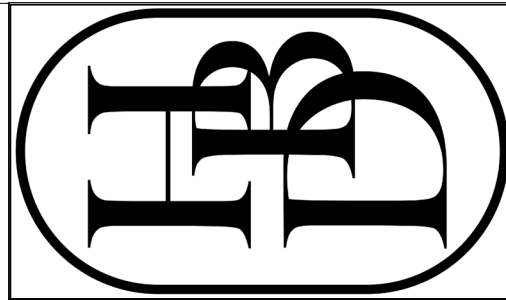




HOMES BY DICKERSON
2841 PLAZA PLACE, SUITE 210
RALEIGH, NC 27612
919.847.4447

ORIGINAL CONCEPT BY
JEFF WILLIAMS
REGISTERED ARCHITECT

LOT 25 - LOWERY ESTATES
THE SHELBY

DRAWN BY LB
03/18/2025
REVISION DATE
11/18/2025 BS

SHEET NO.

1

ELEVATIONS

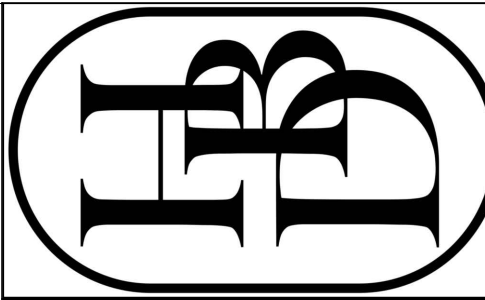
TUDOR STYLE



FRONT ELEVATION
SCALE = 1/4" = 1'-0"



LEFT ELEVATION



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LOT 25 - LOWERY ESTATES
THE SHELBY

DRAWN BY **LB**
03/18/2025
REVISION DATE
05/19/2025

SHEET NO.

