

LOT 76 INFORMATION:

ADDRESS: 1026 OLD KNIGHT ROAD
PIN: 1754683640
REFERENCE: DB 19523 PG 646
TOTAL LOT AREA = 0.075 AC = 3,250 SF
HOUSE = 915 SF
PORCH = 60 SF
SIDEWALK (TO P/L) = 86 SF
DRIVEWAY (TO P/L) = 328 SF
COVERED PORCH = 98 SF
GARAGE = 399 SF
AC PAD = 9 SF
PROPOSED IMPERVIOUS = 1,895 SF
PERCENT IMPERVIOUS = 58.31 %

BUILDING SETBACKS (SFD)
FRONT - 10' MINIMUM
SIDE - 20% LOT WIDTH (3' MINIMUM)
REAR ALLEY - 20' ALLEY RIGHT OF WAY
REAR YARD - 20' MINIMUM

-Provide a minimum_ 2_ lot trees (canopy)
-Install street trees per the approved CDs

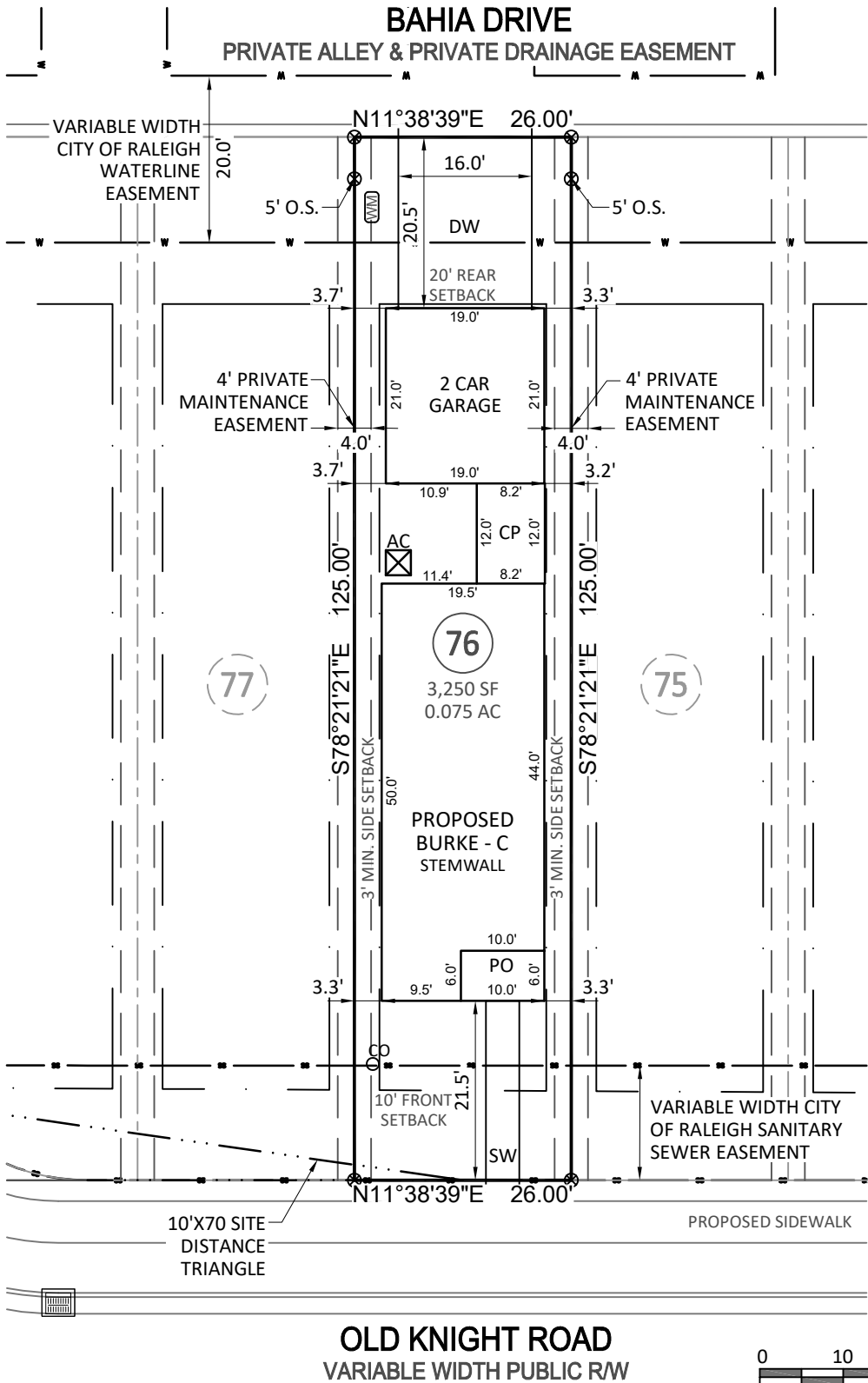
Site Plan Approved
11/18/2025 Heidi.Salminen

