

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax 346.00 Real Estate ID 0216815 Parcel Identifier No 1747255264 Verified by _____
County on the _____ day of _____, 2014, by _____

Mail after recording to GRANTEE
This instrument was prepared by **Greg C. McGibney**
Without Benefit of Title Examination
Brief Description for the index

LO151 EVIAN HGTS @ HERON PK P4 95-1110

THIS DEED made this 1st day of December, 2014, by and between

GRANTOR	GRANTEE
MICHAEL A. GATHMAN, single	JUSTIN T. BLACKLEY, and ASHLEY BACON BLACKLEY, a married couple
4308 FORESTVILLE ROAD RALEIGH, NC 27616	3508 RIBCOWSKI COURT RALEIGH, NC 27616

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of **Raleigh, Wake Forest Township, Wake County, North Carolina** and more particularly described as follows:

BEING ALL OF LOT 151, PHASE 4, EVIAN HEIGHTS AT HERON PARK SUBDIVISION, AS SHOWN ON A MAP RECORDED IN BOOK OF MAPS 1995, PAGES 1110 AND 1111, WAKE COUNTY REGISTRY.

All or a portion of the property herein conveyed ✓ includes or _____ does not include the primary residence of a Grantor. (NC GS § 105-317.2)

The property hereinabove described was acquired by Grantor by instrument recorded in **Book 009917, Pages 02738-**

02740.

A map showing the above described property is recorded in **Book of Maps 1995, Pages 1110 and 1111.**

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

Subject to 2014 taxes, easements, conditions and restrictions of record, if any.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

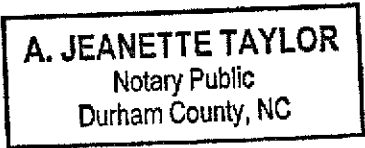
Michael A. Gathman (SEAL)
MICHAEL A. GATHMAN

STATE OF North Carolina, Durham COUNTY

I certify that **MICHAEL A. GATHMAN**, who is known to me or proved to me on the basis of satisfactory evidence to be the person described, personally appeared before me this day, acknowledging to me that he/she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated. Witness my hand and official seal this 1st day of December, 2014.

(Official Seal)

A. Jeanette Taylor
Official Signature of Notary
A. Jeanette Taylor, Notary Public
Notary's printed or typed name



My commission expires: 4-3-15

The foregoing Certificate(s) of _____
is/are certified to be correct. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the first page hereof.

REGISTER OF DEEDS FOR _____ COUNTY
By _____ Deputy/Assistant-Register of Deeds.