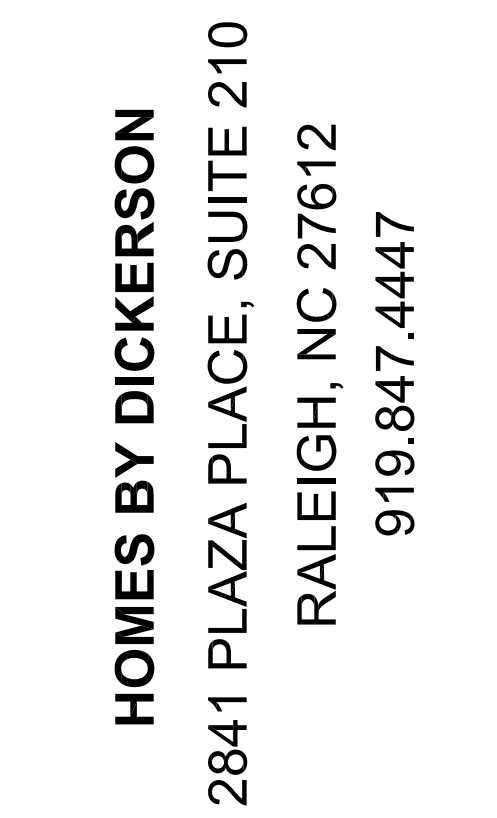
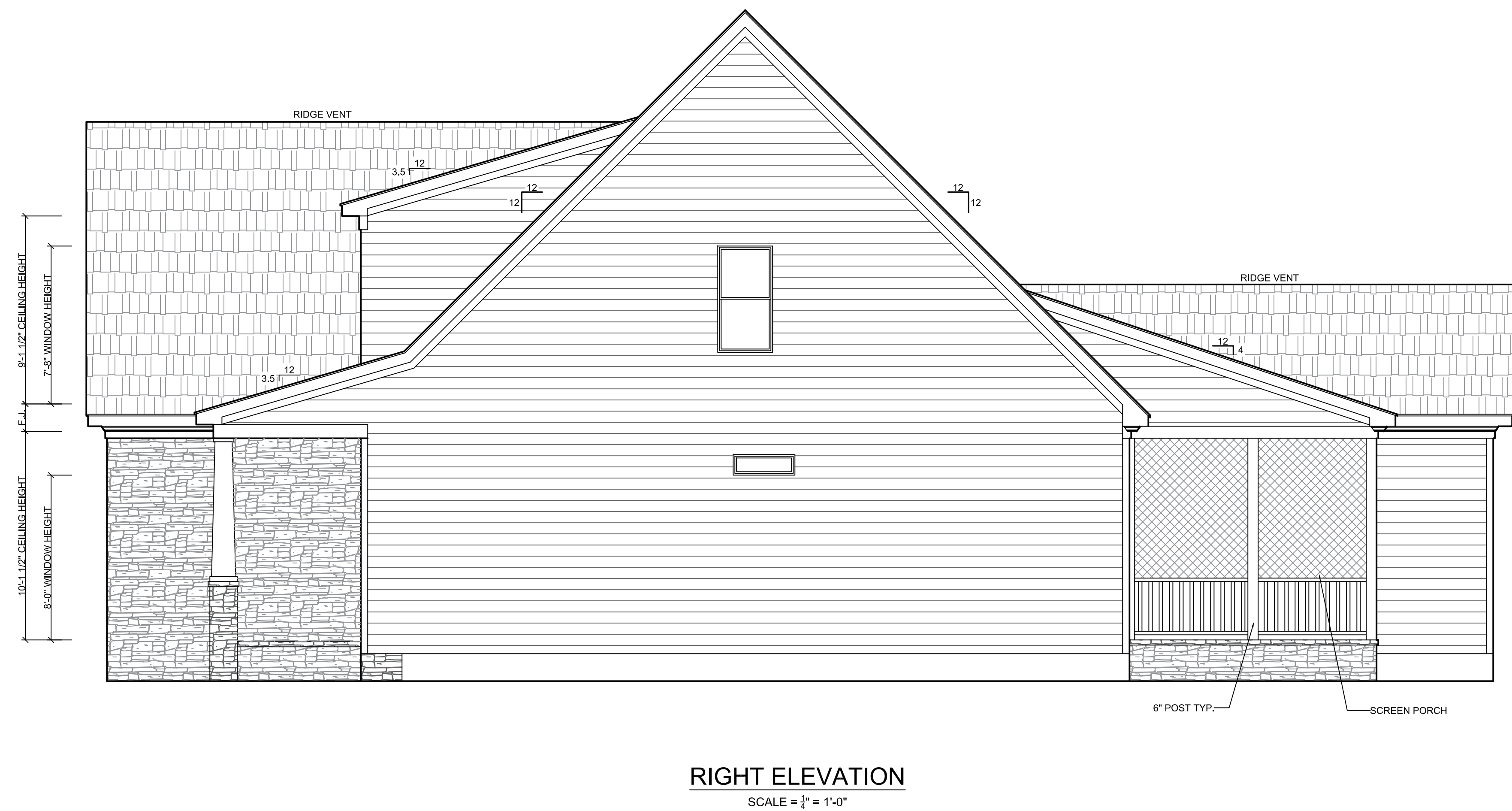
