

HOMES BY DICKERSON
2841 PLAZA PLACE, SUITE 210
RALEIGH, NC 27612
919.847.4447

ORIGINAL CONCEPT BY
JEFF WILLIAMS
REGISTERED
ARCHITECT

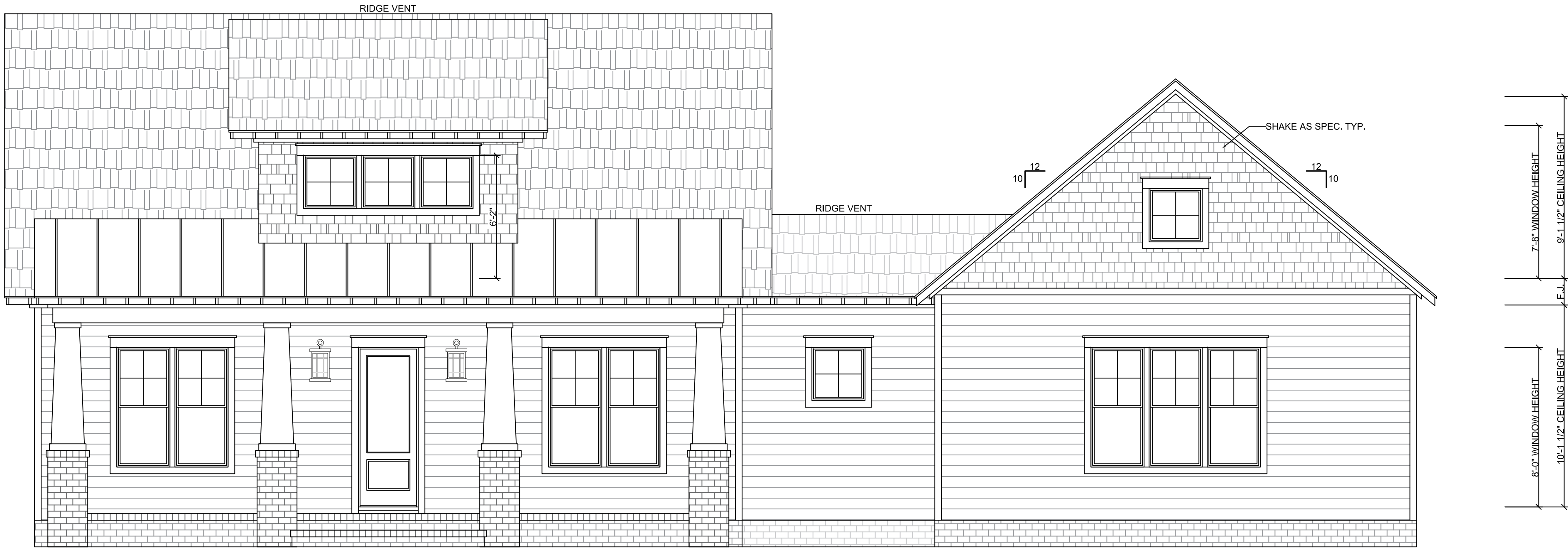
8920 THOMPSON MILL
THE ADDISON CRAFTSMAN

DRAWN BY **CM**
01/07/2025
REVISION DATE

SHEET NO.