2

ELEVATIONS

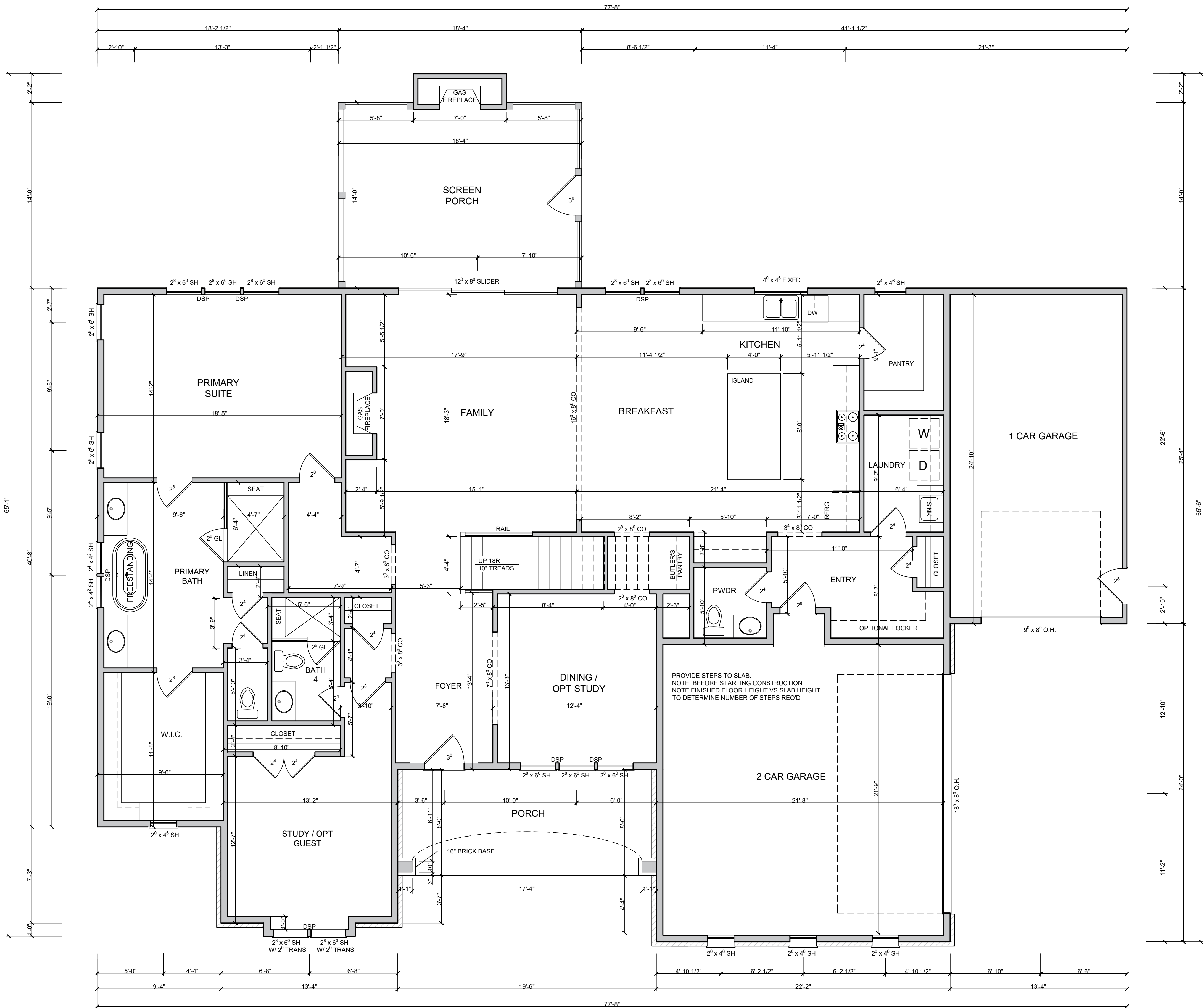
TUDOR STYLE



REAR ELEVATION
SCALE = $\frac{1}{4}'' = 1'-0''$



RIGHT ELEVATION



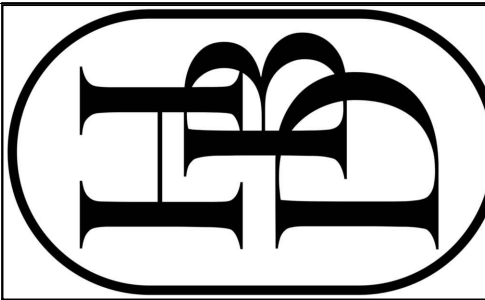
FIRST FLOOR PLAN
10'-0" CEILING HGT.
SET WINDOWS @ 8'-0" A.F.F.
SCALE= 1/4" = 1'-0"

AREA CALCULATIONS

HEATED (SQ.FT.)		UNHEATED (SQ.FT.)	
BASEMENT	N/A	2 CAR GARAGE	501
1ST FLOOR	2326	1 CAR GARAGE	338
SECOND FLOOR	1534	PORCH	156
		SCREEN	272
TOTAL	3860	STOR.	687
		TOTAL	1954

NOTES

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE, NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
- VERIFY ALL WINDOW SIZES, RADIUS AND DETAILS WITH CHOSEN MANUFACTURER.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER. PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK ON GARAGE CEILING TO BE 5/8" TYPE "X".



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03/18/2025
REVISION DATE
05/19/2025

SHEET NO.