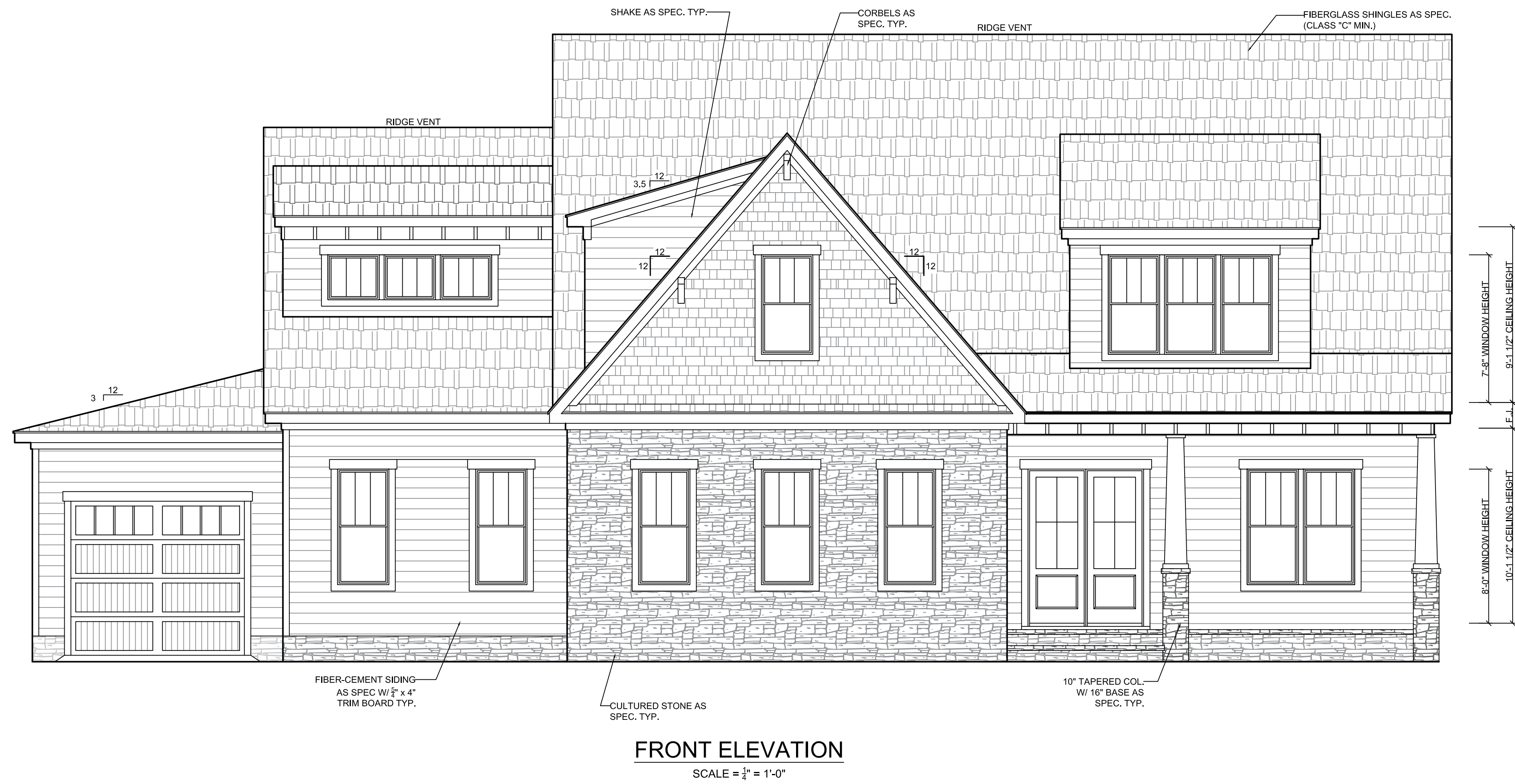
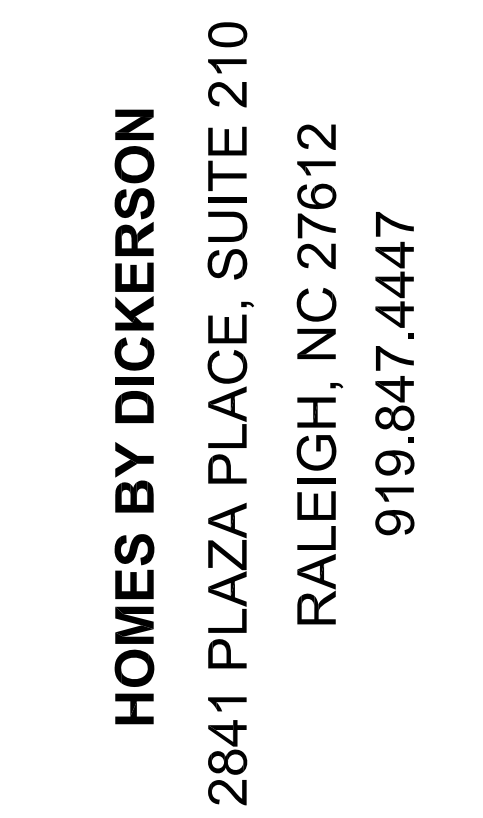




