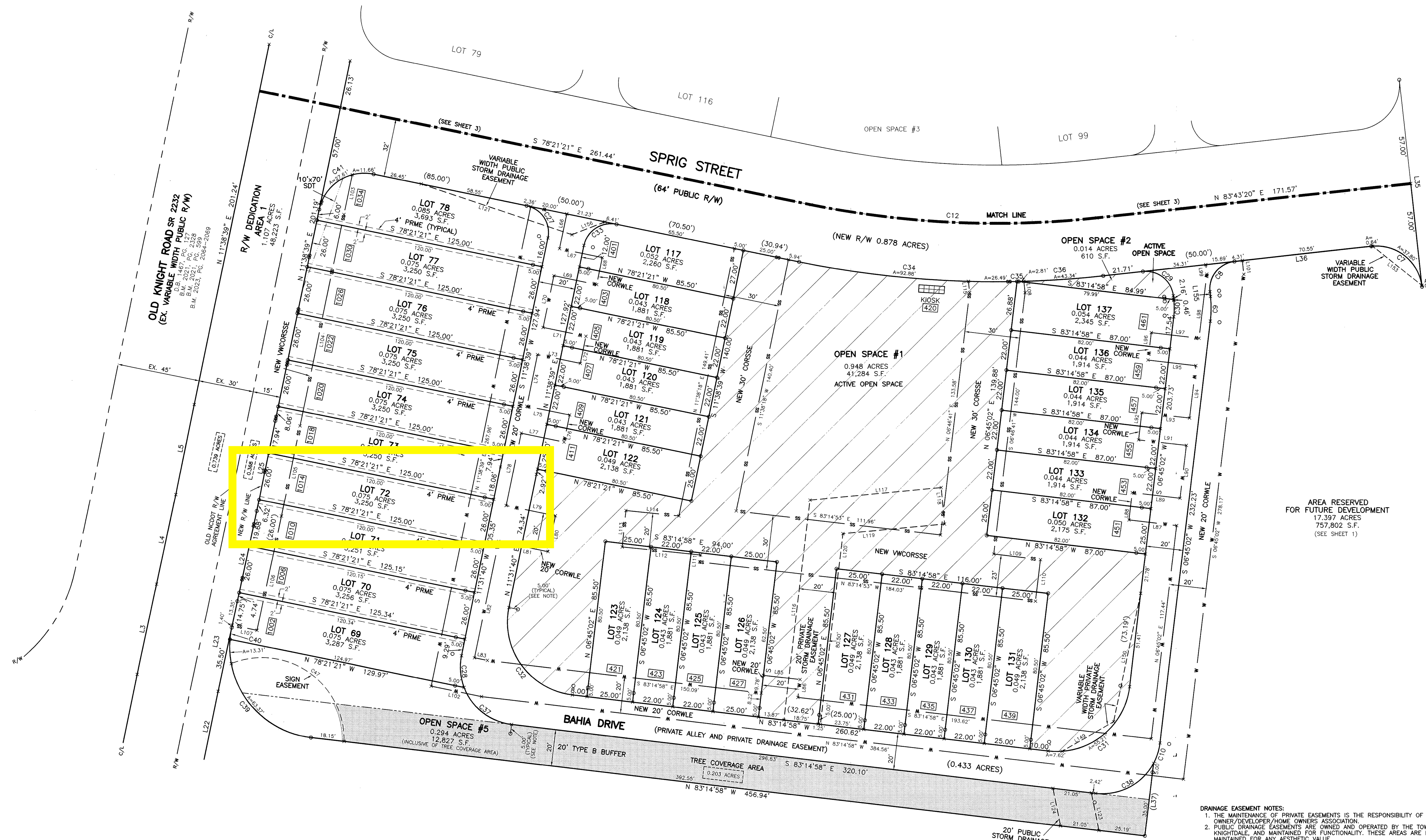
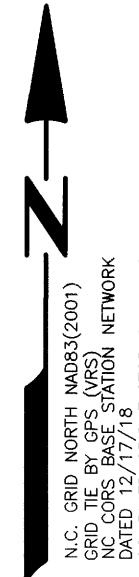