1

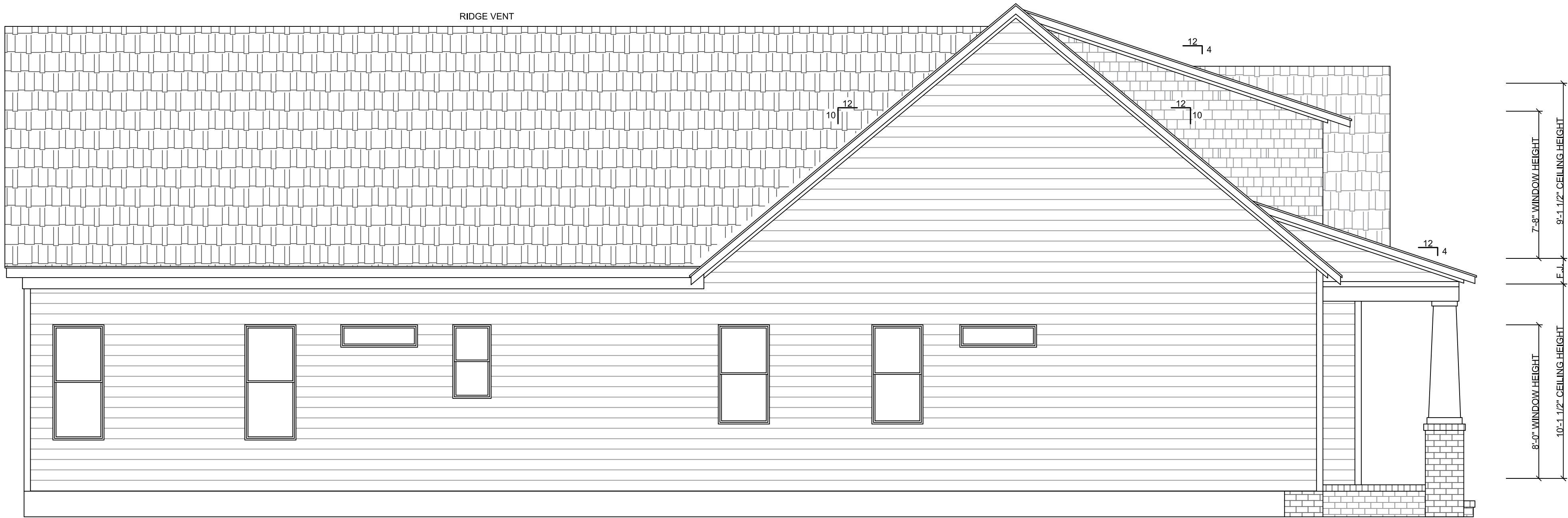
ELEVATIONS



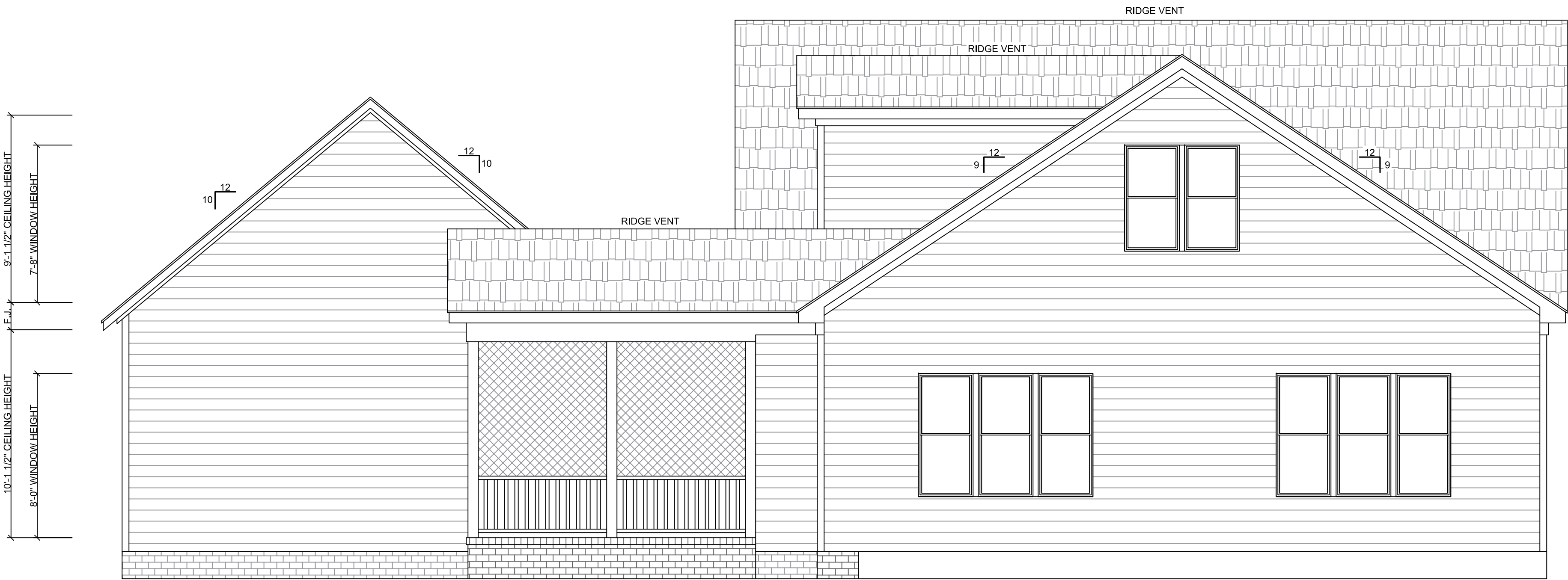
FRONT ELEVATION
SCALE = $\frac{3}{4}$ " = 1'-0"