8916 THOMPSON MILL
THE BRASSFIELD CRAFTSMAN

SHEET NO. _____



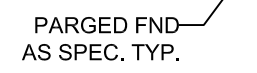


8916 THOMPSON MILL
THE BRASSFIELD CRAFTSMAN

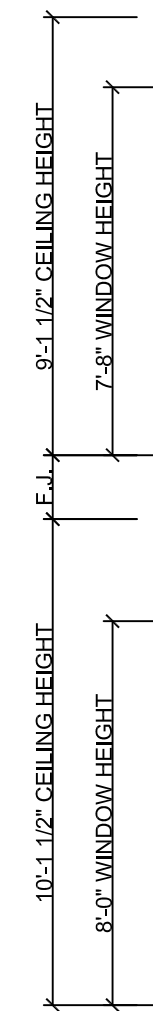
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2

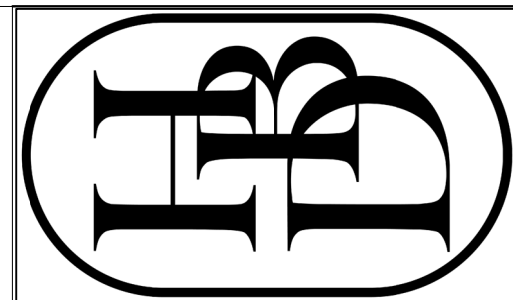
ELEVATIONS



SCALE = $\frac{1}{4}" = 1'-0"$



SCALE = $\frac{1}{4}" = 1'-0"$



HOMES BY DICKERSON
2841 PLAZA PLACE, SUITE 210
RALEIGH, NC 27612
919.847.4447

INSPIRED BY
BLANTON'S TRACE
BY
FRANK BETZ

8916 THOMPSON MILL
THE BRASSFIELD CRAFTSMAN

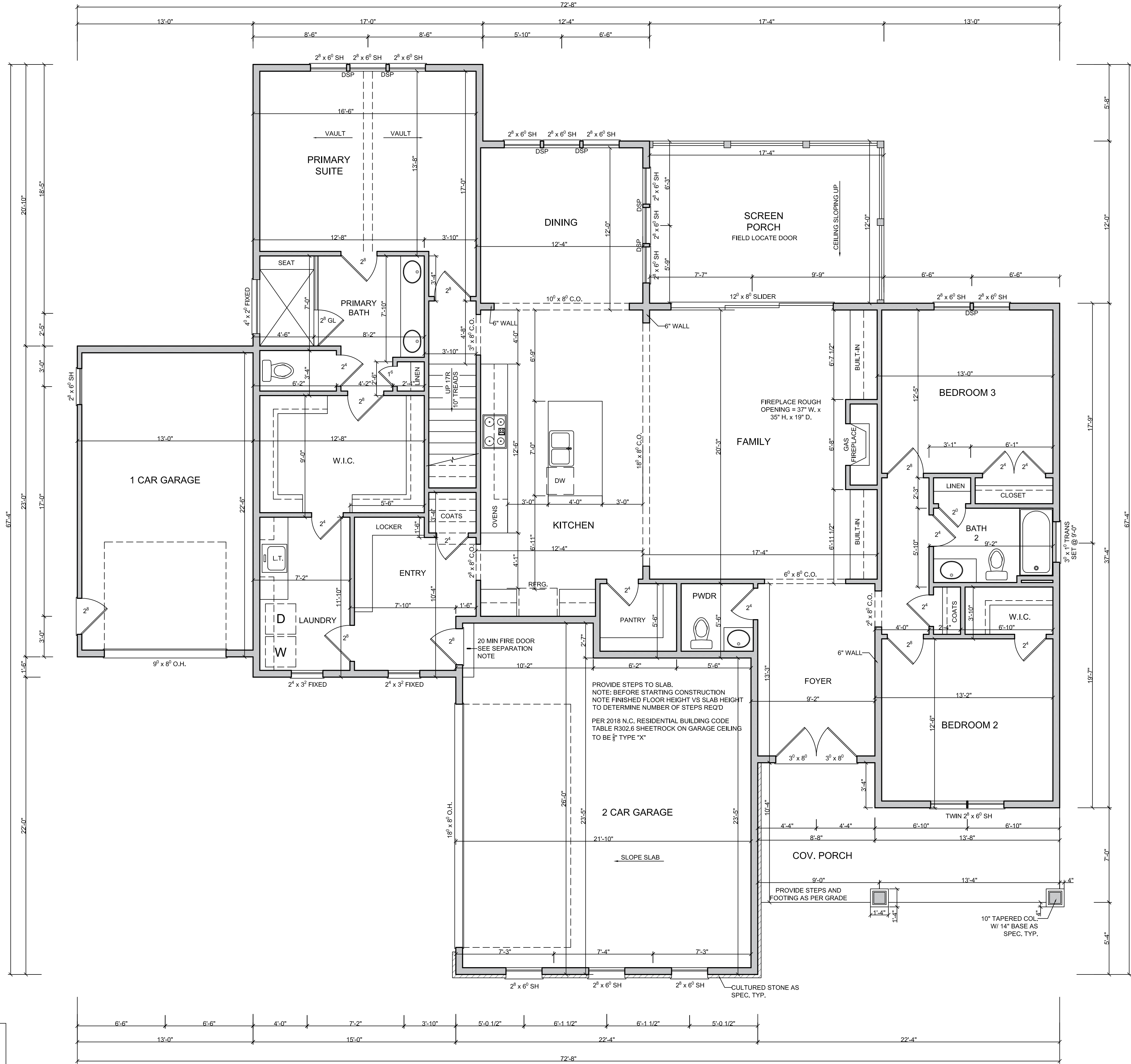
DRAWN BY **CM**
01/02/2025
REVISION DATE

SHEET NO.

3

FLOOR PLAN

FIRST FLOOR PLAN
10'-0" CEILING HGT.
SET WINDOWS @ 8'-6" A.F.F.
SCALE= 1/4" = 1'-0"



NOTES

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE, NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
- VERIFY ALL WINDOW SIZES, RADIUS AND DETAILS WITH CHOSEN MANUFACTURER.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK ON GARAGE CEILING TO BE 5/8" TYPE "X".

AREA CALCULATIONS

HEATED (SQ.FT.)

BASEMENT

1ST FLOOR

SECOND FLOOR

TOTAL

UNHEATED (SQ.FT.)