SETBACKS TAKEN FROM CONSTRUCTION DRAWINGS

SINGLE FAMILY DETACHED, REAR LOADED
FRONT YARD-10' MINIMUM
SIDE YARD-20% LOT WIDTH (3' MINIMUM)
REAR ALLEY-20' ALLEY RIGHT OF WAY
REAR YARD-20' MINIMUM

TOWNHOMES, REAR LOADED
FRONT YARD-10' MINIMUM
SIDE YARD-N/A
BUILDING TO BUILDING-10' MINIMUM
REAR ALLEY-20' ALLEY RIGHT OF WAY
REAR YARD-N/A
MINIMUM DRIVEWAY LENGTH-20'

ZONING CONDITIONS:
1. MINIMUM DRIVEWAY LENGTH TO BE 20 FEET MEASURED FROM THE REAR ALLEY RIGHT OF WAY TO THE FACE OF THE GARAGE.
2. MINIMUM LOT WIDTH FOR SINGLE FAMILY HOMES IS 26 FEET.
3. THE PRIVATE, RECORDED LEGAL DOCUMENTS GOVERNING THE SUBDIVISION SHALL OBLIGATE THE HOMEOWNERS ASSOCIATION TO MAINTAIN THE LANDSCAPING ON ALL LOTS.
4. A 20 FOOT TYPE 'B' BUFFER IS TO BE PROVIDED ALONG FORESTVILLE RD. A 20 FOOT TYPE 'B' BUFFER IS TO BE PROVIDED ALONG ALL PORTIONS OF THE PROPERTY THAT ADJUT A RESIDENTIALLY ZONED PROPERTY.

LEGEND

RBS-REBAR SET
CMF-CONCRETE MONUMENT FOUND
DEF-DIKE ENERGY PROGRESS
WF-WETLAND FLAG
NF-NAI FOUND
JB-JUNCTION BOX
PP-POWER POLE
GW-GUY WIRE
EX-EXISTING
PRM-PRIVATE MAINTENANCE EASEMENT
NCDOT-NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
OHP&PHL-OVERHEAD POWER AND PHONE LINES
OHP-OVERHEAD POWER LINES
CTIP-DRILLED TOP IRON PIPE FOUND
RP-IRON PIPE FOUND
R/R-RIGHT OF WAY
C/L-CENTERLINE
PUE-PUBLIC UTILITY EASEMENT
SCM-SCM WATER CONTROL MEASURE
CORW-CITY OF RALEIGH WATERLINE EASEMENT
VWCORSE-VARIABLE WIDTH CITY OF RALEIGH SANITARY SEWER EASEMENT
SF-SQUARE FEET
SOT-SIGHT DISTANCE TRIANGLE
X/CP-CALCULATED POINT
SR-STATE ROAD
A-ARC LENGTH
N/F-NOW OR FORMERLY
-DRILL HOLE SET IN CONCRETE
-CENTERLINE
-CITY OF RALEIGH WATERLINE EASEMENT
-CITY OF RALEIGH SANITARY SEWER EASEMENT
-SCM-SCM WATER CONTROL MEASURE

XXXX-ADDRESS
-ACTIVE OPEN SPACE
-TREE COVERAGE AREA
-PASSIVE OPEN SPACE
-SUB AREA

DRAINAGE EASEMENT NOTES:
1. THE MAINTENANCE OF PRIVATE EASEMENTS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER/HOME OWNERS ASSOCIATION.
2. PUBLIC DRAINAGE EASEMENTS ARE OWNED AND OPERATED BY THE TOWN OF KNIGHTDALE, AND MAINTAINED FOR FUNCTIONALITY. THESE AREAS ARE NOT MAINTAINED FOR ANY AESTHETIC VALUE.

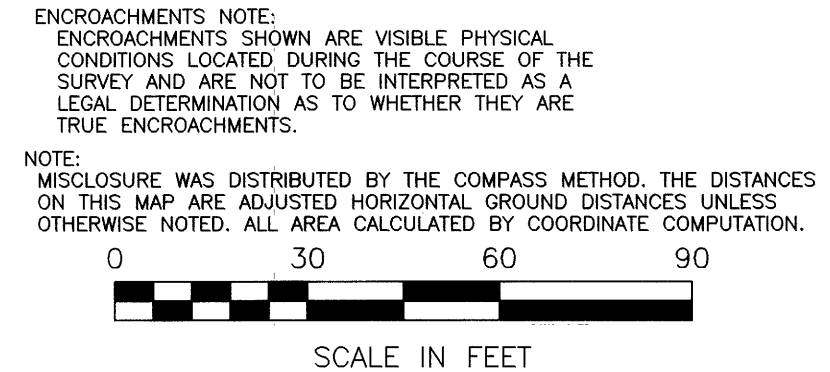
OPEN SPACE NOTES:
1. THE MAINTENANCE OF ALL OPEN SPACE, COMMON AREAS, LANDSCAPED BUFFERS, AND RECREATIONAL AREAS IS THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.

PRIVATE ALLEY NOTES:
1. THE MAINTENANCE OF THE PRIVATE ALLEYS IS THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.

SCM MAINTENANCE & ACCESS EASEMENT NOTE:
SCM MAINTENANCE & ACCESS EASEMENTS GRANTS TOWN OF KNIGHTDALE ENTRY/ACCESS FOR INSPECTIONS AND SHOULD THERE BE AN ISSUE, FAILURE, EMERGENCY, ETC. OTHERWISE, BOTH THE EASEMENT AND SCM DEVICE ARE TO BE MAINTAINED BY THE OWNER/DEVELOPER/HOME OWNERS ASSOCIATION.

NOTES:
1. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
2. PROPERTY IS IN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, BY FEMA FIRM MAP NO. S 372017500K PANEL 1734 AND 3720175500K PANEL 1735, MAPS REVISED JULY 19, 2022.
3. REBAR SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
4. PARKING SPACES INSIDE RIGHT OF WAY SHALL BE PUBLIC PARKING, HOA MAINTAINED.

NEW PROPERTY CORNER OFFSET NOTE:
1. LOT PROPERTY CORNERS IN PRIVATE ALLEYS FALL IN BACK OF CURB. REBARS SET AS 5' OFFSETS TO PROPERTY CORNERS IN PRIVATE ALLEYS ALONG NEW LOT AS SHOWN HEREON.
2. 5' OFFSET REBARS SET AT TURNOUTS OF PRIVATE ALLEYS ARE PERPENDICULAR TO ACTUAL TURNOUT CORNERS AS SHOWN HEREON.



OWNER:
DRP NC 2, LLC
590 MADISON AVE., 15TH FLOOR
NEW YORK, NY 10022

REVISIONS	
9-30-25	ADDED ADDITIONAL 5' OFFSETS AND ADDED OFFSET NOTE.

FINAL PLAT OF MAJOR SUBDIVISION FOR FORESTVILLE YARD PHASE 1	
TOWNSHIP: ST. MATTHEWS	COUNTY: WAKE
STATE: NORTH CAROLINA	
ZONING: PUD-RMX	PIN: 1754.07-68-7812

ROBINSON & PLANTE, P.C. LAND SURVEYING 970 TRINITY ROAD RALEIGH, NC 27607 PHONE: (919)859-6030	
SURVEY DATE: 1-29-25	SURVEYED BY: KS
SCALE: 1"= 30'	DRAWN BY: BW
CHECKED & CLOSURE BY: SEP	FILE: FYSUBPH152 SHEET 2 OF 3

THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

Stuart E. Plante III 1/29/25
PROFESSIONAL LAND SURVEYOR DATE

NORTH CAROLINA
WAKE COUNTY
STUART E. PLANTE III CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DESCRIPTION RECORDED IN REFERENCES AS SHOWN, THAT THE BOUNDARIES NOT SURVEYED ARE DRAWN FROM REFERENCES AS SHOWN, THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:57,725; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-50 AS AMENDED; WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 29th DAY OF JANUARY, 2025 A.D.

Stuart E. Plante III PROFESSIONAL LAND SURVEYOR
LICENSE NO. L-4432