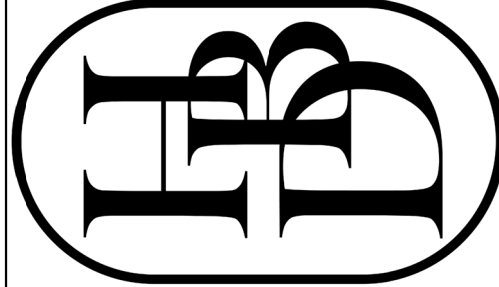
RIGHT ELEVATION
SCALE = $\frac{3}{4}$ " = 1'-0"



LEFT ELEVATION
SCALE = $\frac{3}{4}"$ = 1'-0"



REAR ELEVATION
SCALE = $\frac{3}{4}"$ = 1'-0"



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ELEVATIONS



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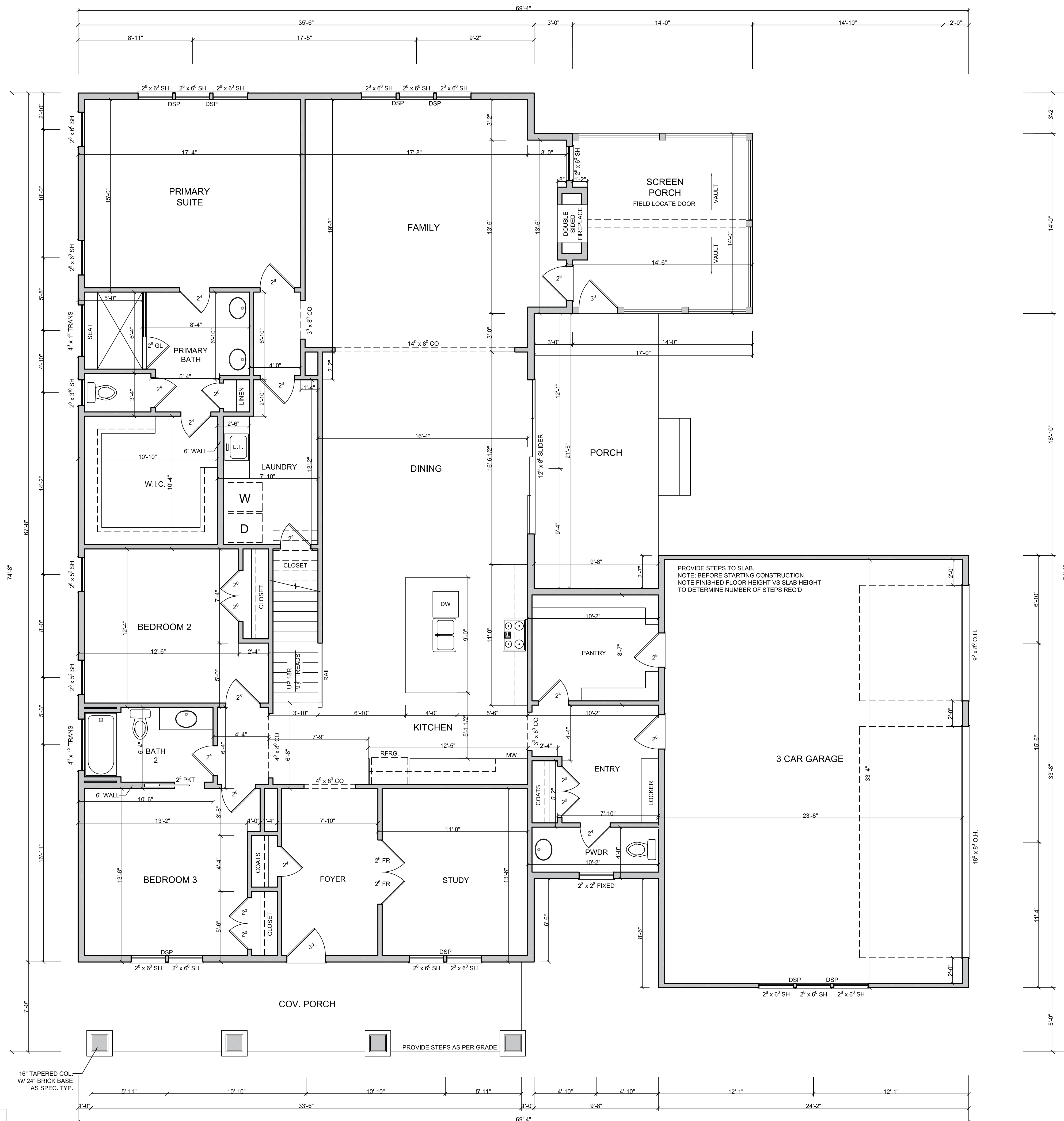
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FLOOR PLAN