GARAGES

PORCH

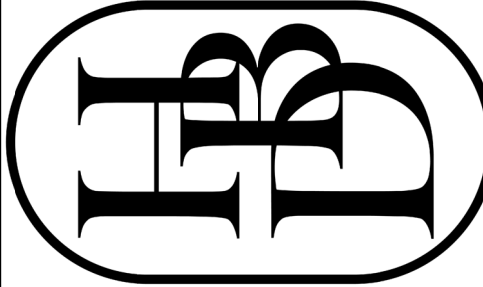
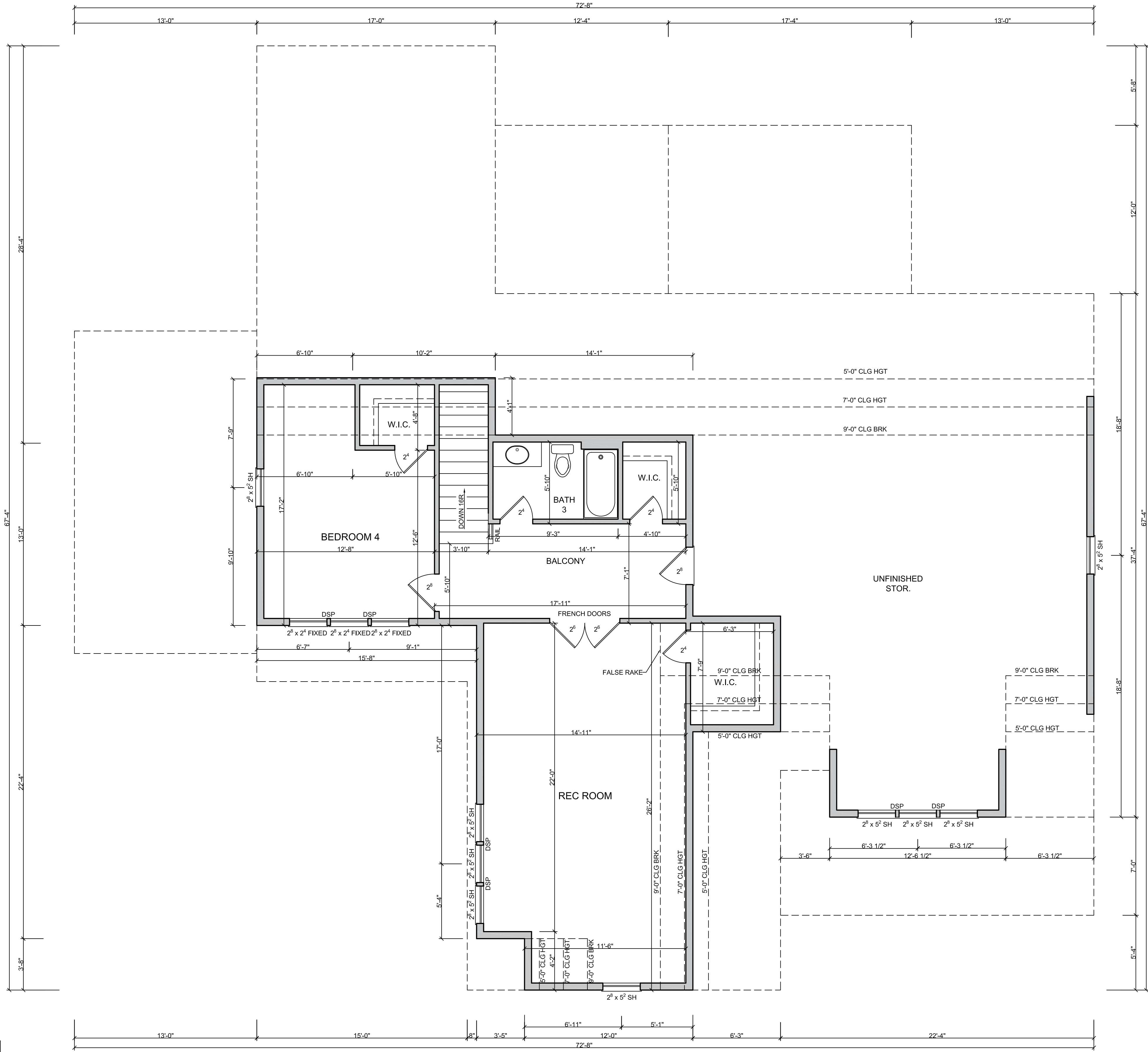
SCREEN

STOR.

TOTAL

N/A
2234
891
3125
855
185
208
800
2048

SECOND FLOOR PLAN
9'-0" CEILING HGT.
SET WINDOWS @ 7'-8" A.F.F.
SCALE=1/4" = 1'-0"



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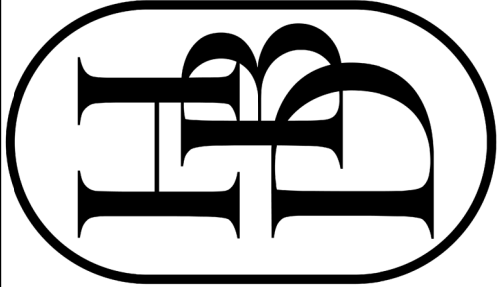
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THE BRASSFIELD CRAFTSMAN

