

TAPED RECEPTACLE

KITCHEN AND MASTER BEDROOM

Noted receptacles were found to be taped over. This condition may indicate damage or deficiency to the receptacle. Recommend further evaluation and recommendations for repair or replacement as needed.

Recommendation

Contact a qualified electrical contractor.



Recommendation/ Does not Function



6.5.4 Lighting Fixtures, Switches, and Receptacles

MISSING COVER

VARIOUS LOCATIONS AROUND HOME.

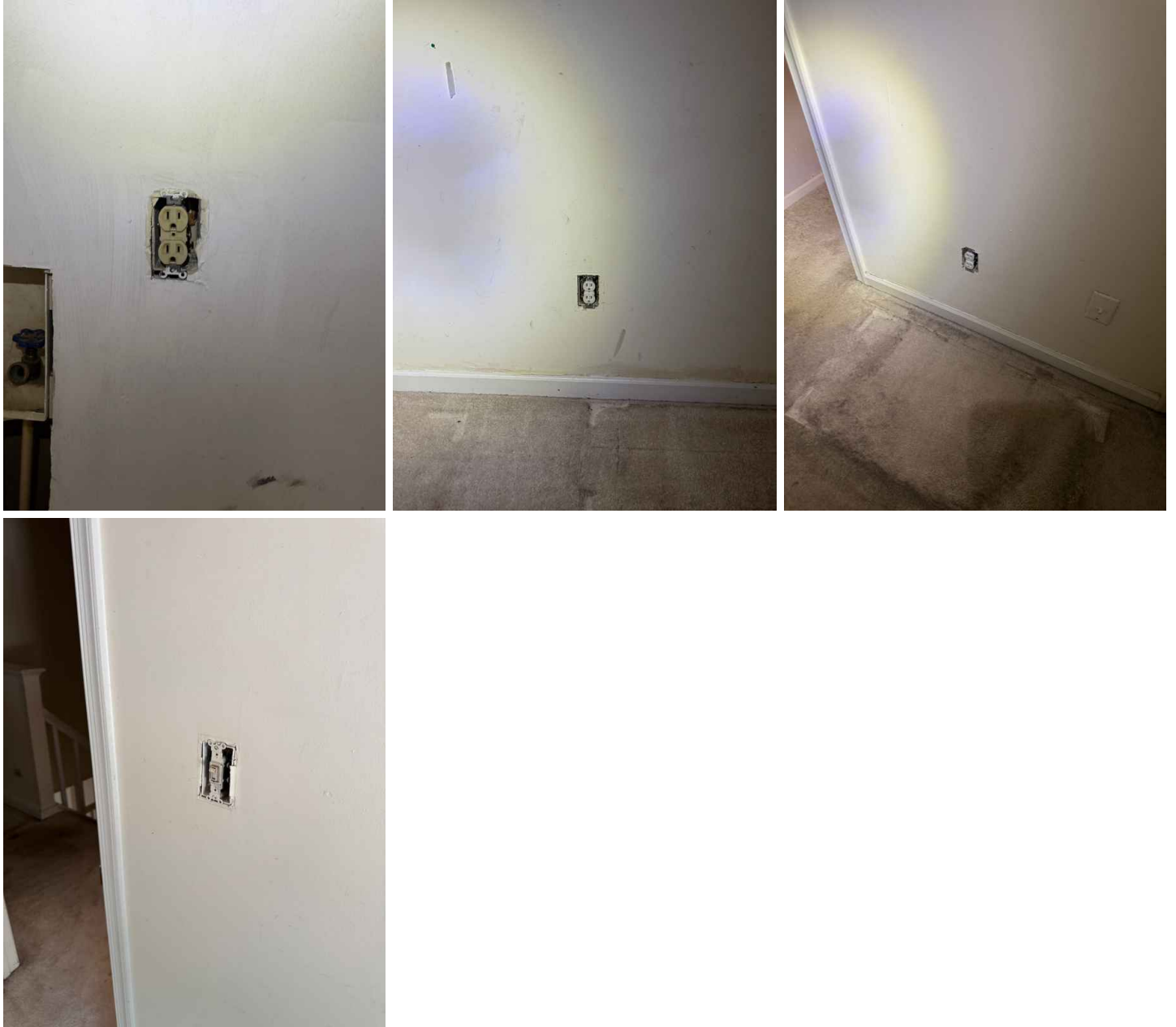
Various receptacles lacked covers. This condition poses a safety risk and leaves electrical wiring exposed. Recommend further evaluation and recommendations for corrections from a licensed electrical contractor.



Recommendation/ Does not Function

Recommendation

Contact a qualified electrical contractor.

6.5.5 Lighting Fixtures,
Switches, and Receptacles

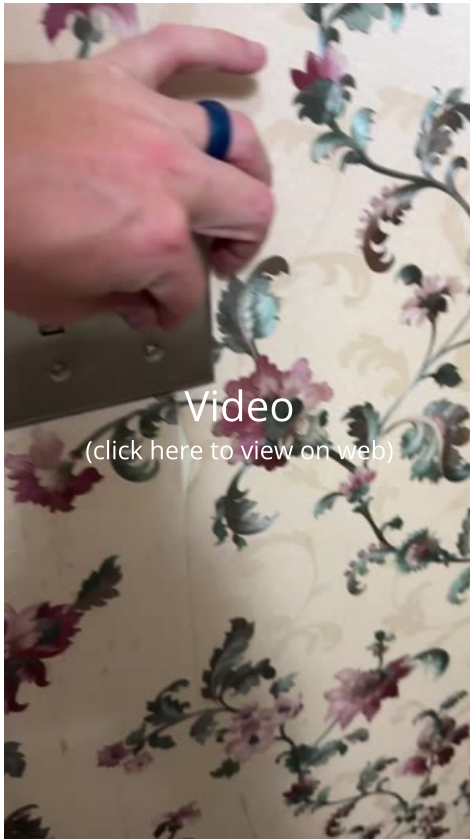
Recommendation/ Does not Function

DAMAGED SWITCH

This can inhibit functional use. Recommend evaluation and repair as needed.

Recommendation

Contact a qualified electrical contractor.



6.5.6 Lighting Fixtures, Switches, and Receptacles



Recommendation/ Does not Function

UNSAFE WEATHER COVERS

Exterior weather covers were found to be outdated. This can leave the receptacles potentially susceptible to moisture exposure. Recommend evaluation and repair/ correction as needed.

Recommendation

Contact a qualified electrical contractor.



6.5.7 Lighting Fixtures, Switches, and Receptacles



Maintenance Item/ Cosmetic

MISSING FIXTURE COVER

Light fixture was found to be missing a cover. This is a normal maintenance item. Recommend evaluation and repair as needed.

Recommendation

Contact a qualified professional.



6.5.8 Lighting Fixtures, Switches, and Receptacles



Recommendation/ Does not Function

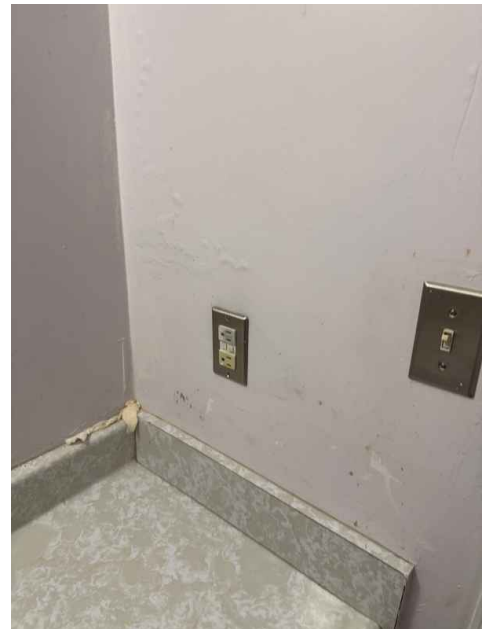
EVIDENT SCORCH MARKS

MASTER BATHROOM

Observed apparent scorch marks to the noted receptacle. This may potentially indicate arcing, which poses an electrical safety risk. Recommend further evaluation and recommendations from a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



6.8.1 Smoke Detectors



Safety Hazard or Major Defect

NOT FUNCTIONAL

The smoke detector at this location did not function at the time of inspection. This prevents adequately alarming of a fire. Have evaluated and repaired or replaced as deemed necessary by a qualified contractor.

Recommendation

Contact a qualified professional.



7: INTERIORS

		IN	LIm	NP	NI	DE
7.1	Rooms, Halls, and Landings	X				
7.2	Doors	X				X
7.3	Windows	X				X
7.4	Ceilings	X				X
7.5	Walls	X				X
7.6	Floors	X				X
7.7	Stairways and Railings	X				X
7.8	Kitchen	X				
7.9	Bathrooms	X				X

IN = Inspected

LIm = Limitation

NP = Not Present

NI = Not Inspected

DE = Defect

Information

Rooms, Halls, and Landings: Office

Finished Area, Heating/Cooling
Source Present



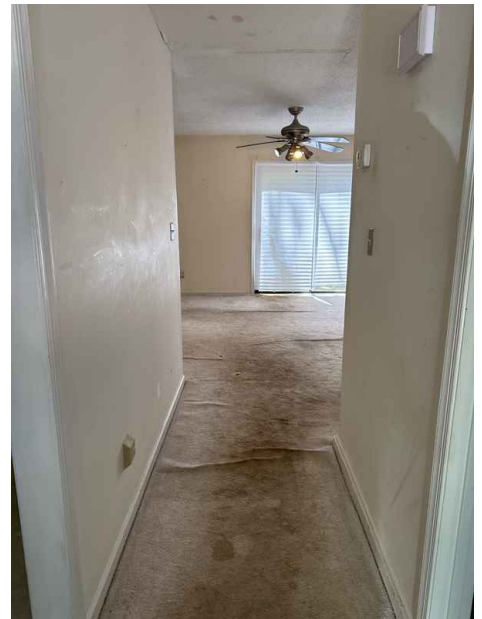
Rooms, Halls, and Landings: Living Room

Finished Area, Heating/Cooling
Source Present, Fire Place Present



Rooms, Halls, and Landings: Hallway

Finished Area, Heating/Cooling
Source Present



Rooms, Halls, and Landings:
Laundry

Finished Area, Heating/Cooling
Source Present



Rooms, Halls, and Landings:
Front Left bedroom

Finished Area, Heating/Cooling
Source Present



Rooms, Halls, and Landings:
Front Right bedroom

Finished Area, Heating/Cooling
Source Present, Ceiling Fan
Present



Rooms, Halls, and Landings:
Master bedroom

Finished Area, Heating/Cooling
Source Present



Windows: Manufacturer
Not labeled

Windows: Window Type
Double-Hung

Windows: Material
Aluminum/Vinyl, Wood

Ceilings: Ceiling Material
Gypsum/Sheetrock

Kitchen: Countertop Material
Laminate

Kitchen: Kitchen Area

Finished Area, Heating and Cooling Source



Stairways and Railings: Main Stairway Photo



Bathrooms: Master Bathroom

- Electrical Receptacle Present (Y/N): Y
- Ventilation Fan Present (Y/N): Y
- Window Present (Y/N):N
- GFCI Reset Location (Y/N):N



Bathrooms: Full Bathroom 2nd Floor

- Electrical Receptacle Present (Y/N): Y
- Ventilation Fan Present (Y/N): Y
- Window Present (Y/N):N
- GFCI Reset Location (Y/N):Y



Limitations

Bathrooms

VERIFICATION OF ANTI SCALD FAUCETS

Verification that the faucets are Anti Scald is beyond the scope of the home inspection.

Observations

7.2.1 Doors

DOES NOT PROPELY LATCH

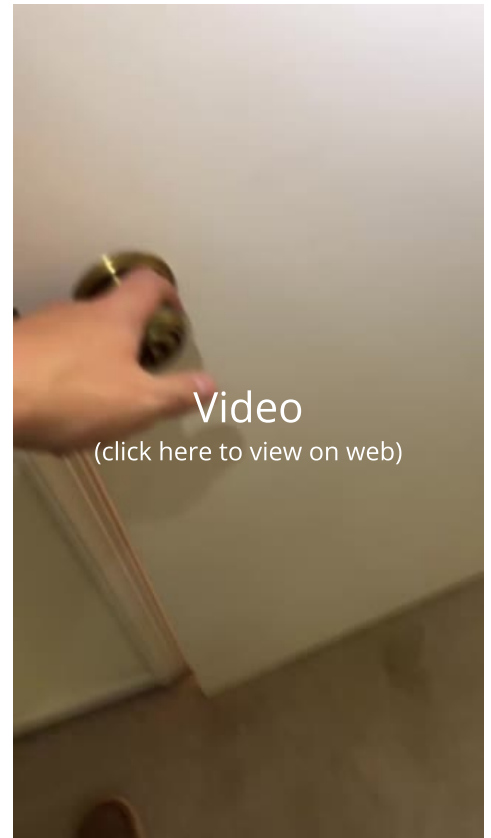


Maintenance Item/ Cosmetic

Without properly latching the door does not function as designed and can just be pushed open or in some situations just open on its own. Have evaluated and repaired as deemed necessary by a qualified contractor.

Recommendation

Contact a qualified handyman.



7.2.2 Doors

STICKING DOOR

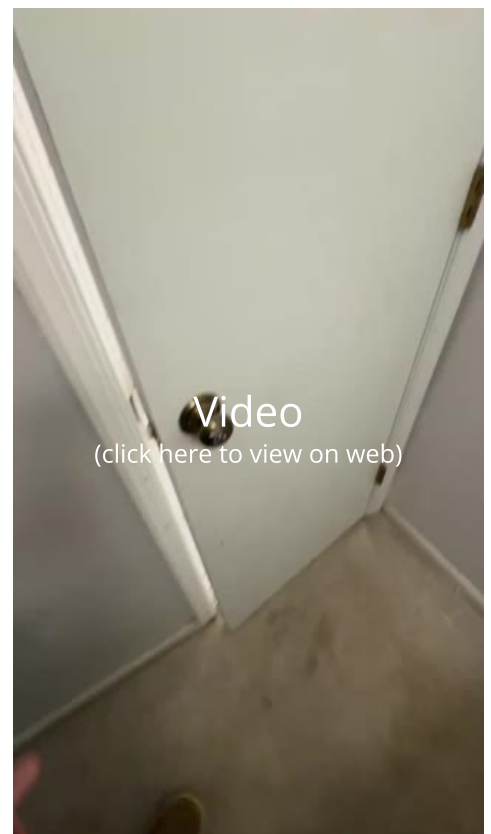


Maintenance Item/ Cosmetic

This is a normal maintenance item. Recommend repair/ adjustments as needed.

Recommendation

Contact a qualified professional.



7.3.1 Windows

DOES NOT LATCH

REAR WINDOWS AT SECOND FLOOR.

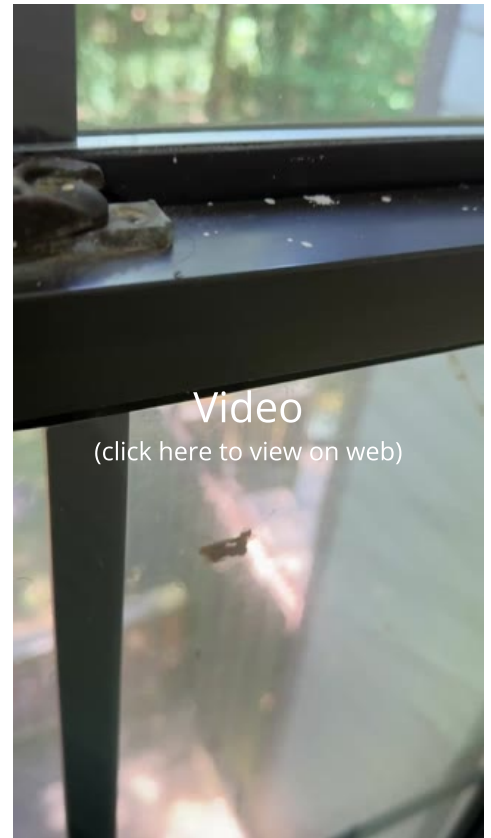
Without being able to latch the window can not be properly secured. This may be due to the hardware itself or the window being installed unlevel. Have evaluated and repaired as deemed necessary by a qualified contractor.

Recommendation

Contact your builder.



Recommendation/ Does not Function



7.3.2 Windows

WINDOW STUCK

FRONT WINDOWS AT SECOND FLOOR.

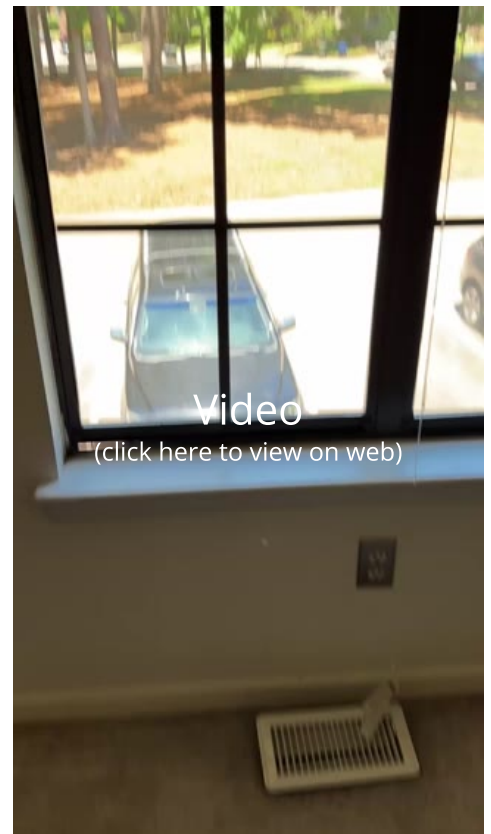
One or more of the windows in the home could not be opened, this may be due to the windows being painted shut or a defect with the windows themselves. This prevents egress in an emergency. Have further evaluated and repaired or replaced as deemed necessary by a qualified contractor.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function



7.3.3 Windows

**BROKEN WINDOW
GLAZING**

OFFICE WINDOW.

Noted windows were observed to have broken glazing. This condition can allow water and air infiltration. Recommend further evaluation and recommendations for repair as needed.

Recommendation

Contact a qualified window repair/installation contractor.



Recommendation/ Does not Function



7.4.1 Ceilings

DELAMINATION

2ND FLOOR BATHROOMS AND HALLWAY.

Often occurs from moisture/ humidity exposure. Recommend evaluation and repair as needed.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function



7.4.2 Ceilings

STAINING

VARIOUS LOCATIONS AROUND HOME.

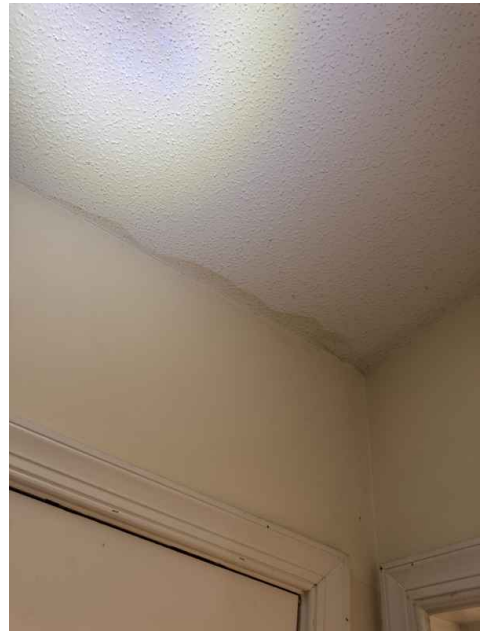
Staining to the ceiling was observed at noted locations. This condition can potentially indicate moisture exposure. Recommend evaluation and repairs as needed.



Recommendation/ Does not Function

Recommendation

Contact a qualified professional.



7.5.1 Walls

STAINING

VARIOUS LOCATIONS.

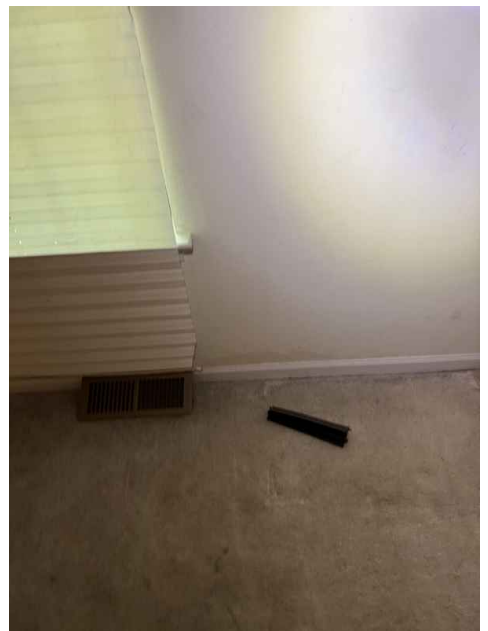
Staining to the wall was observed at various locations. This condition may indicate moisture exposure. Recommend evaluation and repair as needed.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function





7.5.2 Walls

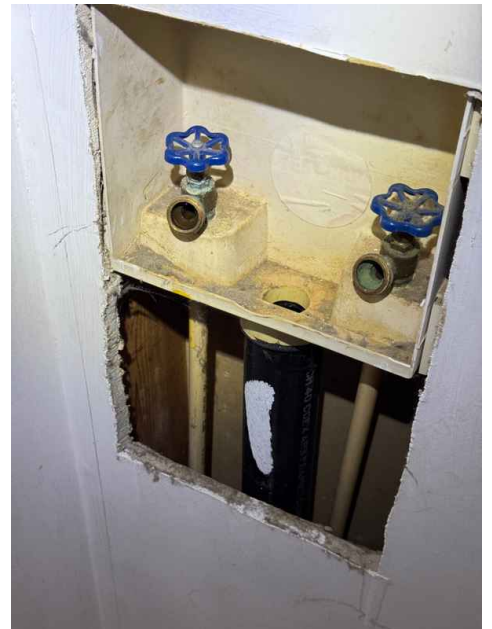
MISSING DRYWALL

Recommendation/ Does not Function

This is a normal maintenance item. Recommend repair as needed.

Recommendation

Contact a qualified professional.



7.5.3 Walls

CRACKING

VARIOUS LOCATIONS AROUND HOME

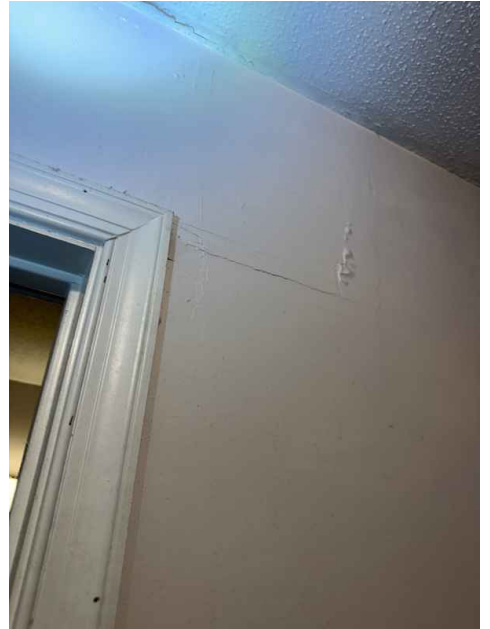
Cracking to drywall was observed at various locations around the home. Cracking to drywall can potentially signify structural movement/ settlement. Recommend evaluation and repair and monitoring.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function



7.5.4 Walls

PHYSICAL DAMAGE

STAIRWELL WALL.

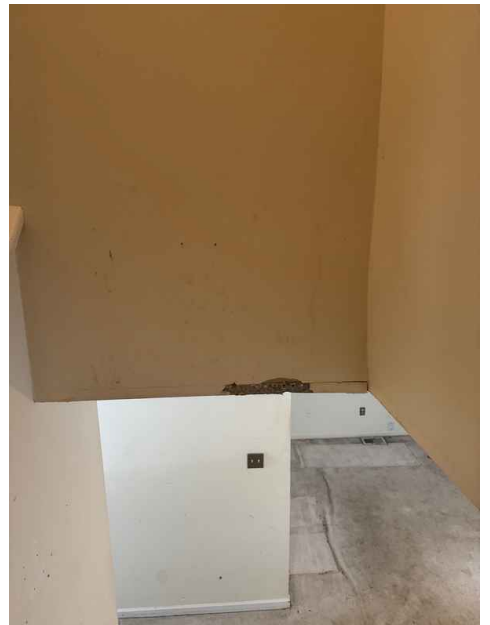
This is a normal maintenance item. Recommend evaluation and repair as needed.

Recommendation

Contact a qualified professional.



Maintenance Item/ Cosmetic



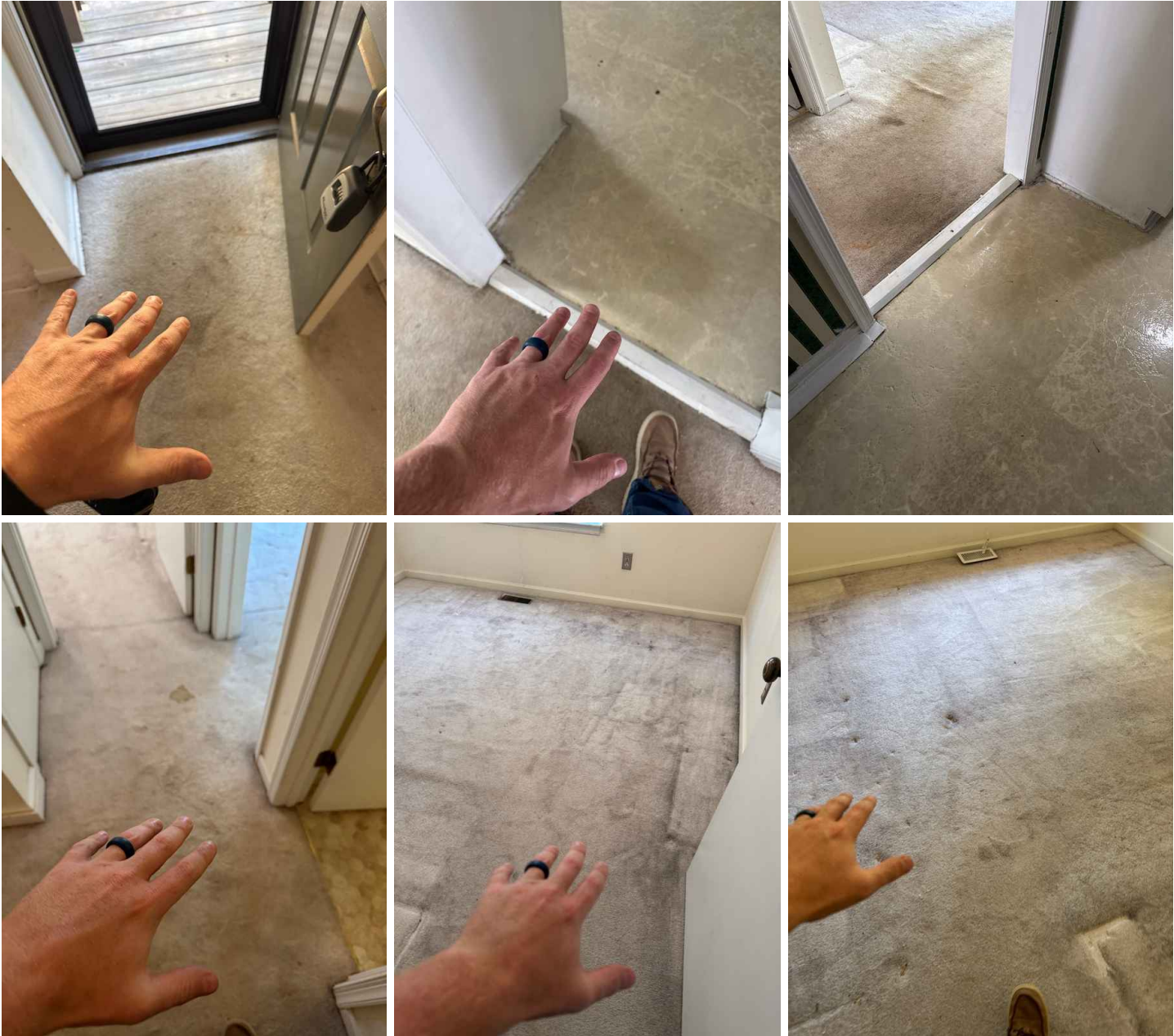
7.6.1 Floors

DEFLECTION, UNEVENNESS

 Recommendation/ Does not Function

Deflection and unevenness in the floor was observed at noted locations. This condition may potentially indicate deficiencies with the floor structure. Recommend further evaluation and recommendations from a licensed general contractor.

Recommendation
Contact a qualified general contractor.



7.6.2 Floors

DAMAGED AND LOOSE CARPET

 Recommendation/ Does not Function

VARIOUS LOCATIONS AROUND HOME.

Carpet was found to be damaged and loose. Evaluation and repair/ replacement is recommended.

Recommendation

Contact a qualified professional.



7.7.1 Stairways and Railings

CREAKING WITH DEFLECTION

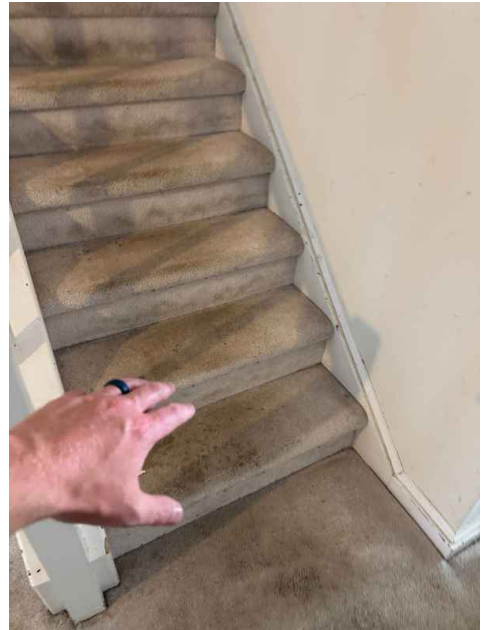
Creaking with deflection was observed to the stairway. This condition may indicate damage to the stairway framing. Recommend evaluation and repair as needed.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function



7.9.1 Bathrooms

WARPING TO CABINETRY

HALF AND 2ND FLOOR HALLWAY BATHROOM

Potentially indicative of moisture exposure. Recommend evaluation and repairs as needed.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function



7.9.2 Bathrooms

MOISTURE DAMAGE AND DECAY

Moisture damage and decay to the cabinetry was observed. This condition can spread to other surrounding areas and worsen. Recommend further evaluation and repairs as needed.

Recommendation

Contact a qualified general contractor.



Recommendation/ Does not Function



7.9.3 Bathrooms

GAPS AROUND ENCLOSURE

2ND FLOOR HALLWAY BATHROOM AND MASTER BATHROOM



Recommendation/ Does not Function

Gaps around the shower enclosure can potentially allow water movement behind the enclosure, which can pose risk of damage to the framing and structure of the home. Recommend further evaluation and recommendations for repairs as needed.

Recommendation

Contact a qualified professional.



8: HEATING AND COOLING

		IN	LIm	NP	NI	DE
8.1	Heating Equipment	X				
8.2	Cooling Equipment	X				
8.3	Normal Operating Controls	X				X
8.4	Distribution Systems	X				
8.5	Fuel Storage and Distribution Systems	X				
8.6	Non-Wood Burning Fireplaces		X		X	
8.7	Wood Burning Fireplaces, Insert or Stove			X		
8.8	Ceiling Fans	X				X

IN = Inspected

LIm = Limitation

NP = Not Present

NI = Not Inspected

DE = Defect

Information

Normal Operating Controls:

Thermostat

Honeywell

Distribution Systems:

Distribution Type

Forced Air Flexible Branch

Distribution Systems: Filter

Location

Interior Rooms (please see interior section of report)

Fuel Storage and Distribution Systems: Main Gas Shut-off

Location

Gas Meter

Non-Wood Burning Fireplaces :

Fuel and Style

Natural Gas

Heating Equipment: Air Handler

Location: crawlspace
Manufacturer: Aqua Therm
Model#: MODELE0CXQ3010ZB00AAF
Serial#: 2508-11323
Est Year Manufactured: 2025
Fuel Source: Electric / hot water
Were Panels Removed (Y/N):N



Cooling Equipment: Condenser Unit:

Location: Exterior
Manufacturer:
Model#:
Serial#:
Est Year Manufactured:
Fuel Source: Electric
Were Panels Removed (Y/N):N



Limitations

General

OPERATION OF THE HEATING AND COOLING SYSTEMS DEPEND ON THE OUTSIDE TEMPERATURES.

Please be aware that if it is cooler than 60 Degrees outside the coolant system was not operated and if it is warmer than 80 the heat may not be operated this is to prevent damage to the systems themselves.

General

GENERAL LIMITATION OF HVAC SYSTEMS

Although the inspector provides a thorough inspection there are some things the inspector can not do such as put gauges on sytem to check pressures as well as load calculations. For these reasons it is always recommended that a comprehensive HVAC inspection be performed by a licensed HVAC Company.

Distribution Systems

DUCTWORK HIDDEN

Many ducts are concealed by finished areas.

Non-Wood Burning Fireplaces

REMOTE NOT FOUND

Observations

8.3.1 Normal Operating Controls

SYSTEM NOT OPERATIONAL



The HVAC system did not operate as intended during functional testing. Hot air was produced at the registers during an attempt to operate the cooling function. This condition can lead to longer run times, and may pose risk of damage to the HVAC system. Recommend further evaluation and recommendations from an HVAC professional.

Recommendation

Contact a qualified HVAC professional.

8.8.1 Ceiling Fans

INOPERABLE



The fan was not operable on the day of inspection. Have evaluated and repaired as/if deemed necessary by a qualified contractor.

Recommendation

Contact a qualified professional.



8.8.2 Ceiling Fans

IMPROPER MOUNT

OFFICE. FRONT RIGHT BEDROOM.

Ceiling fan was improperly mounted. This can lead to damage during operation. Recommend evaluation and repair as needed.

Recommendation

Contact a qualified electrical contractor.



Recommendation/ Does not Function



9: INSULATION AND VENTILATION

		IN	LIm	NP	NI	DE
9.1	Attic Insulation	X				
9.2	Attic Ventilation	X				
9.3	Exhaust Systems	X				X
9.4	Foundation Ventilation	X				
9.5	Floor Insulation	X				

IN = Inspected

LIm = Limitation

NP = Not Present

NI = Not Inspected

DE = Defect

Information

Attic Insulation: Insulation Type
Loose Fill

Attic Ventilation: Attic Ventilation Type
Soffit Vents, Ridge Vents

Foundation Ventilation: Type
Vents

Floor Insulation: Insulation Material
Batt

Observations

9.3.1 Exhaust Systems

DISCONNECTED BATHROOM EXHAUSTS

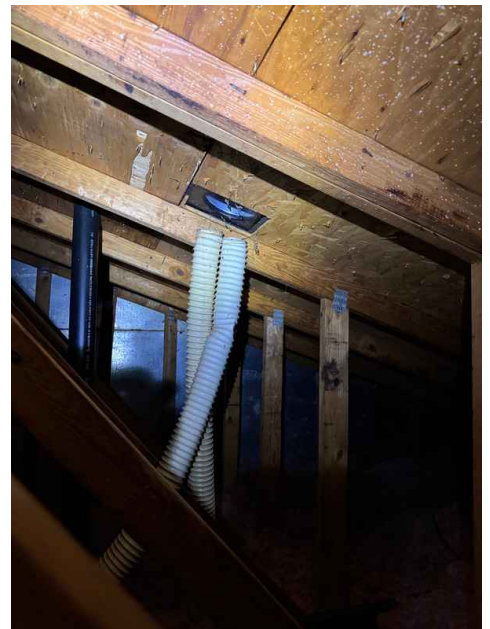
This can allow bathroom exhaust discharge into the attic space, which can cause elevations in moisture and humidity levels. Recommend further evaluation and recommendations for repairs/ corrections as needed.

Recommendation

Contact a qualified professional.



Recommendation/ Does not Function



10: APPLIANCES

		IN	LIm	NP	NI	DE
10.1	Dishwasher		X		X	
10.2	Garbage Disposal	X				
10.3	Range	X				X
10.4	Range Hood	X				

IN = InspectedLIm = LimitationNP = Not PresentNI = Not InspectedDE = Defect

Information

Garbage Disposal: Information

Brand: Badger

Model: 5xl-2

Serial: 24021144724

Est Year Manufactured: ?



Dishwasher: Information

Brand: Kenmore

Model: 587.1574590

Serial: 3582321 1092

Est Year Manufactured: ?



Range: Information

Brand: Kenmore

Model: 790.96113407

Serial: VF54470989

Est Year Manufactured: ?

Fuel: Electric



Range Hood : Information

Brand: Kenmore

Model: not accessible

Serial: not accessible

Est Year Manufactured: ?



Limitations

General

WASHERS, DRYERS, REFRIGERATORS AND COUNTERTOP APPLIANCES ARE NOT PART OF THE HOME INSPECTION

Dishwasher

OLDER APPLIANCE



Observations

10.3.1 Range

FUNCTIONALLY DAMAGED DOOR



Recommendation/ Does not Function

The range oven door was found to be damaged to a point that inhibits functional use of the appliance. Recommend evaluation and repair or replacement.

Recommendation

Contact a qualified appliance repair professional.



STANDARDS OF PRACTICE

Inspection Details

.1102 STANDARDS OF PRACTICE This Section sets forth the minimum standards of practice required of licensed home inspectors. In this Section, the term "home inspectors" means licensed home inspectors. **.1103 PURPOSE AND SCOPE** (a) Home inspections performed according to this Section shall provide the client with an understanding of the property conditions, as inspected at the time of the home inspection. (b) Home inspectors shall: (1) provide a written contract, signed by the client, before the home inspection is performed that shall: (A) State that the home inspection is in accordance with the Standards of Practice of the North Carolina Home Inspector Licensure Board as set forth in this Section; (B) State what services shall be provided and the cost; and (C) When an inspection is for only one or a limited number of systems or components, state that the inspection is limited to only those systems or components; (2) inspect readily visible and readily accessible installed systems and components described in Rules .1106 through .1115 of this Section; (3) submit a written report, pursuant to G.S. 143-151.58(a), to the client that shall: (A) Describe those systems and components required to be described in Rules .1106 through .1115 of this Section; (B) State which systems and components present at the home and designated for inspection in this Section were not inspected, and the reason for not inspecting; (C) State any systems or components inspected that do not function as intended, allowing for normal wear and tear, or appear not to function as intended, based upon documented tangible evidence; (D) Describe each system or component, pursuant to Part (b)(3)(C) of this Rule; state how the condition is defective; explain the implications of defective conditions reported; and direct the client to a course of action for repair, monitoring, or further investigation by a specialist; (E) State the name, license number, and signature of the person conducting the inspection. (4) submit a summary page(s) pursuant to G.S. 143-151.58(a1). (c) Home inspectors may: (1) report observations and conditions, including safety or habitability concerns, or render opinions of items in addition to those required in Paragraph (b) of this Rule; or (2) exclude systems and components from the inspection if requested by the client, and so stated in the written contract. **.1104 GENERAL LIMITATIONS** (a) Home inspections done in accordance with this Section are not technically exhaustive. (b) This Section applies to buildings with four or fewer dwelling units, and individually owned residential units within multi-family buildings, and their attached garages or carports. October 1, 2018 NC Home Inspector Licensure Board NC General Statutes and NC Administrative Code Page 21 of 40 **.1105 GENERAL EXCLUSIONS:** (a) Home inspectors are not required to report on: (1) Life expectancy of any component or system; (2) The causes of the need for a repair; (3) The methods, materials, and costs of corrections; (4) The suitability of the property for any specialized use; (5) Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements, or restrictions; (6) The market value of the property or its marketability; (7) The advisability or inadvisability of purchase of the property; (8) Any component or system that was not inspected; (9) The presence or absence of pests such as wood damaging organisms, rodents, or insects; or (10) Cosmetic damage, underground items, or items not installed; or (11) The presence or absence of systems installed to control or remove suspected hazardous substances listed in Subparagraph (b)(7) of this Rule. (b) Home inspectors are not required to: (1) Offer warranties or guarantees of any kind; (2) Calculate the strength, adequacy, or efficiency of any system or component; (3) Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health or safety of the home inspector or other persons; (4) Operate any system or component that is shut down or otherwise inoperable; (5) Operate any system or component that does not respond to normal operating controls; (6) Move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; (7) Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; (8) Determine the effectiveness of any system installed to control or remove suspected hazardous substances; (9) Determine House Energy Ratings (HER), insulation R values, system or component efficiencies; (10) Inspect heat recovery and similar whole house ventilation systems; (11) Predict future condition, including failure of components; (12) Project operating costs of components; (13) Evaluate acoustical characteristics of any system or component; (14) Inspect equipment or accessories that are not listed as components to be inspected in this Section; or (15) Disturb insulation, except as required in Rule .1114 of this Section. (c) Home inspectors shall not: (1) Offer or perform any act or service contrary to law; or (2) Offer or perform engineering, architectural, plumbing, electrical, or any other job function requiring an occupational license in the jurisdiction where the inspection is taking place, unless the home inspector holds a valid occupational license. In that case the home inspector shall inform the client that the home inspector is so licensed, and therefore qualified to go beyond this Section and perform additional inspections beyond those within the scope of the Standards of Practice. **.1106 STRUCTURAL COMPONENTS** (a) The home inspector shall inspect structural components including: (1) Foundation; (2) Floors; (3) Walls; (4) Columns or piers; (5) Ceilings; and (6) Roofs. (b) The home inspector shall describe the type of: (1) Foundation; October 1, 2018 NC Home Inspector Licensure Board NC General Statutes and NC Administrative Code Page 22 of 40 (2) Floor structure; (3) Wall structure; (4) Columns or piers; (5) Ceiling structure; and (6) Roof structure. (c) The home inspector shall: (1) Probe structural components where deterioration is suspected; (2) Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; (3) Report the methods used to inspect under floor crawl spaces and attics; and (4) Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. **.1107 EXTERIOR** (a) The home inspector shall inspect: (1) Wall cladding, flashings, and trim; (2) Entryway doors and a representative number of windows; (3) Garage door operators; (4) Decks, balconies, stoops, steps, areaways, porches, and appurtenant railings; (5) Eaves, soffits, and fascias; (6) Driveways, patios, walkways, and retaining walls; and (7) Vegetation, grading, and drainage with respect only to their effect on the condition of the building. (b) The home inspector shall: (1) Describe wall cladding materials; (2) Operate all entryway doors; (3) Operate garage doors manually or by using installed controls for any garage door operator; (4) Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and (5) Probe exterior wood

components where deterioration is suspected. (c) The home inspector is not required to inspect: (1) Storm windows, storm doors, screening, shutters, and awnings; (2) Fences; (3) For the presence of safety glazing in doors and windows; (4) Garage door operator remote control transmitters; (5) Geological conditions; (6) Soil conditions; (7) Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities), except as otherwise required in 11 NCAC 8.1109(d)(5)(F); (8) Detached buildings or structures; or (9) For the presence or condition of buried fuel storage tanks. .1108 ROOFING (a) The home inspector shall inspect: (1) Roof coverings; (2) Roof drainage systems; (3) Flashings; (4) Skylights, chimneys, and roof penetrations; and (5) Signs of leaks or abnormal condensation on building components. (b) The home inspector shall: (1) Describe the type of roof covering materials; and (2) Report the methods used to inspect the roofing. (c) The home inspector is not required to: (1) Walk on the roofing; or (2) Inspect attached accessories including solar systems, antennae, and lightning arrestors. October 1, 2018 NC Home Inspector Licensure Board NC General Statutes and NC Administrative Code Page 23 of 40 .1109 PLUMBING (a) The home inspector shall inspect: (1) Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; (2) Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; (3) Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; (4) Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and (5) Sump pumps. (b) The home inspector shall describe: (1) Water supply and distribution piping materials; (2) Drain, waste, and vent piping materials; (3) Water heating equipment, including fuel or power source, storage capacity or tankless point of use demand systems, and location; and (4) The location of any main water supply shutoff device. (c) The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. (d) The home inspector is not required to: (1) State the requirement for or effectiveness of anti-siphon devices; (2) Determine whether water supply and waste disposal systems are public or private or the presence or absence of backflow devices; (3) Operate automatic safety controls; (4) Operate any valve except water closet flush valves, fixture faucets, and hose faucets; (5) Inspect: (A) Water conditioning systems; (B) Fire and lawn sprinkler systems; (C) On-site water supply quantity and quality; (D) On-site waste disposal systems; (E) Foundation irrigation systems; (F) Bathroom spas, whirlpools, or air jet tubs except as to functional flow and functional drainage; (G) Swimming pools; (H) Solar water heating equipment; or (I) Fixture overflow devices or shower pan liners; (6) Inspect the system for proper sizing, design, or use of materials. (7) Report on the absence or presence of thermal expansion tanks; or, (8) Report on the adequacy of the reported water heater capacity. .1110 ELECTRICAL (a) The home inspector shall inspect: (1) Electrical service entrance conductors; (2) Electrical service equipment, grounding equipment, main overcurrent device, and interiors of panelboard enclosures unless unsafe conditions are reported; (3) Amperage and voltage ratings of the electrical service; (4) Branch circuit conductors, their overcurrent devices, and the compatibility of their ampacities at the interiors of panelboard enclosures unless unsafe conditions are reported; (5) The operation of a representative number of installed ceiling fans, lighting fixtures, switches, and receptacles located inside the house, garage, and on the dwelling's exterior walls; (6) The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; (7) The operation of ground fault circuit interrupters; and (8) Smoke detectors and installed carbon monoxide alarms. October 1, 2018 NC Home Inspector Licensure Board NC General Statutes and NC Administrative Code Page 24 of 40 (b) The home inspector shall describe: (1) Electrical service amperage and voltage; (2) Electrical service entry conductor materials; (3) The electrical service type as being overhead or underground; and (4) The location of main and distribution panels. (c) The home inspector shall report in writing the presence of any readily accessible single strand aluminum branch circuit wiring. (d) The home inspector shall report in writing on the presence or absence of smoke detectors, and installed carbon monoxide alarms in any homes with fireplaces, fuel fired appliances, or attached garages, and operate their test function, if readily accessible, except when detectors are part of a central system. (e) The home inspector is not required to: (1) Insert any tool, probe, or testing device inside the panels; (2) Test or operate any overcurrent device except ground fault circuit interrupters; (3) Dismantle any electrical device or control other than to remove the covers of panelboard enclosures; or (4) Inspect: (A) Low voltage systems; (B) Security systems and heat detectors; (C) Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; (D) Built-in vacuum equipment; (E) Back up electrical generating equipment; (F) Other alternative electrical generating or renewable energy systems such as solar, wind, or hydro power; (G) Battery or electrical automotive charging systems; or (H) Electrical systems to swimming pools or spas, including bonding and grounding. .1111 HEATING (a) The home inspector shall inspect permanently installed heating systems including: (1) Heating equipment; (2) Normal operating controls; (3) Automatic safety controls; (4) Chimneys, flues, and vents, where readily visible; (5) Solid fuel heating devices; (6) Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and (7) The presence or absence of an installed heat source for each habitable space. (b) The home inspector shall describe the: (1) Energy source; and (2) Heating equipment and distribution type. (c) The home inspector shall operate the systems using normal operating controls appropriate to weather conditions at the time of the inspection. (d) The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector shall report the method of inspection used to inspect the heating system and whether or not access panels were removed. (e) The home inspector is not required to: (1) Operate heating systems when weather conditions or other circumstances may cause equipment damage or when inappropriate to weather conditions at the time of inspection; (2) Operate automatic safety controls; (3) Ignite or extinguish solid fuel fires; or (4) Ignite a pilot light; or (5) Inspect: (A) The interior of flues; (B) Fireplace insert flue connections; (C) Heat exchangers; (D) Humidifiers; October 1, 2018 NC Home Inspector Licensure Board NC General Statutes and NC Administrative Code Page 25 of 40 (E) Electronic air filters; (F) The uniformity or adequacy of heat supply to the various rooms; or (G) Solar space heating equipment. .1112 AIR CONDITIONING (a) The home inspector shall inspect: (1) Central air conditioning and through-the-wall ductless installed cooling systems including: (A) Cooling and air handling equipment; and (B) Normal operating controls. (2) Cooling distribution systems including: (A) Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fancoil units; and (B) The presence or absence of an installed cooling source for each habitable space. (b) The home inspector shall describe the: (1) Energy sources; and (2) Cooling equipment type. (c) The home inspector shall operate the systems using normal operating controls appropriate to weather conditions at the time of the inspection. (d) The home inspector shall open readily openable access panels

provided by the manufacturer or installer for routine homeowner maintenance. The home inspector shall report the method used to inspect the air conditioning system and whether or not access panels were removed. (e) The home inspector is not required to: (1) Operate cooling systems when weather conditions or other circumstances may cause equipment damage; (2) Inspect window air conditioners; or (3) Inspect the uniformity or adequacy of cool-air supply to the various rooms. .1113 INTERIORS (a) The home inspector shall inspect: (1) Walls, ceiling, and floors; (2) Steps, stairways, balconies, and railings; (3) Counters and a representative number of built-in cabinets; and (4) A representative number of doors and windows. (b) The home inspector shall: (1) Operate a representative number of windows and interior doors; and (2) Report signs of water penetration into the building or signs of abnormal or harmful condensation on building components. (c) The home inspector is not required to inspect: (1) Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; (2) Carpeting; or (3) Draperies, blinds, or other window treatments; or (4) Coatings on and hermetic seals between panes of glass in windows and doors. .1114 INSULATION AND VENTILATION (a) The home inspector shall inspect: (1) Insulation and vapor retarders in unfinished spaces; (2) Ventilation of attics and foundation areas; (3) Kitchen, bathroom, and laundry venting systems; and (4) The operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. (b) The home inspector shall describe: (1) Insulation in unfinished spaces; and (2) The absence of insulation in unfinished space at conditioned surfaces. (c) The home inspector is not required to report on: (1) Concealed insulation and vapor retarders; or (2) Venting equipment for household appliances that are not required to be inspected pursuant to the North Carolina Home Inspector Licensure Board NC General Statutes and NC Administrative Code Page 26 of 40 Carolina Home Inspector Standards of Practice. (d) The home inspector shall: (1) Move insulation where readily visible evidence indicates a problem; and (2) Move floor insulation where plumbing drain/waste pipes penetrate floors, adjacent to earth-filled stoops or porches, and at exterior doors. .1115 BUILT-IN KITCHEN APPLIANCES (a) The home inspector shall inspect and operate the basic functions of the following kitchen appliances: (1) Installed dishwasher(s), through a complete cycle; (2) Range(s), cook top(s), and permanently installed oven(s); (3) Trash compactor(s); (4) Garbage disposal(s); (5) Ventilation equipment or range hood(s); and (6) Installed microwave oven(s). (b) The home inspector is not required to inspect: (1) Clocks, timers, self-cleaning oven functions, or thermostats for calibration or automatic operation; (2) Non built-in appliances; or (3) Refrigeration units. (c) The home inspector is not required to operate: (1) Appliances in use; or (2) Any appliance that is shut down or otherwise inoperable.