AREA CALCULATIONS

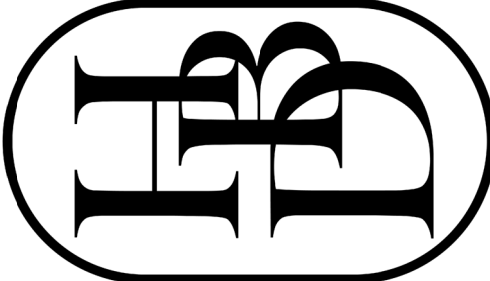
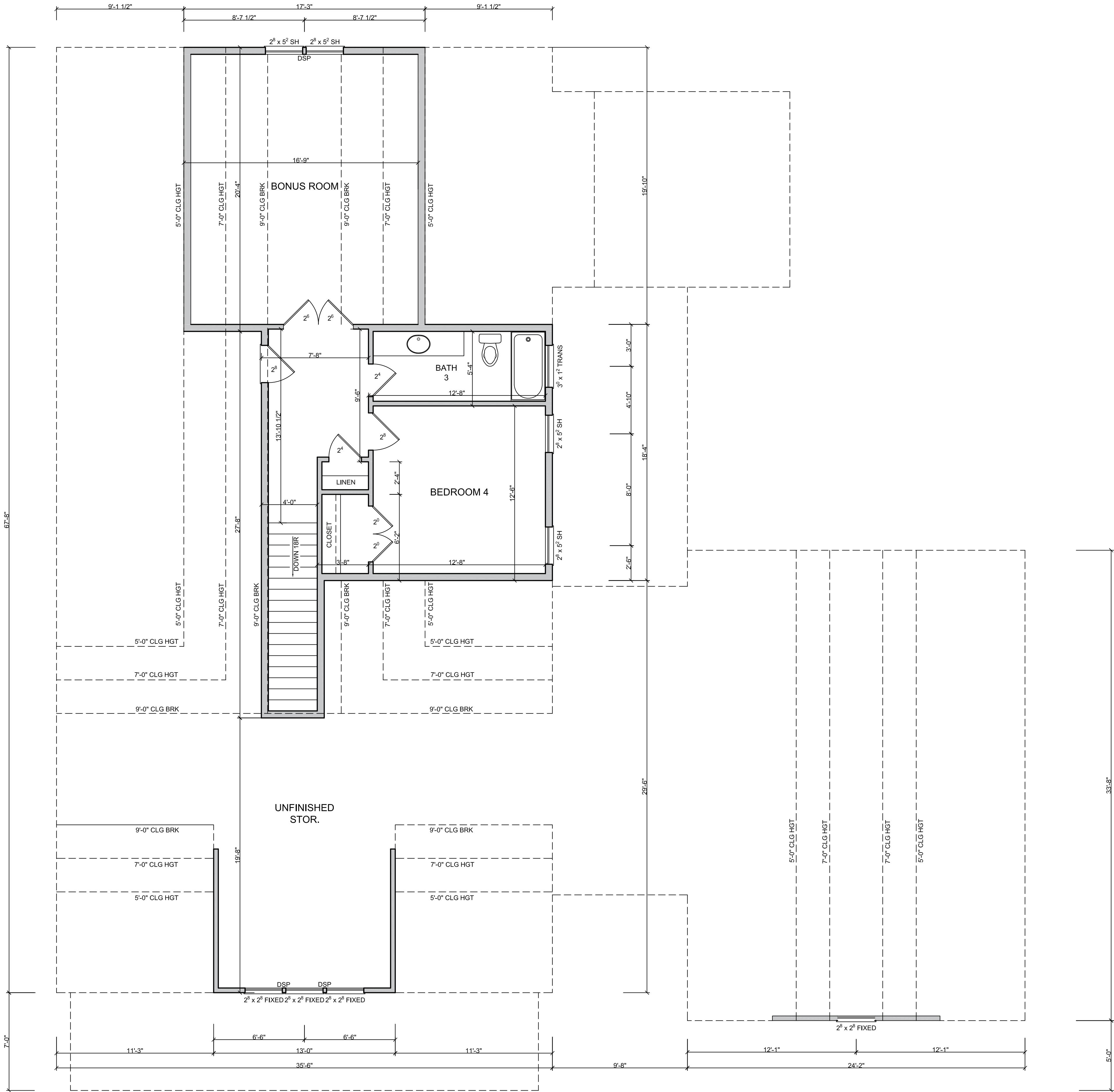
HEATED (SQ.FT.)		UNHEATED (SQ.FT.)	
BASEMENT	N/A	GARAGE	802
1ST FLOOR	2674	PORCH	235
SECOND FLOOR	711	SCREEN	196
		SIDE	207
TOTAL	3385	STOR.	853
		TOTAL	2293

NOTES

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE, NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
- VERIFY ALL WINDOW SIZES, RADIUS AND DETAILS WITH CHOSEN MANUFACTURER.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK ON GARAGE CEILING TO BE $\frac{5}{8}$ " TYPE "X".

FIRST FLOOR PLAN
10'-0" CEILING HGT.
SET WINDOWS @ 8'-0" A.F.F.
SCALE = $\frac{1}{4}" = 1'-0"$

SECOND FLOOR PLAN
9'-0" CEILING HGT.
SET WINDOWS @ 7'-8" A.F.F.
SCALE= 1/4" = 1'-0"



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FLOOR PLAN



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DETAILS

FOUNDATION VENT CALCS.

$$\frac{3943 \text{ SQ. FT}}{150} = 26.2 \text{ SQ.FT. VENT REQ'D}$$

$$\frac{26.2 \text{ SQ.FT.}}{.56} = 47 \text{ VENTS TO BE PROVIDED}$$

NOTE: FIGURE BASED ON SECTION R-409 OF THE 2018 IRC.
NOTE: FND VENT SPECS BASED ON PUSH/PULL POLYPROPYLENE
FND.

VENT THAT ALLOWS 72 SQ.IN. OF NET FREE AREA PER VENT

1. WHERE CONTINUOUS OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 CFM FOR EACH 50 SQ.FT. OF CRAWL SPACE.
2. THE CRAWL SPACE IS SUPPLIED WITH CONDITIONED AIR AND THE PERIMETER WALLS ARE INSULATED IN ACCORDANCE WITH SECTION R409 OF THE 2018 IRC.
3. BUILDER/OWNER TO VERIFY VENT SIZE AND REQUIREMENTS PRIOR TO CONSTRUCTION. SEE SECTION R409 OF THE 2018 IRC.

ROOF VENTILATING REQUIREMENTS - GARAGE / ENTRY

$\frac{993}{150}$ SQ.FT. = 6.6 SQ.FT OF TOTAL ROOF VENTILATION REQ'D

49'-4" (LINEAR FT. OF SOFFIT) X .035 (NET FREE AREA PER FT.) = 1.7 SQ. FT. OF AVAILABLE SOFFIT VENT

$$47'-8" \text{ (LINEAR FT. OF RIDGE VENT)} \times .125 = 6$$

1.7 + 6 = 7.7, WHICH MUST BE $\geq$ 6.6

NOTE: FIGURE BASED ON SECTION R-806 OF THE 2018 IRC.

NOTE: - SOFFIT VENT SPECS BASED ON HARDISOFFIT PANELS THAT ALLOWS 5 SQ. IN. OF NET FREE AREA PER LINEAR FT.

- RIDGE VENT SPEC BASED ON VENTURIVENT PLES THAT ALLOWS 18 SQ. IN. OF NET FREE AREA PER LINEAR FT

TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO 300:

1. PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2018 IRC. FOR PROPER LOCATION.
2. WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING

ROOF VENTILATING REQUIREMENTS - MAIN

$$\frac{2874}{150} \text{ SQ.FT.} = 19.16 \text{ SQ.FT OF TOTAL ROOF VENTILATION REQ'D}$$

161'-0" (LINEAR FT. OF SOFFIT) X .035 (NET FREE AREA PER FT.) = 6.58 SQ. FT.
OF AVAILABLE SOFFIT VENT

$$130\text{-}0'' \text{ (LINEAR FT. OF RIDGE VENT)} \times .125 = 16.25$$

6.58 + 16.25 = 22.83, WHICH MUST BE $\geq$ 16.16

NOTE: FIGURE BASED ON SECTION R-806 OF THE 2018 IRC.

NOTE: - SOFFIT VENT SPECS BASED ON HARDISOFFIT PANELS THAT ALLOWS 5 SQ. IN. OF NET FREE AREA PER LINEAR FT.

- RIDGE VENT SPEC BASED ON VENTURIVENT PLES THAT ALLOWS 18 SQ. IN. OF NET FREE AREA PER LINEAR FT

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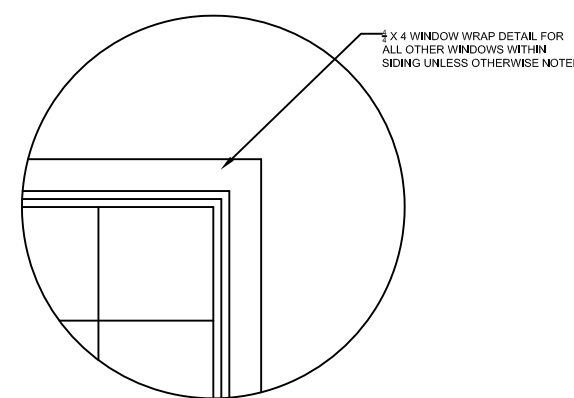
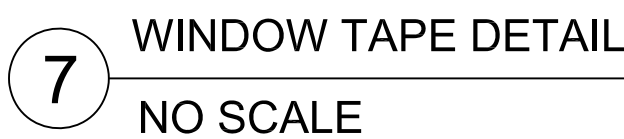
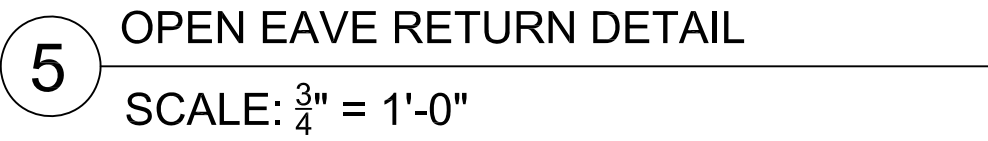
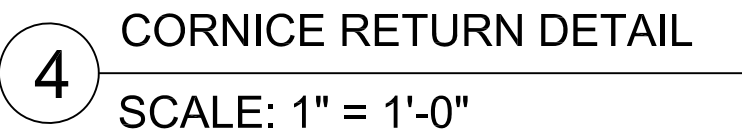
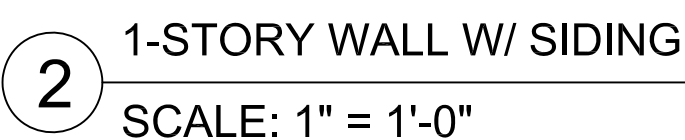
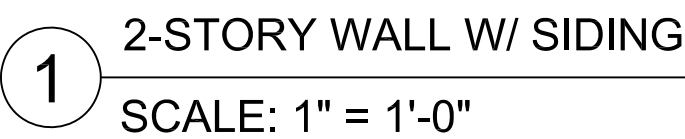
1. PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2018 IRC. FOR PROPER LOCATION.
2. WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING

MEAN ROOF	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE
HOUSE DESIGNED FOR 145 MPH 3 SECOND GUST, EXPOSURE B
ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATES
SPICES
ANCHOR BOLTS SHALL BE MIN. $\frac{3}{4}$ " DIAMETER & SHALL EXTEND A MINIMUM 7" INTO
MASONRY OR CONCRETE

MEAN ROOF HEIGHT = <30'-0"

COMPONENT& CLADDING DESIGNED FOR THE FOLLOWING LOADS



8" X 4" WINDOW WRAP DETAIL FOR
ALL OTHER WINDOWS WITHIN
Siding UNLESS OTHERWISE NOTE