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FLOOR PLAN



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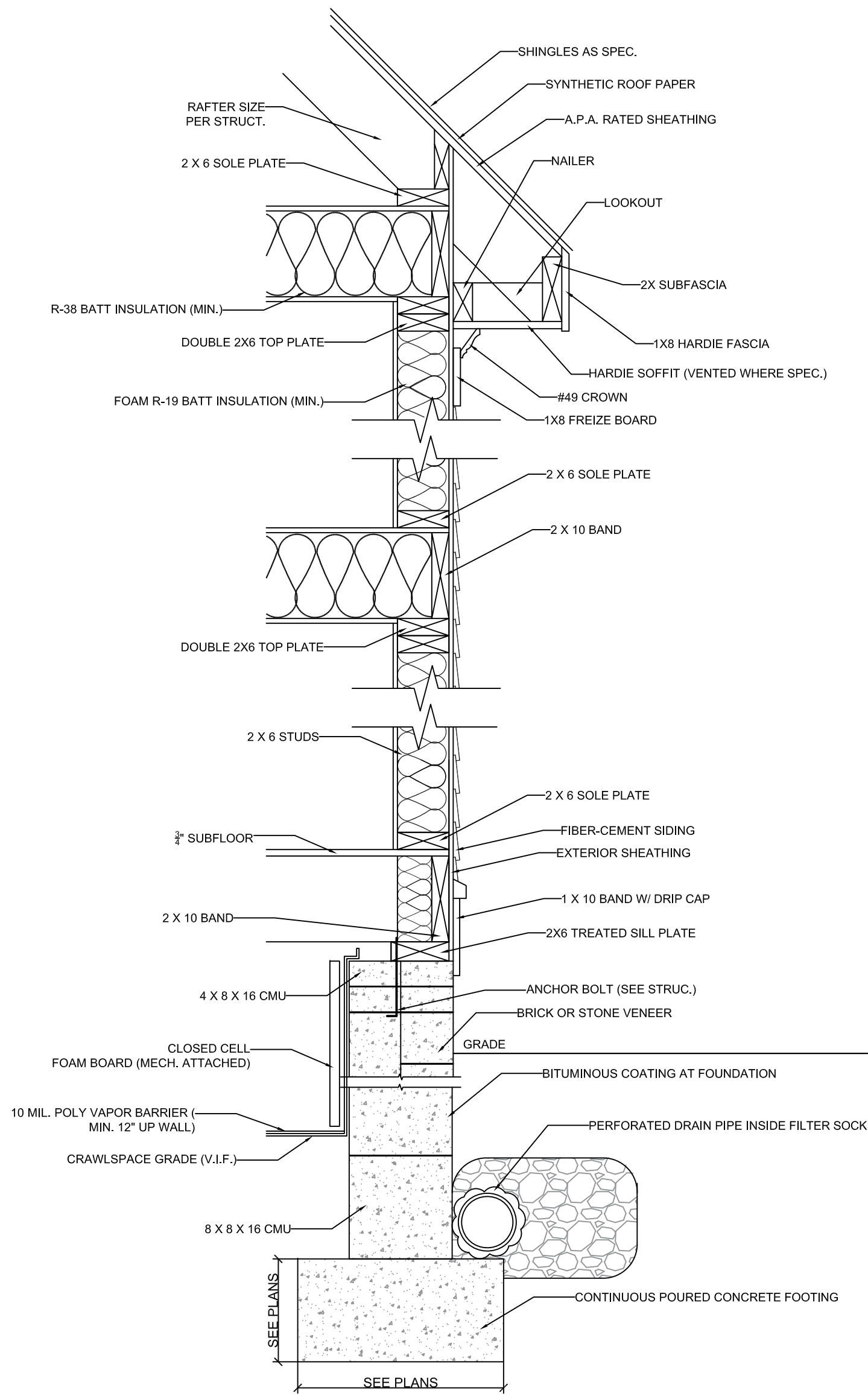
8916 THOMPSON MILL
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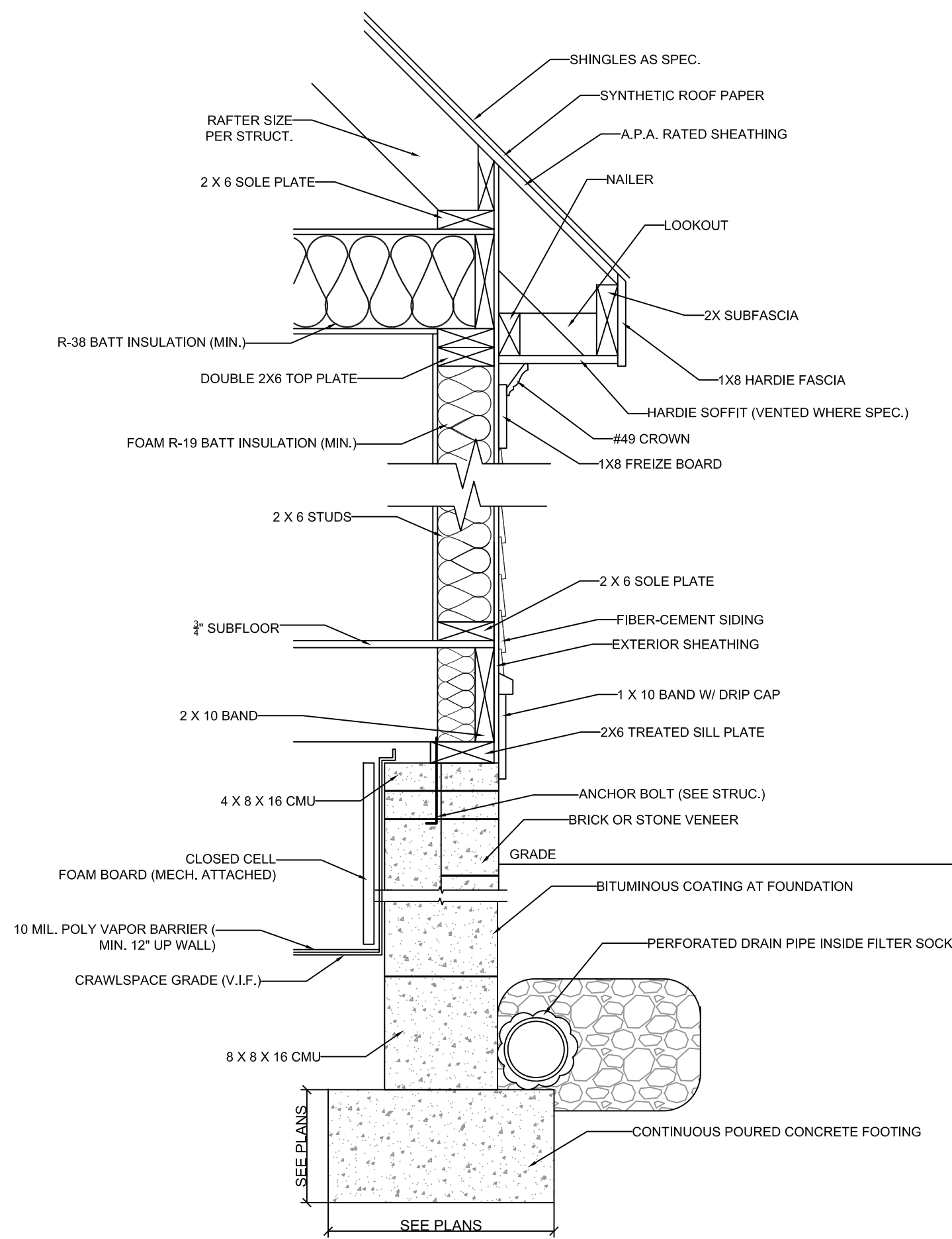
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5