3

FLOOR PLAN



ORIGINAL CONCEPT BY
JEFF WILLIAMS
REGISTERED ARCHITECT

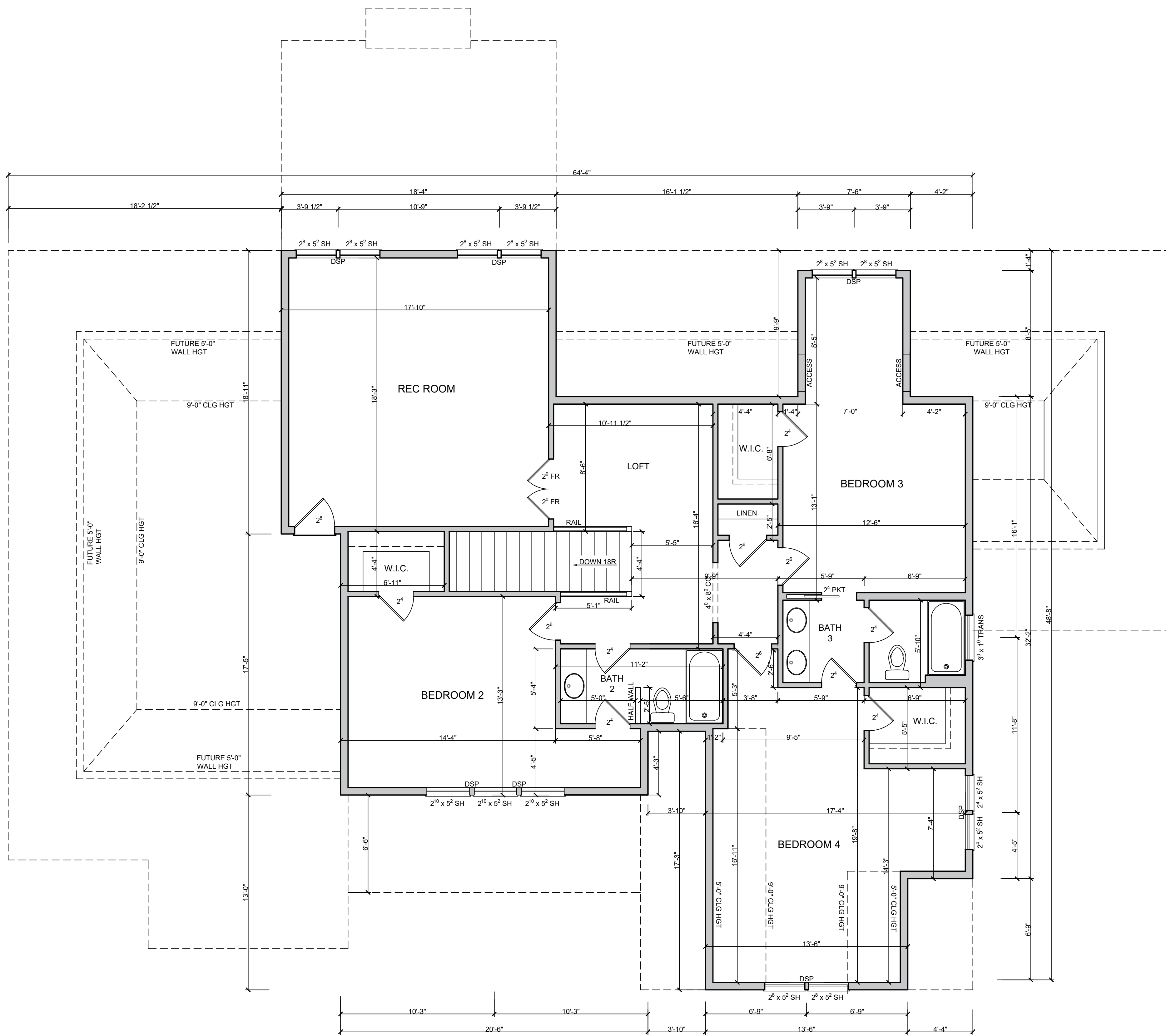
LOT 25 - LOWERY ESTATES
THE SHELBY

DRAWN BY **LB**
03/18/2025
REVISION DATE
05/19/2025

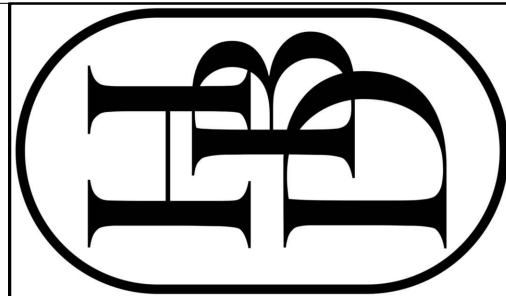
SHEET NO.