Per the Forestville Yard UAA:
-All foundations must be enclosed with 18" of brick or stone on all sides. Raised slab, stem wall, crawl.
-Garage doors must contain windows, decorative details OR carriage style hardware.
-30 yr. architectural shingles.
-No vinyl siding is permitted.

*Per UDO Section 7.4.K.4-Foundation plantings consisting of evergreen shrubs shall be installed along the entire foundation wall of the building. Plant installation shall be a minimum of two (2) feet in height planted at four (4) foot intervals.
*Water meters are not to be located in the sidewalk or the driveway. *Sewer clean outs are not to be located in the public sidewalk or driveway.
*Sewer clean out in the private sidewalk need to be a mini manhole cover. No PVC. *Sewer clean out in the private driveway need to be TRCO/ TBCO.
*Under building code, the house connected to the garage by a breeze way is considered one structure; therefore, primary building setbacks were applied to the entire structure.

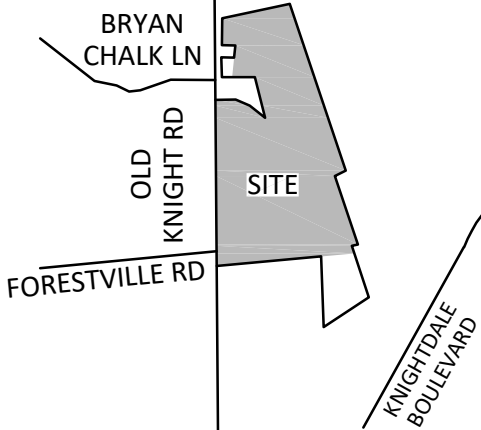
NOTES:

- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF SONYA A. WARD, PLS.
- THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
- PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
- THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
- THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS,SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
- NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- ZONING: PUD-RMX
- BUILDER/DEVELOPER: DAVIDSON HOMES
1903 NORTH HARRISON AVE
CARY, NC 27513



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NCBELS Firm No. C-2378



VICINITY MAP

(Not to Scale)

LEGEND

PO = COV. FRONT PORCH/PATIO
CP = COV. REAR PORCH/PATIO
WD = WOOD DECK
SW = SIDEWALK
DW = CONCRETE DRIVEWAY
SP = SCREENED PORCH/PATIO
P = CONCRETE PATIO
⊗ = COMPUTED POINT
● = IRON PIPE FOUND (IPF)
⦿ = IRON PIPE SET (IPS)
X = SCRIBE SET (SS)
WM = WATER METER
CO = CLEAN OUT
AC = AIR CONDITIONER PAD
⊙ = CABLE BOX
⊗ = SEWER MANHOLE
⊞ = TELEPHONE PEDESTAL
CB = CATCH BASIN/CURB INLET
⊙ = LIGHT POLE
⊞ = HAND HOLE
⊞ = ELECTRIC BOX
⊞ = FIRE HYDRANT
DI = DRAIN INLET/YARD INLET
O.S. = OFF SET
SFD = SINGLE FAMILY DETACHED
R/W = RIGHT OF WAY
P/L = PROPERTY LINE

I, SONYA A. WARD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM A SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4017
DATED:

PRELIMINARY

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION
DIMENSIONS AND REVIEW TOTAL
IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN
FOR
DAVIDSON HOMES

FORESTVILLE YARD - PHASE 1 - LOT 76
1026 OLD KNIGHT ROAD, KNIGHTDALE, NC
ST. MATTHEW TOWNSHIP, WAKE COUNTY

DATE: 11/06/25 DRAWN BY: BSH CHECKED BY: SAW

REFERENCE: BM2025 PG. 1951-1953 BCS# 250708 SCALE: 1" = 20'