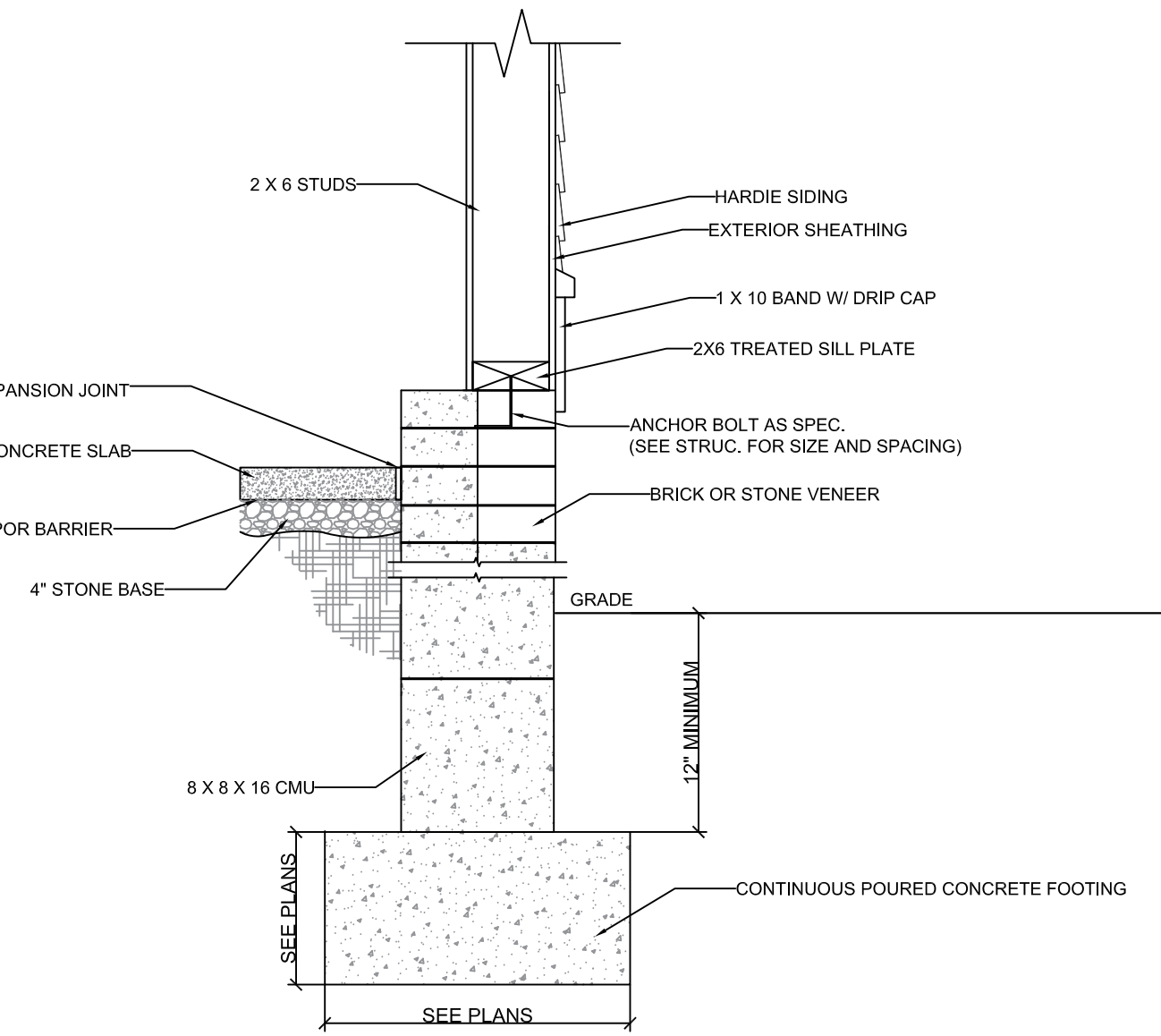
DETAILS



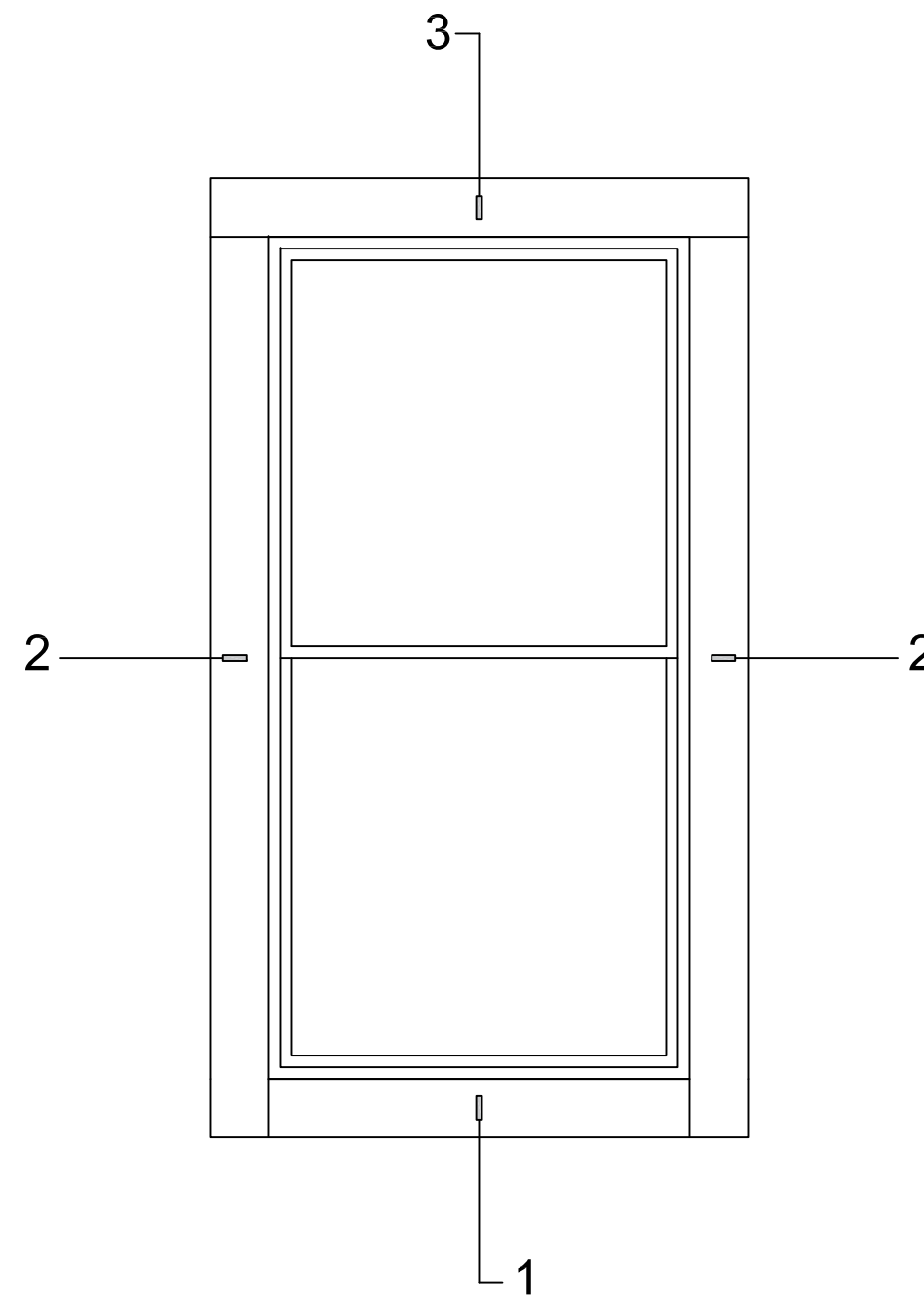
1 2-STORY WALL W/ SIDING
SCALE: 1" = 1'-0"