4

FLOOR PLAN



SECOND FLOOR PLAN
9'-0" CEILING HGT.
SET WINDOWS @ 8'-0" A.F.F.
SCALE = $\frac{1}{4}" = 1'-0"$



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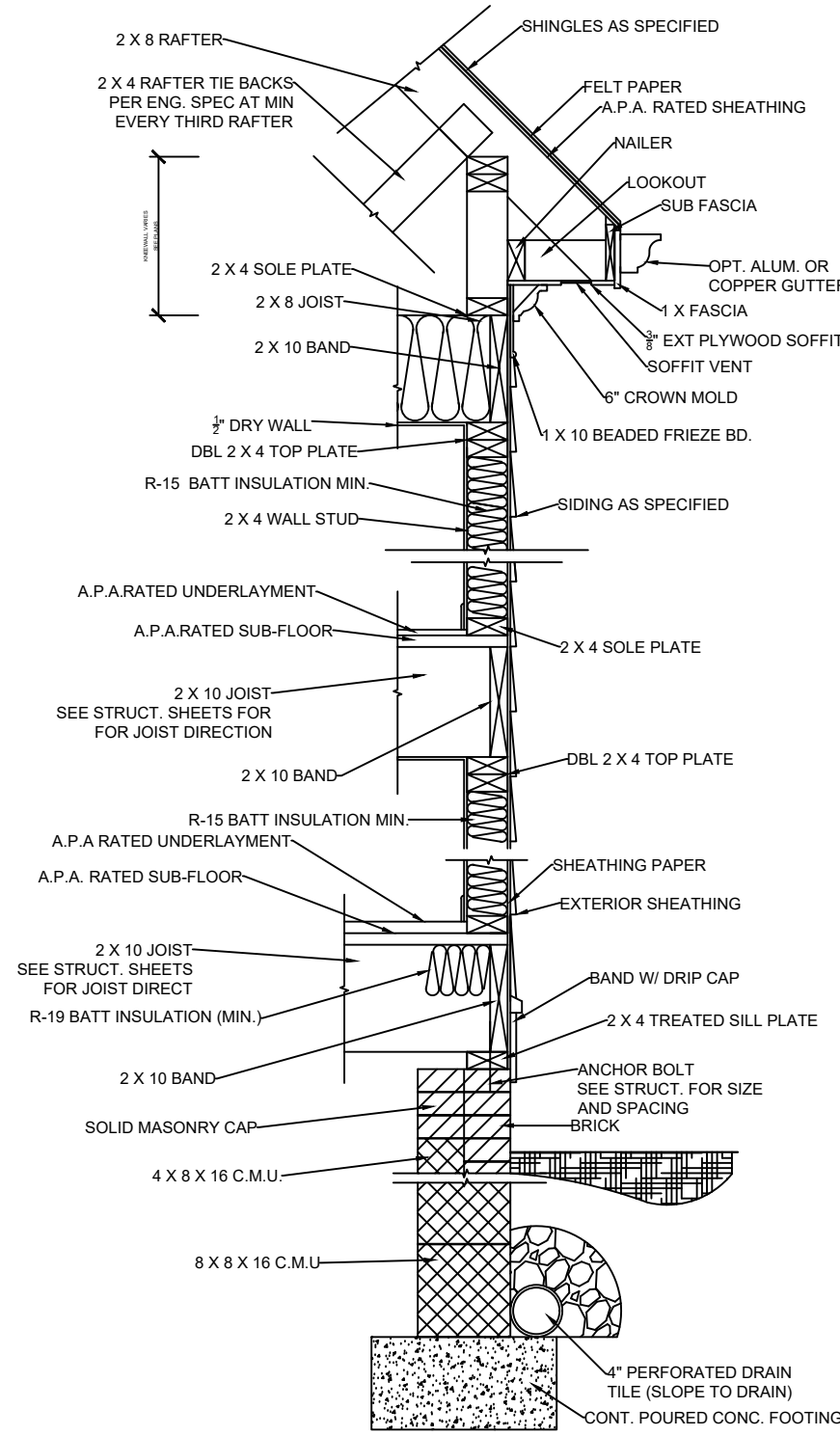
LOT 25 - LOWERY ESTATES
THE SHELBY

DRAWN BY LB
1/9/2024
REVISION DATE
05/19/2025

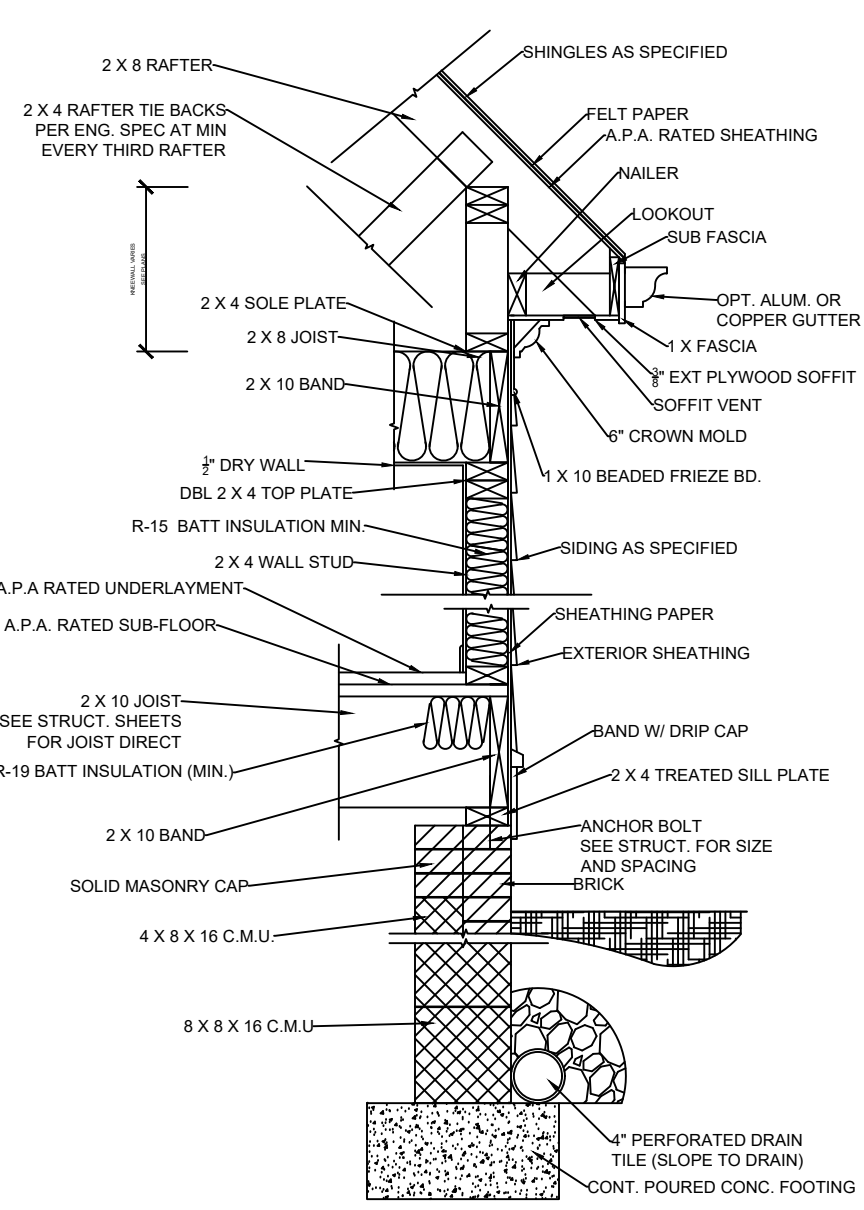
SHEET NO.

5

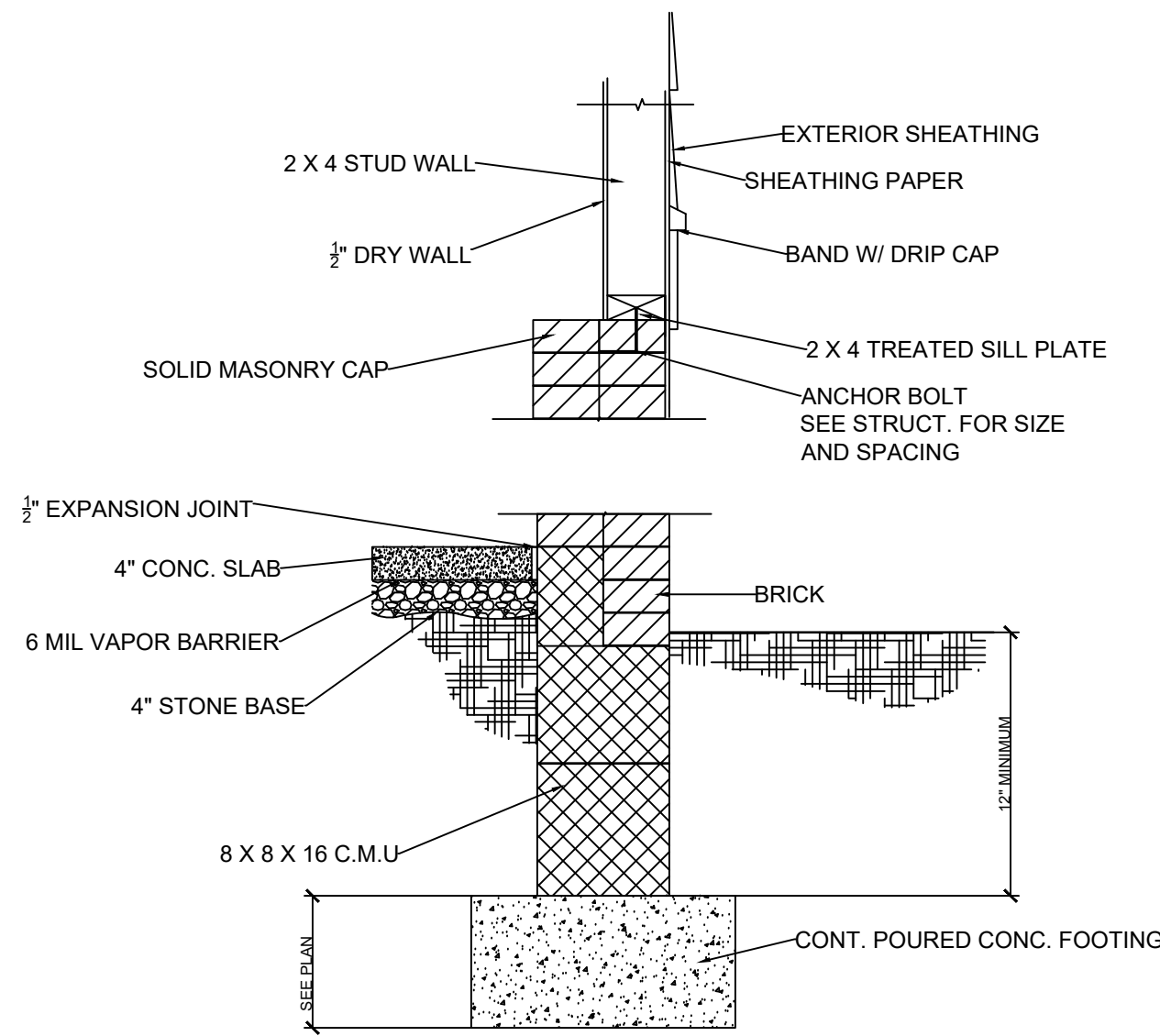
DETAILS



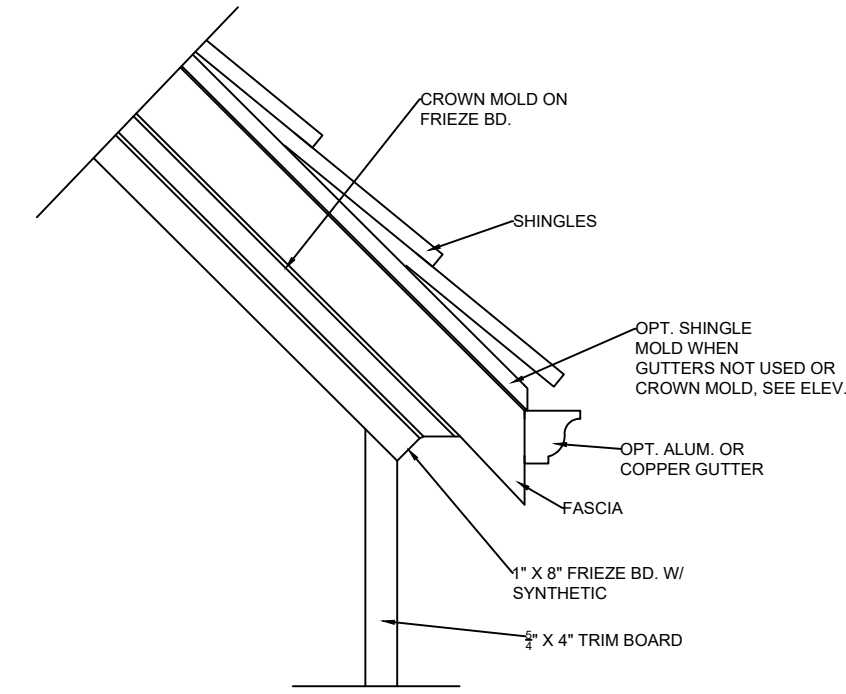
1 2-STORY WALL W/ SIDING
DESIGNED FOR 115 MPH WINDS



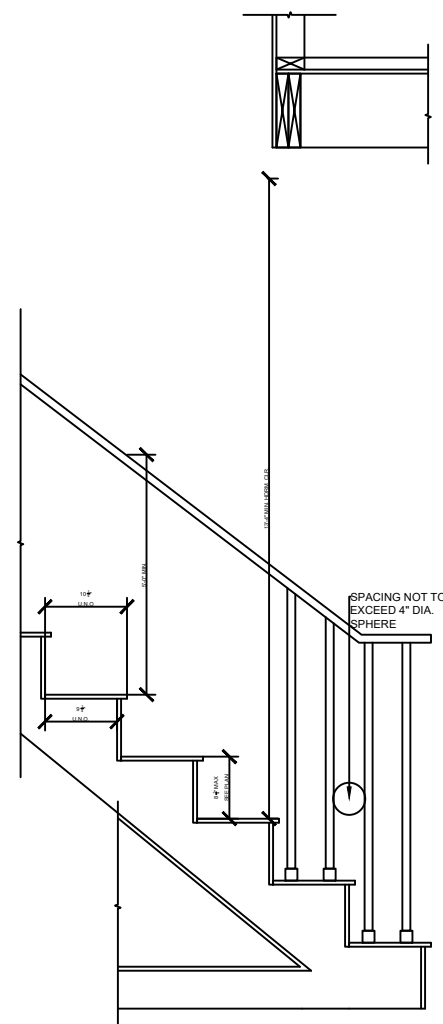
2 1-STORY WALL W/ SIDING
DESIGNED FOR 115 MPH WINDS



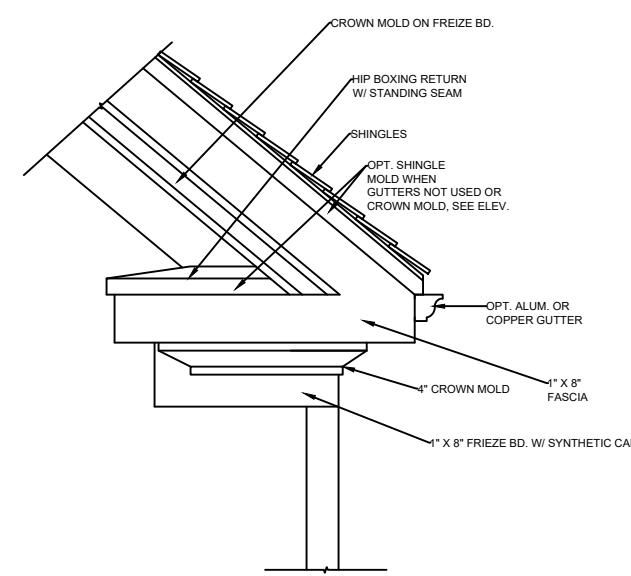
3 GARAGE WALL W/ SIDING
DESIGNED FOR 115MPH WINDS



4 DOG EAR RETURN DETAIL @ $\frac{3}{4}$ " = 1'-0"



5 TYP. STAIR DETAIL @ $\frac{3}{4}$ " = 1'-0"



6 HIP BOXING RETURN DETAIL @ $\frac{3}{4}$ " = 1'-0"

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE
HOUSE DESIGNED FOR 115 MPH 3 SECOND GUST, EXPOSURE B
ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATES
SPICES
ANCHOR BOLTS SHALL BE MIN. $\frac{1}{2}$ " DIAMETER & SHALL EXTEND A MINIMUM 7" INTO
MASONRY OR CONCRETE

MEAN ROOF HEIGHT = <30'-0"

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

ROOF VENTILATING REQUIREMENTS

$\frac{2097}{150}$ SQ.FT. = 13.58 SQ.FT OF TOTAL ROOF VENTILATION REQ'D

209'-2" (LINEAR FT. OF SOFFIT) X .035 (NET FREE AREA PER FT.) = 7.32 SQ. FT.
OF AVAILABLE SOFFIT VENT

13.58 - 7.32 = 6.26 SQ.FT. REMAINING REQ'D ROOF VENTILATION

6.26 / .125 = 50.08 LINEAR FT. OF RIDGE VENT REQ'D

NOTE: FIGURE BASED ON SECTION R-806 OF THE 2018 IRC.
NOTE: - SOFFIT VENT SPECS BASED ON HARDISOFFIT PANELS THAT ALLOWS 5
SQ. IN. OF NET FREE AREA PER LINEAR FT.
- RIDGE VENT SPEC BASED ON VENTURIVENT PLES THAT ALLOWS 18
SQ. IN. OF NET FREE AREA PER LINEAR FT

TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO
300:

- PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D
VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE
R806.2 OF THE 2018 IRC. FOR PROPER LOCATION.
- WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION
RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF
THE CEILING

FOUNDATION VENT CALCS.

$\frac{1698 \text{ SQ. FT.}}{150}$ = 11.32 SQ.FT. VENT REQ'D.

$\frac{11.32 \text{ SQ.FT.}}{.56}$ = 20 VENTS TO BE PROVIDED

NOTE: FIGURE BASED ON SECTION R-409 OF THE 2018 IRC.
NOTE: FND VENT SPECS BASED ON PUSH/PULL POLYPROPYLENE
FND.

VENT THAT ALLOWS 72 SQ.IN. OF NET FREE AREA PER VENT

- WHERE CONTINUOUS OPERATED MECHANICAL VENTILATION
IS PROVIDED AT A RATE OF 1.0 CFM FOR EACH 50 SQ.FT. OF
CRAWL SPACE.
- THE CRAWL SPACE IS SUPPLIED WITH CONDITIONED AIR AND
THE PERIMETER WALLS ARE INSULATED IN ACCORDANCE
WITH SECTION R409 OF THE 2018 IRC.
- BUILDER/OWNER TO VERIFY VENT SIZE AND REQUIREMENTS
PRIOR TO CONSTRUCTION. SEE SECTION R409 OF THE 2018
IRC.