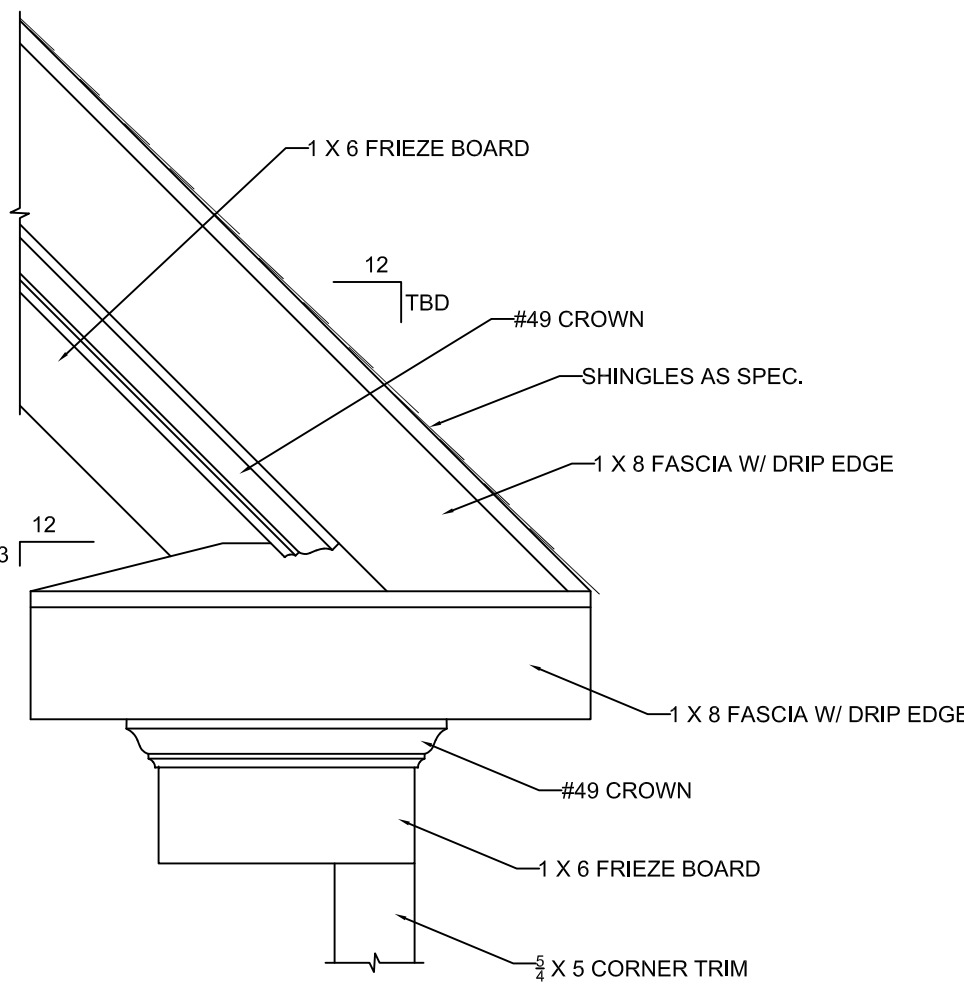
2 1-STORY WALL W/ SIDING
SCALE: 1" = 1'-0"



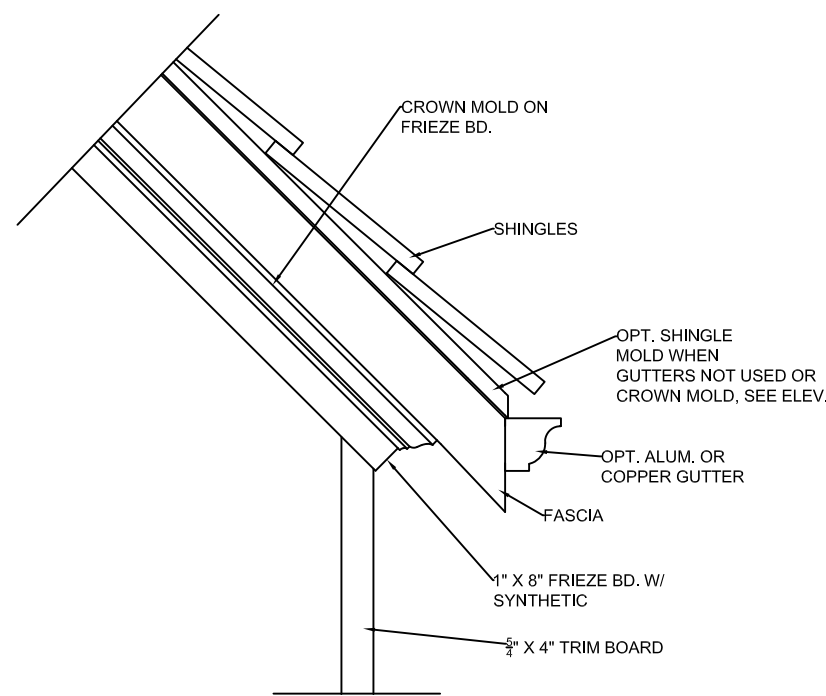
3 GARAGE WALL W/ SIDING
DESIGNED FOR 115MPH WINDS



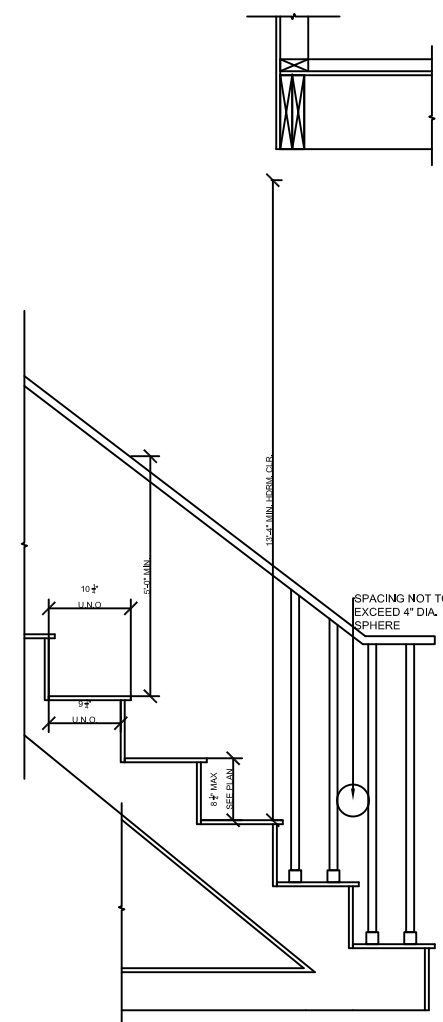
7 WINDOW TAPE DETAIL
NO SCALE



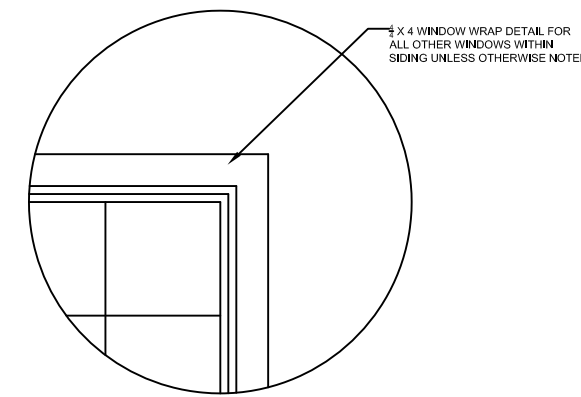
4 CORNICE RETURN DETAIL
SCALE: 1" = 1'-0"



5 OPEN EAVE RETURN DETAIL
SCALE: 3/4" = 1'-0"



6 TYP. STAIR DETAIL @ 3/4" = 1'-0"



FOUNDATION VENT CALCS.

$$\frac{3270 \text{ SQ. FT.}}{150} = 21.8 \text{ SQ. FT. VENT REQ'D.}$$
$$\frac{21.8 \text{ SQ. FT.}}{.56} = 39 \text{ VENTS TO BE PROVIDED}$$

NOTE: FIGURE BASED ON SECTION R-409 OF THE 2018 IRC.
NOTE: FND VENT SPECS BASED ON PUSH/PULL POLYPROPYLENE FND.
VENT THAT ALLOWS 72 SQ.IN. OF NET FREE AREA PER VENT

- WHERE CONTINUOUS OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 CFM FOR EACH 50 SQ.FT. OF CRAWL SPACE.
- THE CRAWL SPACE IS SUPPLIED WITH CONDITIONED AIR AND THE PERIMETER WALLS ARE INSULATED IN ACCORDANCE WITH SECTION R409 OF THE 2018 IRC.
- BUILDER/OWNER TO VERIFY VENT SIZE AND REQUIREMENTS PRIOR TO CONSTRUCTION. SEE SECTION R409 OF THE 2018 IRC.

ROOF VENTILATING REQUIREMENTS

$$\frac{3171 \text{ SQ.FT.}}{150} \approx 21.4 \text{ SQ.FT OF TOTAL ROOF VENTILATION REQ'D}$$

226'-8" (LINEAR FT. OF SOFFIT) X .035 (NET FREE AREA PER FT.) = 7.9 SQ. FT. OF AVAILABLE SOFFIT VENT

$$112'-6" (\text{LINEAR FT. OF RIDGE VENT}) \times .125 = 14$$

$$7.9 + 14 = 22, \text{ WHICH MUST BE } > \text{ OR } = 21.4$$

NOTE: FIGURE BASED ON SECTION R-806 OF THE 2018 IRC.
NOTE: - SOFFIT VENT SPECS BASED ON HARDISOFFIT PANELS THAT ALLOWS 5 SQ. IN. OF NET FREE AREA PER LINEAR FT.
- RIDGE VENT SPEC BASED ON VENTURIVENT PLES THAT ALLOWS 18 SQ. IN. OF NET FREE AREA PER LINEAR FT

TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO 300:

- PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2018 IRC. FOR PROPER LOCATION
- WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING

MEAN ROOF	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE
HOUSE DESIGNED FOR 115 MPH 3 SECOND GUST, EXPOSURE B
ANCHOR BOLTS TO BE NO MORE THAN 6" O.C. AND WITHIN 12" OF ALL PLATES
SPICES
ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO
MASONRY OR CONCRETE

MEAN ROOF HEIGHT = <30'-0"

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS