

CONVERSION FILE

APPROVED

Lake Royale

LAKE ROYALE BUILDING PERMIT

This Permit Must Be Conspicuously Posted on Your
Property Site During Construction

Know by all these present that Stephen Cain
who owns lot# 1804/050 has been issued a permit to construct a
Room Addition 11 x 15
at street address 104 Catouse.

The Building Committee has reviewed the plans and said plans are in compliance with
applicable Rules & Regulations and Restrictive Covenants for lots at Lake Royale.

Builder Name _____ Phone # _____

Issued this 25th day of August, 2007 at Lake Royale,
Bunn North Carolina.

All permits expire six (6) months from their issue date.

Contact the POA office for final inspection upon project completion.

LAKE ROYALE PROPERTY OWNERS ASSOC.

By: W. J. Edwards

Permit # C-08287906

Fee \$ 75.00

Date 18 Aug 2007 Lot# C1804/180 Owner's Name STEPHEN A. CRAN

Lake Royale Street Address 104 Catonsville Phone NA

Home Address 2806 Cellingwood Street Phone 910-497-0680
cell 910 229 1335

- Note: 1) All applicable permits must be obtained by the Property Owner.
2) Complete in full all forms you will be submitting to Building Committee (BC)
3) If any forms in your application packet are not completed a BC permit cannot be issued.

OBTAIN THE FOLLOWING

☐ **Driveway permit** (if applicable)

Usually for builders & contractors building a new home, but can apply to property owners.
Needed before any clearing or mechanical activity takes place on the lot.
If required, obtain at the POA office for a \$75 fee.

☐ **Soil & Erosion permit** (if applicable)

Needed before any clearing or mechanical activity takes place on the lot.
If required, obtain at POA office (no charge)

☐ **Franklin County Health Permit** (if applicable)

For those installing a septic tank
Application form is available at the Planning & Dev. Dept, 215 E Nash St., Louisburg.
(919) 496-2909

☐ **Corp. of Engineer & Division of Water Quality – for Waterfront & Water Shed (River, Stream, Creek, Wetlands, etc...) property only** (if applicable)

PROTECT YOURSELF also pick up NC Riparian Buffer Protection Rules at the POA office.

Permit needed before any earth disturbing activity takes place.

For all bulkheads, boat slips, boat ramps, ways & rip rap material structures (docks not Included)

Forms are available at: Raleigh Regulatory Field Office
and US Army Corp. of Engineers

Additional Information 6508 Falls of Neuse Rd. Suite 120
Raleigh, NC 27615
Phone (919) 876-8441
Internet: www.saw.usace.army.mil

Division of Water Quality

1628 Mail Service Center

Raleigh, NC 27699-1628

Phone (919) 791-4200 (Mike Horan)

Internet: <http://h2o.enr.state.nc.us>

**Packet must be turned into the POA Office six days before the BC meeting.
Meetings are the second & fourth Tuesdays of each month**

NEW Submission for Room Addition Stick Build

C
A
M
P
I
N
G
B
C
P
A
C
K
E
T

Date 18 Aug 2007 Lot# C1804/1805 Owner's Name Stephen A. Crain

1) See **FORM A 'CHECKLIST FOR APPLICANTS'**

☐ Check that all applicable requirements are done.

2) **Plot Plan** - See Form CP 'CAMPING PLOT PLAN CHECKLIST' for details. (Page 3)

- 3) **Project** ☐ Carport ☐ Deck ☐ Fence ☐ Gazebo ☐ Porch ☐ Storage Shed
☐ Septic tank & leach fields ☐ Other _____

4) **Structure** (elevation) or **blueprints** drawings.

You **must** submit drawings of the proposed structure showing the following:

- a) Top view or floor plan (including all decks, porches, bumpouts, etc.)
 b) Elevation drawings (shows front, side & rear views of structure).
 c) Drawings may be hand drawn (See sample page 3)

5) **Misc:**

- ☐ Street# must be posted and visible from the road (this is street#, not lot#).
☐ Permits must be visible from road
☐ Port-A- John to be positioned **off the road** and within the property pins of each job site (if applicable)
☐ Silt fence - must be installed **30' from shoreline** on waterfront lots, and on other lots where needed
☐ Burning permit - for all fires (other than outdoor grills). Can obtain 1 day **free** permit at Gate entrance.

Please fill in the following: (WHERE APPLICABLE)

CAMPER TYPE: ☐ Camper ☐ Camper with Expander ☐ Other _____

CAMPER SIZE: Length _____ (without tongue & bumper) Width _____ Sq Ft _____ (Max 400 sq ft)

PROJECT: Square foot _____ ☐ Building on-site ☐ Pre-built

FOUNDATION: ☐ crawl (max height _____) ☐ Slab ☐ Pier ☐ Other _____

CARPORT or GARAGE: _____ x _____ (max 24' x 30')

Will electricity be installed? ☐ NO ☐ Yes (If yes, must get Franklin County permit)

DECK SIZE: ☐ Front _____ x _____ ☐ Rear _____ x _____ ☐ Side _____ x _____ Step Location _____

FENCE: ☐ Height _____ ☐ Chain Link ☐ Privacy ☐ Other _____

PORCH: ☐ Front ☐ Right side ☐ Left side ☐ Rear ☐ Gazebo style

Open Screened Glassed Step location

Sizes: _____ x _____ x _____ x _____

STORAGE SHED: Size _____ x _____ Sq.Ft. _____ (max 144) Height _____

Roof Pitch: _____ (4/12 minimum and 7/12 maximum)

Will electricity be installed? ☐ NO ☐ Yes (If yes, must get Franklin County permit)

OTHER: Room Addition ☒ Attached ☐ Detached Exterior Material(s): _____
Cstick Build Size 11'6" x 15'4" Height: 8 Roof Pitch: 4/12

OTHER: _____ ☐ Attached ☐ Detached Exterior Material(s): _____
 Size _____ x _____ Height: _____ Roof Pitch: _____

OTHER: _____ ☐ Attached ☐ Detached Exterior Material(s): _____
 Size _____ x _____ Height: _____ Roof Pitch: _____

Form CA (Con't) CAMPING CHECKLIST for NEW ADDITIONS or RENOVATIONS

Date _____ Lot# _____ Owner's Name _____

- NOTE:**
- 1) A Corp of Engineers permit must be obtained for all the following except the boat dock. A DWQ Permit or Approval must be obtained for all 'Riparian Buffer' disturbances.
 - 2) **PROTECT YOURSELF** from a \$25,000 fine. Get a copy of the NC 'Riparian Buffer Protection Rules' from the POA office or Website before you start your project.

SHORELINE: (if applicable) ☐ New ☐ Addition/ Renovation

- 1) Bulkhead: Length _____ Projection from shore _____ (max 2') ☐ Wood ☐ Rip Rap ☐ Concrete
- 2) Boat Dock: x Projection from shore _____ (max 10')
- 3) Boat Ramp: x
- 4) Boat Slip: x Projection from shore (if any) _____ (max 10')
- 5) Boat Shelter: x Must be over water. Only one story.
 - 1) ☐ Parallel to shore ☐ Vertical to shore Projection from shore _____ (max 10')
 - 2) Roof: ☐ Flat (to be used as deck? Yes _____ No _____). If used as deck, must have picket railings.
Pitch of roof _____ / _____

OTHER: _____

Utility Access POA Disclaimer:

While permission may be granted for a building permit to go forward with construction, the POA is NOT liable if the water lines or utility lines are held up by the local, county or state departments due to water pipe or utility line maintenance, which is not a POA responsibility.

I hereby certify that I have read the covenants and bylaws applicable to Lake Royale and The Rivers.

I hereby certify that to the best of my knowledge that the said property referenced herein is in compliance with all applicable Covenants and Bylaws as of the date of this application.

I further certify that I am the legal property owner of said property referenced herein as of the date of this application.

By signing this document, I acknowledge that I must ensure that the installation and/or construction of the structure described within this application for permit, shall be performed in accordance with ;

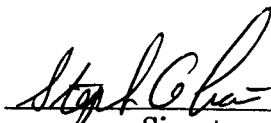
- The description provided within this application,
- Current Lake Royale Covenants and Bylaws as of the date of this application,
- and all applicable county and state requirements.

By signing this document, I accept all responsibility for any damage occurring due construction.

By signing this document, I further acknowledge that the Lake Royale Building Committee or its designee shall have the right to verify and/or investigate compliance with the provisions contained within this application and in conjunction with Lake Royale Covenants, Bylaws, Rules and Regulations as of this date. The undersigned grants permission to the Lake Royale POA and its agents to come onto the lot described in this application for purposes of inspecting the premises in connection with this application or for inspecting compliance with any approvals or conditions issued in connection with this application.

I certify that, to the best of my knowledge, the information given is accurate & complete.

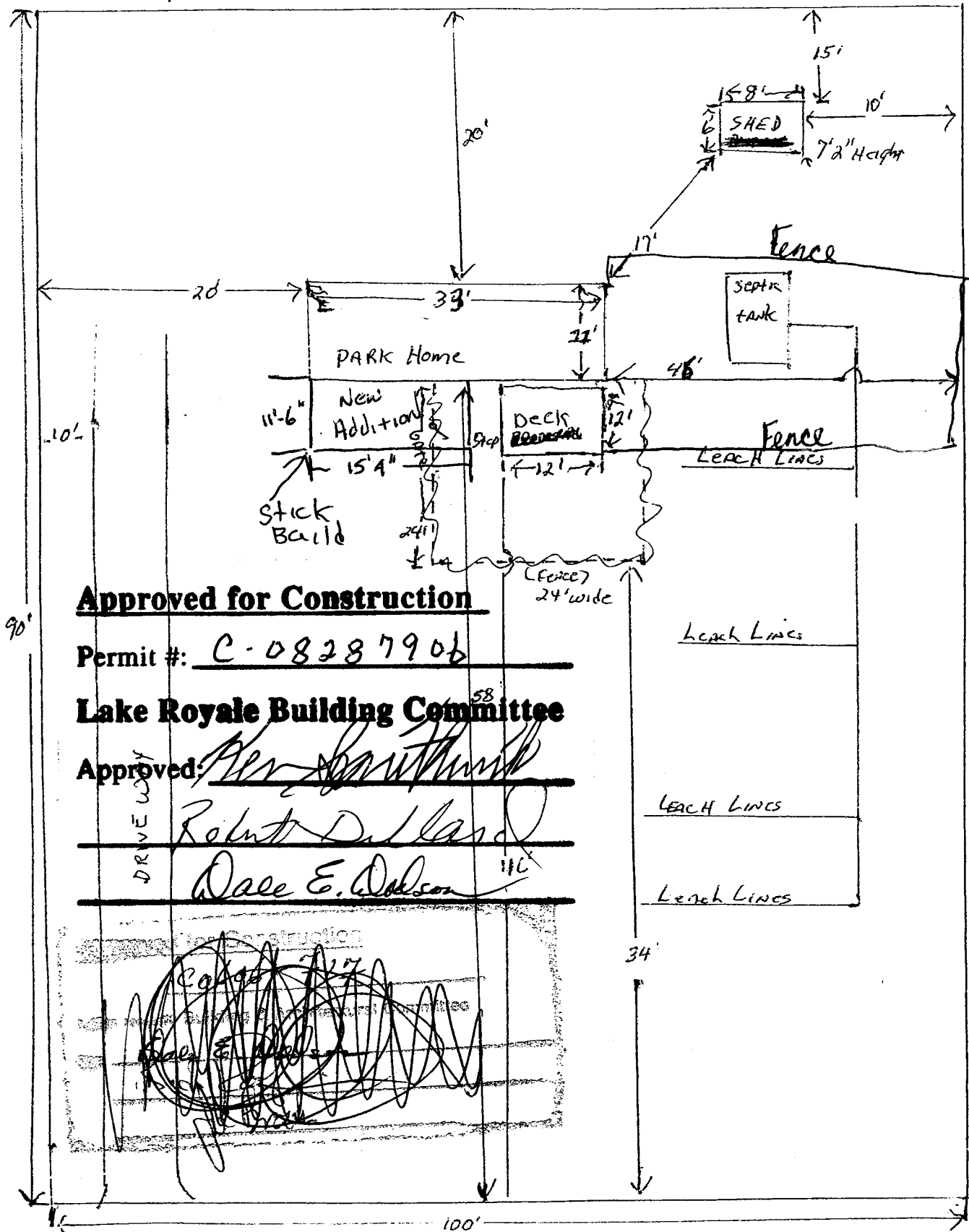
I also certify that I have read and understand the above disclaimer.


Signature

18 August 2007
Date

LOT

LOT C1804/C1805



Approved for Construction

Permit #: C-08287906

Lake Royale Building Committee

Approved:

Robert Dallas
Dale E. Olson

DRIVE WAY

SHED 100"X72"X85.5"
Deck 12'X12'X3'

CATOOSE

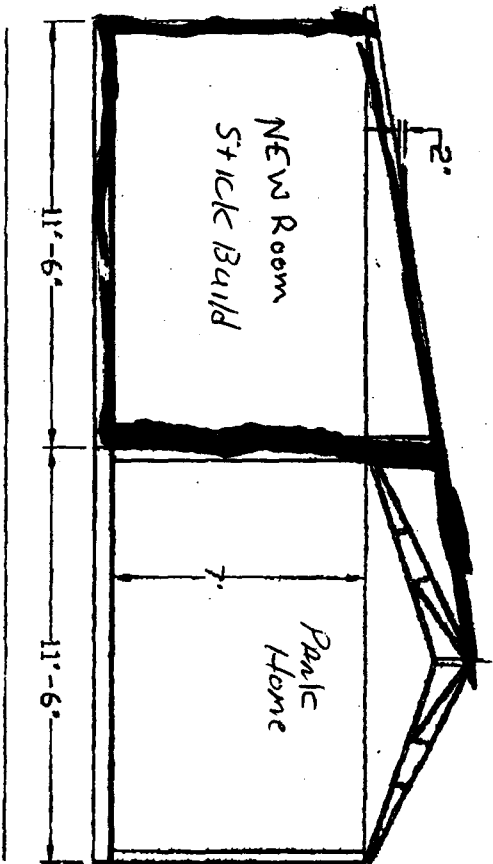
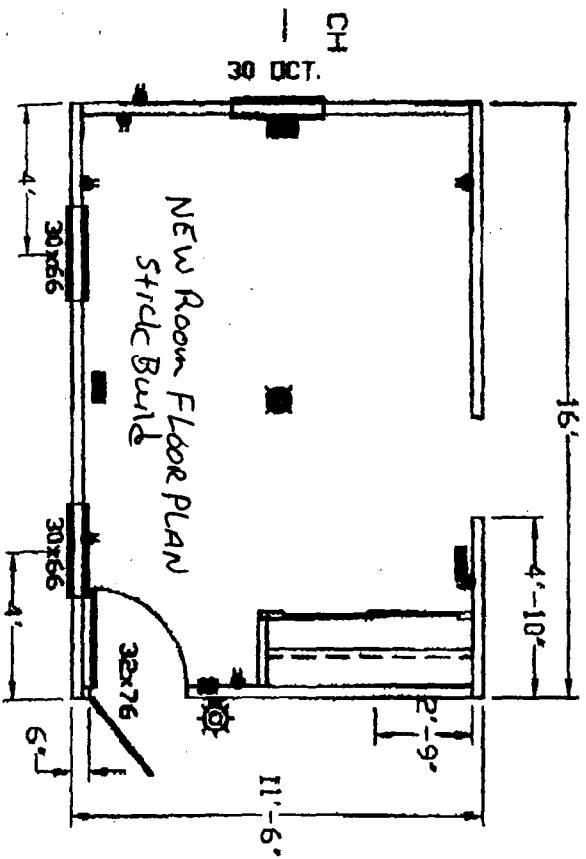
note: Lots being combined ON 2 June

Approved for Construction

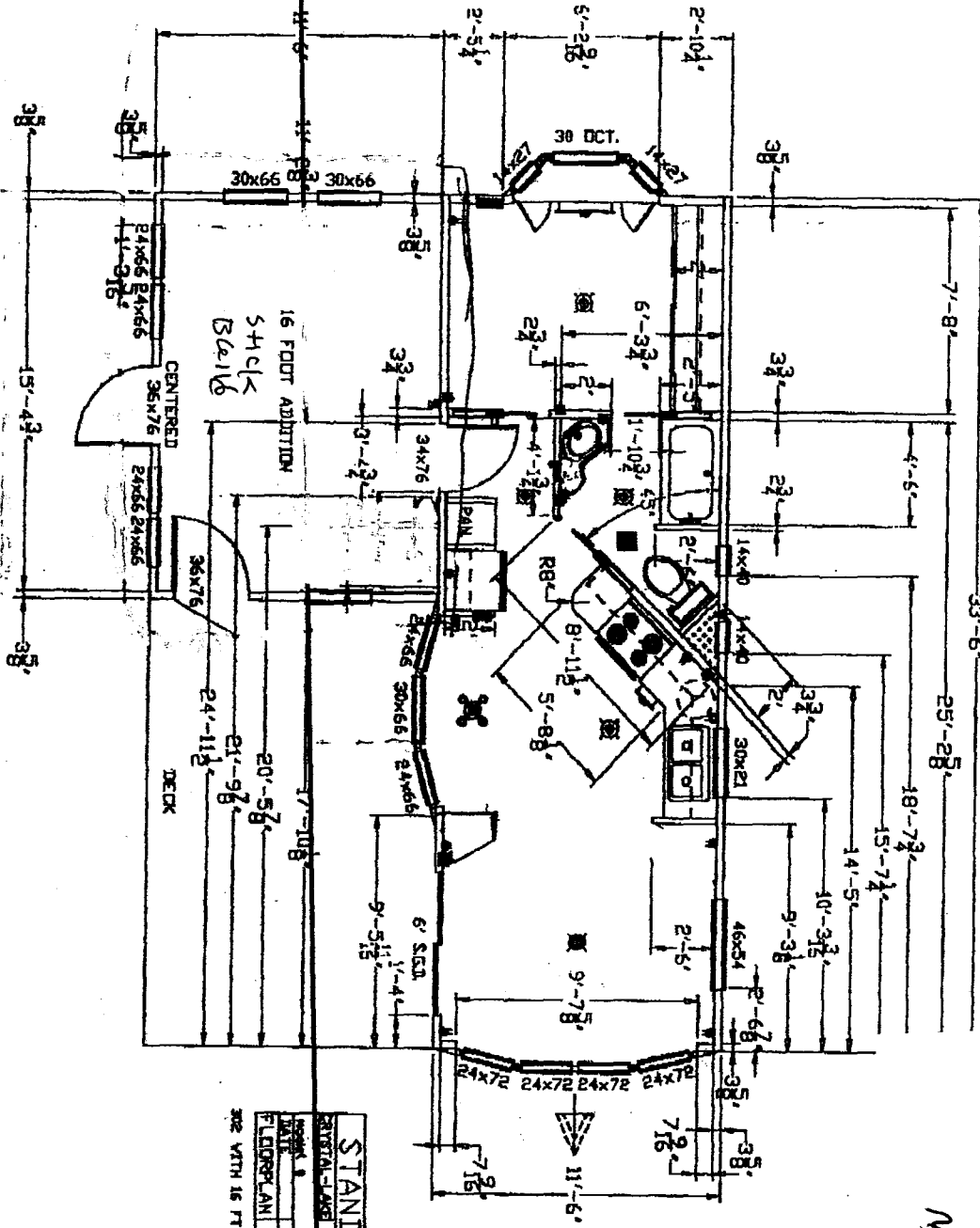
Permit No. _____

Lake Royale Building Committee

Approved: _____



1. NEW Room will be new new Addition and will be stick build
2. New Room Extension will have Blend in with Pole Home with Siding + Trim.
3. Room will have 4/12 Pitch Shingle Roof, same type as Pole Home
4. The Room will be trimmed at Bottom with same type covering.



STANDARD	
DATE	302
BY	FLORIAN FAS
202 WITH 16 FT ADD ON	

NOTE: Room Addition will be Stick Build
Permits, County obtained when POA Approved

STEPHEN CRAIN

Lot C1804, C805

Deed together

Pitch 4/12

4970680-Home

cell 910-229-1335

Date: 8-22-07 Lot #: 1804/1805C Owners Name: Stephen Crain

Lake Royale Physical Address: 104 Catoose Phone #: _____

Home Address: _____ Phone #: _____

Please Check all that Apply:

Circle Respective County:

☒ Camping Lot ☐ Residential Lot ☐ New Home Construction Franklin / Nash Co

☒ Check that applicant has paid in full all POA dues (on all properties and all fees) ☐ Waterfront P

☒ Check that there are no outstanding non-compliance issues (on all properties) ☐ Property on I

☒ Check that copy of deed to lot is on file at POA office/file

☐ Certification of Liability Insurance, All builders/contractors must have current copy on file at POA

☒ Initials of person(s) who created applicant's folder for BC BC

Project Outline: Room Addition Permit / Compliance

Active Permits on File/Attached:

☐ Driveway Permit

☐ DWQ

☐ County Building Pe

☐ Soil Erosion Permit

☐ USACE

☐ County Health Dept

Forms Attached:

☒ Form A - Checklist for Applicant

☐ Form RH - New Home Construction

☒ Form CA or RA - Additions & Renovations

☐ Detailed Structure Drawings / Blueprints

☒ Form CP or RP - Plot Plan Checklist

☐ Plot Plan (complete, all structures, setbacks, distances between str

Corrections Needed: Yes / No

Payment Still Needed: _____

Additional Permits Needed: _____

Property Corrections Needed: _____

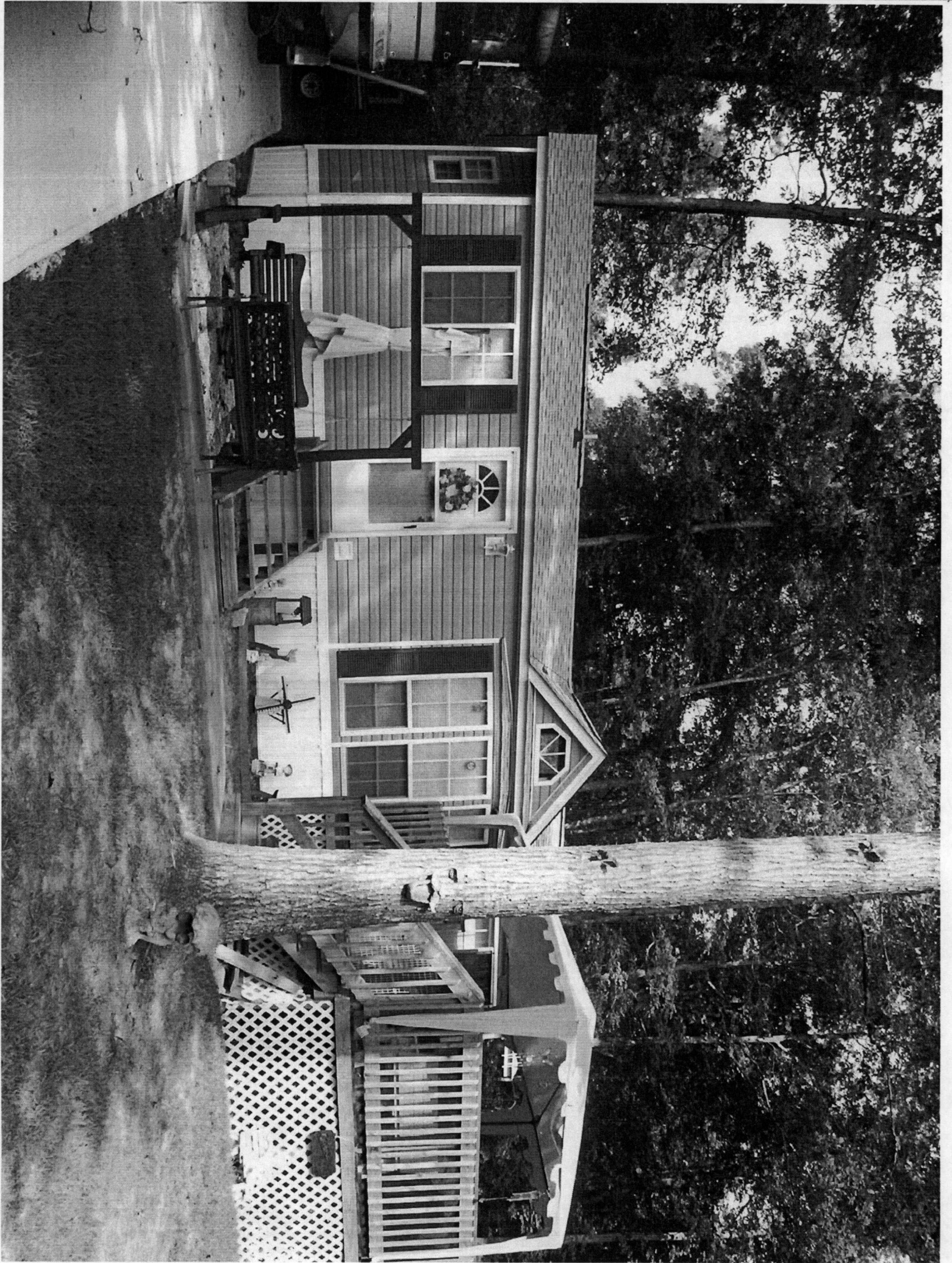
Plan Corrections Needed: _____

Form Corrections Needed: _____

Attending Meeting: Yes / No
Scheduled Time: _____

PAID: Yes / No
Cash / Check / Credit

[illegible][illegible]



Lake Royale
Building Committee

Date 6/26/07

Property Owner Stephen Crain

Lot# 1804+1805c Street 104 Catoose

Applicant requesting permit for:

11x15 pre manufactured room
addition.

Your request has been denied for:

* Covenants p. 2 Section 1 number 3.

the Association deems the plans, specifications or details
or any part thereof, to be contrary to the interest, welfare or
rights of all or any part of the real property subject
hereto...

* Pg. 3 Section 2 mobile homes are prohibited

* Pg. 5 Section 3 number C vehicles commercially produced may not exceed
We request the changes be made within N/A days or you have the option to appeal to: 400 sq. ft..

Board of Adjustments

Board of Directors

We look forward to helping you resolve this problem.

Sincerely

W. J. Edwards

Date 16 June 2007 Lot# C 1804/1985 Owner's Name STEPHEN A. CRAIN

Lake Royale Street Address 104 CATDOSE Phone 910-497-4517

Home Address 2806 Collingwood Street Phone 910-497-0680
cell 910 229 1335

- Note: 1) All applicable permits must be obtained by the Property Owner.
2) Complete in full all forms you will be submitting to Building Committee (BC)
3) If any forms in your application packet are not completed a BC permit cannot be issued.

OBTAIN THE FOLLOWING

☐ **Driveway permit** (if applicable)

Usually for builders & contractors building a new home, but can apply to property owners.
Needed before any clearing or mechanical activity takes place on the lot.
If required, obtain at the POA office for a \$75 fee.

☐ **Soil & Erosion permit** (if applicable)

Needed before any clearing or mechanical activity takes place on the lot.
If required, obtain at POA office (no charge)

☐ **Franklin County Health Permit** (if applicable)

For those installing a septic tank
Application form is available at the Planning & Dev. Dept, 215 E Nash St., Louisburg.
(919) 496-2909

☐ **Corp. of Engineer & Division of Water Quality – for Waterfront & Water Shed (River, Stream, Creek, Wetlands, etc...) property only** (if applicable)

PROTECT YOURSELF also pick up NC Riparian Buffer Protection Rules at the POA office.

Permit needed before any earth disturbing activity takes place.

For all bulkheads, boat slips, boat ramps, ways & rip rap material structures (docks not Included)

Forms are available at: Raleigh Regulatory Field Office
and **US Army Corp. of Engineers**

Additional Information 6508 Falls of Neuse Rd. Suite 120
Raleigh, NC 27615
Phone (919) 876-8441
Internet: www.saw.usace.army.mil

Division of Water Quality

1628 Mail Service Center

Raleigh, NC 27699-1628

Phone (919) 791-4200 (Mike Horan)

Internet: <http://h2o.enr.state.nc.us>

**Packet must be turned into the POA Office six days before the BC meeting.
Meetings are the second & fourth Tuesdays of each month**

Date 16 Jan Lot# C-1804/1803 Owner's Name CRAIN, Stephen A.

1) See **FORM A 'CHECKLIST FOR APPLICANTS'**

☐ Check that all applicable requirements are done.

2) **Plot Plan** - See Form CP 'CAMPING PLOT PLAN CHECKLIST' for details. (Page 3)

3) **Project** ☐ Carport ☐ Deck ☐ Fence ☐ Gazebo ☐ Porch ☐ Storage Shed

☐ Septic tank & leach fields ☐ Other _____

4) **Structure** (elevation) or **blueprints** drawings.

You **must** submit drawings of the proposed structure showing the following:

a) Top view or floor plan (including all decks, porches, bumpouts, etc.)

b) Elevation drawings (shows front, side & rear views of structure).

c) Drawings may be hand drawn (See sample page 3)

5) **Misc:**

☐ Street# must be posted and visible from the road (this is street#, not lot#).

☐ Permits must be visible from road

☐ Port-A- John to be positioned **off the road** and within the property pins of each job site (if applicable)

☐ Silt fence - must be installed **30' from shoreline** on waterfront lots, and on other lots where needed

☐ Burning permit - for all fires (other than outdoor grills). Can obtain 1 day **free** permit at Gate entrance.

Please fill in the following: (WHERE APPLICABLE)

CAMPER TYPE: ☐ Camper ☐ Camper with Expander ☒ Other Park Home

CAMPER SIZE: Length _____ (without tongue & bumper) Width _____ Sq Ft _____ (Max 400 sq ft)

PROJECT: Square foot _____ ☐ Building on-site ☐ Pre-built

FOUNDATION: ☐ crawl (max height _____) ☐ Slab ☐ Pier ☐ Other _____

CARPORT or GARAGE: _____ x _____ (max 24' x30')

Will electricity be installed? ☐ NO ☐ Yes (If yes, must get Franklin County permit)

DECK SIZE: ☐ Front _____ x _____ ☐ Rear _____ x _____ ☐ Side _____ x _____ Step Location _____

FENCE: ☐ Height _____ ☐ Chain Link ☐ Privacy ☐ Other _____

PORCH: ☐ Front ☐ Right side ☐ Left side ☐ Rear ☐ Gazebo style

Open Screened Glassed Step location

Sizes: _____ x _____ x _____ x _____

STORAGE SHED: Size _____ x _____ Sq.Ft. _____ (max 144) Height _____

Roof Pitch: _____ (4/12 minimum and 7/12 maximum)

Will electricity be installed? ☐ NO ☐ Yes (If yes, must get Franklin County permit)

OTHER: Room Addition ☒ Attached ☐ Detached Exterior Material(s): _____
(Park Home Addition)

Size 11'0" x 16'4" Height: 8 Roof Pitch: 4/12

OTHER: _____ ☐ Attached ☐ Detached Exterior Material(s): _____

Size _____ x _____ Height: _____ Roof Pitch: _____

OTHER: _____ ☐ Attached ☐ Detached Exterior Material(s): _____

Size _____ x _____ Height: _____ Roof Pitch: _____

Form CA (Con't) CAMPING CHECKLIST for NEW ADDITIONS or RENOVATIONS

Date _____ Lot# _____ Owner's Name _____

- NOTE:**
- 1) A Corp of Engineers permit must be obtained for all the following except the boat dock. A DWQ Permit or Approval must be obtained for all 'Riparian Buffer' disturbances.
 - 2) **PROTECT YOURSELF** from a \$25,000 fine. Get a copy of the NC 'Riparian Buffer Protection Rules' from the POA office or Website before you start your project.

SHORELINE: (if applicable) ☐ New ☐ Addition/ Renovation

- 1) Bulkhead: Length _____ Projection from shore _____ (max 2') ☐ Wood ☐ Rip Rap ☐ Concrete
- 2) Boat Dock: x Projection from shore _____ (max 10')
- 3) Boat Ramp: x
- 4) Boat Slip: x Projection from shore (if any) _____ (max 10')
- 5) Boat Shelter: x Must be over water. Only one story.
 - 1) ☐ Parallel to shore ☐ Vertical to shore Projection from shore _____ (max 10')
 - 2) Roof: ☐ Flat (to be used as deck? Yes _____ No _____). If used as deck, must have picket railings.
Pitch of roof _____ / _____

OTHER: _____

Utility Access POA Disclaimer:

While permission may be granted for a building permit to go forward with construction, the POA is NOT liable if the water lines or utility lines are held up by the local, county or state departments due to water pipe or utility line maintenance, which is not a POA responsibility.

I hereby certify that I have read the covenants and bylaws applicable to Lake Royale and The Rivers.

I hereby certify that to the best of my knowledge that the said property referenced herein is in compliance with all applicable Covenants and Bylaws as of the date of this application.

I further certify that I am the legal property owner of said property referenced herein as of the date of this application.

By signing this document, I acknowledge that I must ensure that the installation and/or construction of the structure described within this application for permit, shall be performed in accordance with ;

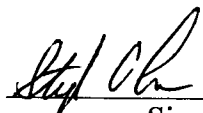
- The description provided within this application,
- Current Lake Royale Covenants and Bylaws as of the date of this application,
- and all applicable county and state requirements.

By signing this document, I accept all responsibility for any damage occurring due construction.

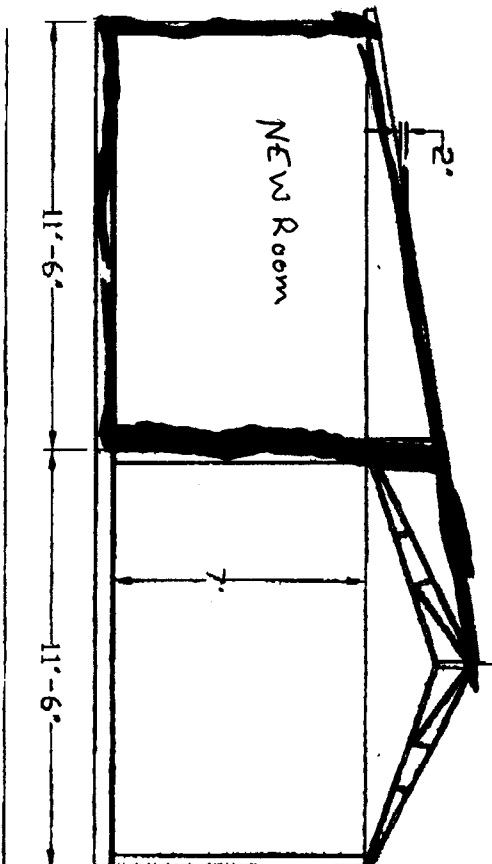
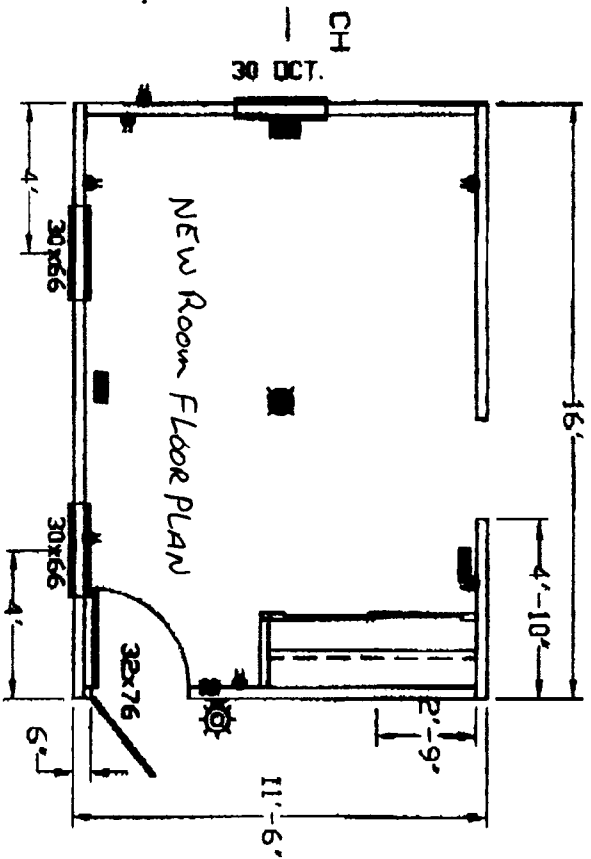
By signing this document, I further acknowledge that the Lake Royale Building Committee or its designee shall have the right to verify and/or investigate compliance with the provisions contained within this application and in conjunction with Lake Royale Covenants, Bylaws, Rules and Regulations as of this date. The undersigned grants permission to the Lake Royale POA and its agents to come onto the lot described in this application for purposes of inspecting the premises in connection with this application or for inspecting compliance with any approvals or conditions issued in connection with this application.

I certify that, to the best of my knowledge, the information given is accurate & complete.

I also certify that I have read and understand the above disclaimer.


Signature

16 June 2007
Date



SUNLAKE LIVING SYSTEMS, LLC			
SERIALS			
CUSTOM			
BOX SIZE		MODEL #	
DATE		D.W./BY	
FLOORPLAN		F.U.S.	
		UNITS	

SUNLAKE LIVING SYSTEMS

CUSTOMER SIGNATURE _____

	75 -		75 -	6/17	Stephen Grain	897	Pro
	CHECKS	CASH	NET PAYMENT	DATE	NAME	DESCRIPTION	REC'D. BY
	CIRCLED AMOUNT IS CASH PAID TO YOU						

LAKE ROYALE POA

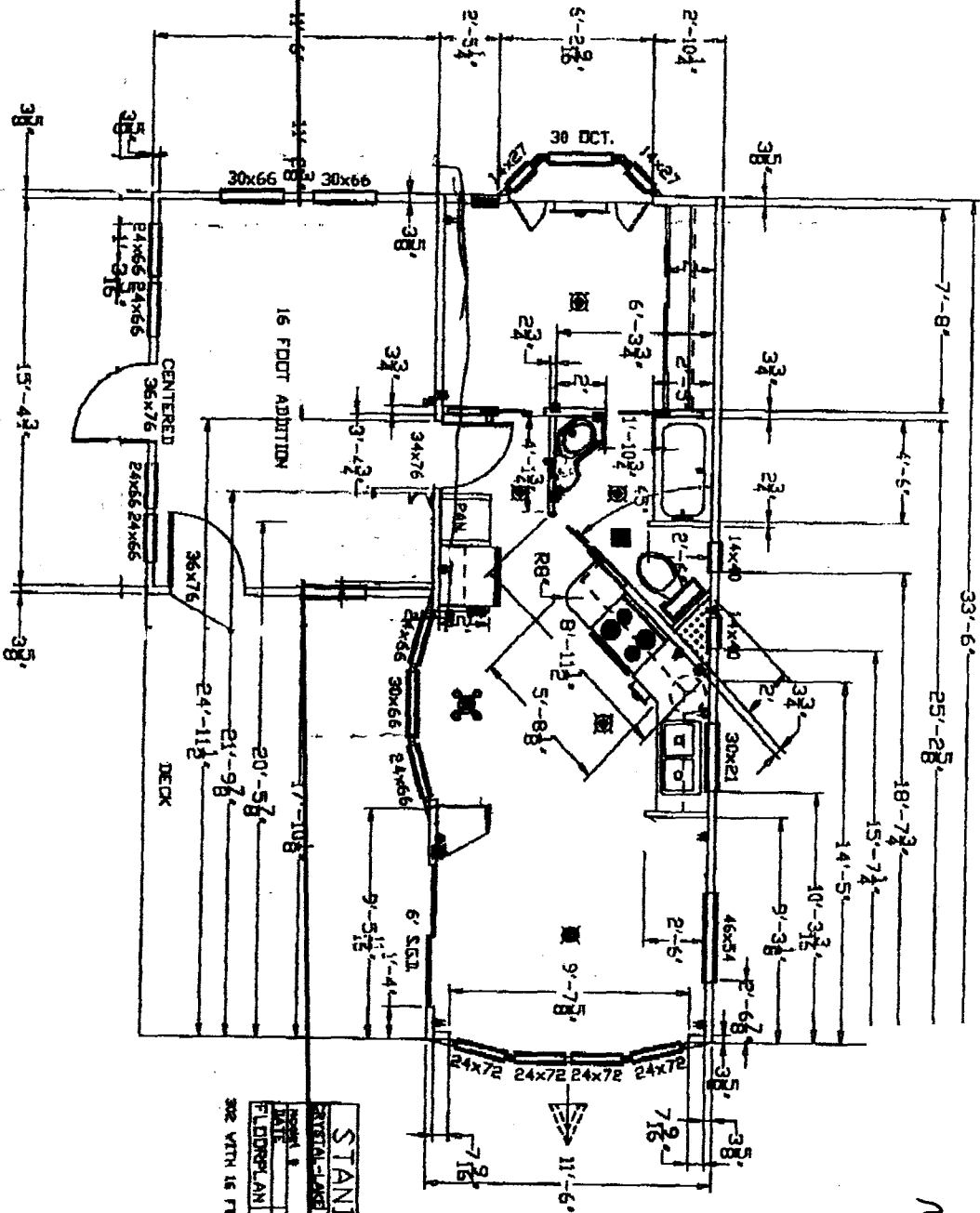
P.O. BOX 265
BUNN, NC 27508

BUS. (252) 478-4121 FAX (252) 478-3599

RETAIN THIS RECEIPT
FOR YOUR RECORDS

26167

Thank You



STANDARD	
DATE	302
BY	W. J.
FLORPLAN	F.L.S.

302 WITH 16 FT ADD ON

STEPHEN CRAIN

LOT C 1804, C805
Deed p 207

Pitch 4/12

4970680-Home

551-622-018
910-229-1335

Lake Royale



LAKE ROYALE BUILDING PERMIT

THIS PERMIT MUST BE CONSPICUOUSLY POSTED ON YOUR
PROPERTY SITE DURING CONSTRUCTION.

Know by all these presents that Stephen Craine,
who owns lot number 1804c, has been
Issued a permit to construct a Deck 12x12 Shed 8x6 Fence
at street address 106 Catboat Dr. Chain link

The plans have been reviewed by the Building Committee and said
plans are in compliance with applicable rules, regulations and restrictive
covenants for lots at Lake Royale.

Builder Name _____ Phone No. _____

Final inspection is scheduled to occur on December 13, 20 06.

Issued this 13th day of June, 20 06 at Lake
Royale, Bunn North Carolina.

LAKE ROYALE PROPERTY OWNERS ASSOC.

By: [Signature]

Permit No. 0606-717 Fee \$ 35⁰⁰

Date: 6/7/10 Lot #: 1804C Owners Name: Stephen Craine
Lake Royale Physical Address: 106 Catoose Dr. Phone #: _____
Home Address: _____ Phone #: _____

Please Check all that Apply:

Circle Respective County:

- ☒ Camping Lot _____ Residential Lot _____ New Home Construction _____ Franklin / Nash County
- ☒ Check that applicant has paid in full all POA dues (on all properties and all fees) _____ Waterfront Property
☒ Check that there are no outstanding non-compliance issues (on all properties) _____ Property on DWQ List
☒ Check that copy of deed to lot is on file at POA office/file

Certification of Liability Insurance, All builders/contractors must have current copy on file at POA
mmc Initials of person(s) who created applicant's folder for BC

Project Outline: Deck 12x12 Steel 8x6 Fence Chainlink Permit / Compliance Cert

Active Permits on File/Attached:

_____ Driveway Permit _____ DWQ _____ County Building Permits
_____ Soil Erosion Permit _____ USACE _____ County Health Dept. Permit

Forms Attached:

☒ Form A - Checklist for Applicant _____ Form RH - New Home Construction
☒ Form CA or RA - Additions & Renovations _____ Detailed Structure Drawings / Blueprints
_____ Form CP or RP - Plot Plan Checklist ☒ Plot Plan (complete, all structures, setbacks, distances between structures...)

Corrections Needed: Yes ☒ No

Payment Still Needed: _____

Additional Permits Needed: _____

Property Corrections Needed: _____

Plan Corrections Needed: _____

Form Corrections Needed: _____

Attending Meeting: Yes ☒ No
Scheduled Time: _____

PAID: Yes ☒ No
Cash / Check / Credit / Certified

#839

Staff Notes:

* Fence made on ~~off~~ of?
roof pitch ~~OK~~ 4/11 6/7/06

- Park model size ~~OK~~ 4/11 6/12/06

Committee Notes:

Date 2 June 1994 Lot# C-1804/1805 Owner's Name STEPHEN CRAIN

Lake Royale Street Address C1804 Catwose Drive Phone NOR

Home Address 2806 Collingwood Street, Spring Lake NC 28390 Phone 910-4990680

call if problem * 910-229-1335

- Note: 1) All applicable permits must be obtained by the Property Owner.
 2) Complete in full all forms you will be submitting to Building Committee (BC)
 3) If any forms in your application packet are not completed a BC permit cannot be issued.

OBTAIN THE FOLLOWING

- ☐ **Driveway permit** (if applicable)
 Usually for builders & contractors building a new home, but can apply to property owners.
 Needed before any clearing or mechanical activity takes place on the lot.
 If required, obtain at the POA office for a \$75 fee.
- ☐ **Soil & Erosion permit** (if applicable)
 Needed before any clearing or mechanical activity takes place on the lot.
 If required, obtain at POA office (no charge)
- ☐ **Franklin County Health Permit** (if applicable)
 For those installing a septic tank
 Application form is available at the Planning & Dev. Dept, 215 E Nash St., Louisburg.
 (919) 496-2909
- ☐ **Corp. of Engineer & Division of Water Quality – for Waterfront & Water Shed (River, Stream, Creek, Wetlands, etc...) property only** (if applicable)
PROTECT YOURSELF also pick up NC Riparian Buffer Protection Rules at the POA office.
 Permit needed before any earth disturbing activity takes place.
 For all bulkheads, boat slips, boat ramps, ways & rip rap material structures (docks not Included)
 Forms are available at: Raleigh Regulatory Field Office

US Army Corp. of Engineers
 6508 Falls of Neuse Rd. Suite 120
 Raleigh, NC 27615
 Phone (919) 876-8441
 Internet: www.saw.usace.army.mil

Division of Water Quality
 1628 Mail Service Center
 Raleigh, NC 27699-1628
 Phone (919) 791-4200 (Mike Horan)
 Internet: <http://h2o.enr.state.nc.us>

**Packet must be turned into the POA Office six days before the BC meeting.
 Meetings are the second & fourth Tuesdays of each month**

C
A
M
P
I
N
G

B
C

P
A
C
K

1804 + 1805
 Registered
 as one lot
 02 of 6/2/06

Form CA (Con't) CAMPING CHECKLIST for NEW ADDITIONS or RENOVATIONS

Date 2 June 2006 Lot# C-1804/C1805 Owner's Name STEPHEN CRAIN

- NOTE:**
- 1) A Corp of Engineers permit must be obtained for all the following except the boat dock. A DWQ Permit or Approval must be obtained for all 'Riparian Buffer' disturbances.
 - 2) **PROTECT YOURSELF** from a \$25,000 fine. Get a copy of the NC 'Riparian Buffer Protection Rules' from the POA office or Website before you start your project.

SHORELINE: (if applicable) ☐ New ☐ Addition/ Renovation

- 1) Bulkhead: Length _____ Projection from shore _____ (max 2') ☐ Wood ☐ Rip Rap ☐ Concrete
- 2) Boat Dock: x Projection from shore _____ (max 10')
- 3) Boat Ramp: x
- 4) Boat Slip: x Projection from shore (if any) _____ (max 10')
- 5) Boat Shelter: x Must be over water. Only one story.
 - 1) ☐ Parallel to shore ☐ Vertical to shore Projection from shore _____ (max 10')
 - 2) Roof: ☐ Flat (to be used as deck? Yes _____ No _____). If used as deck, must have picket railings.
Pitch of roof _____ / _____

OTHER: _____

Utility Access POA Disclaimer:

While permission may be granted for a building permit to go forward with construction, the POA is NOT liable if the water lines or utility lines are held up by the local, county or state departments due to water pipe or utility line maintenance, which is not a POA responsibility.

I hereby certify that I have read the covenants and bylaws applicable to Lake Royale and The Rivers.

I hereby certify that to the best of my knowledge that the said property referenced herein is in compliance with all applicable Covenants and Bylaws as of the date of this application.

I further certify that I am the legal property owner of said property referenced herein as of the date of this application.

By signing this document, I acknowledge that I must ensure that the installation and/or construction of the structure described within this application for permit, shall be performed in accordance with ;

- The description provided within this application,
- Current Lake Royale Covenants and Bylaws as of the date of this application,
- and all applicable county and state requirements.

By signing this document, I accept all responsibility for any damage occurring due construction.

By signing this document, I further acknowledge that the Lake Royale Building Committee or its designee shall have the right to verify and/or investigate compliance with the provisions contained within this application and in conjunction with Lake Royale Covenants, Bylaws, Rules and Regulations as of this date.

I certify that, to the best of my knowledge, the information given is accurate & complete.

I also certify that I have read and understand the above disclaimer.



Signature

2 June 2006
Date

Date 2 Jun 2006 Lot# C-1804/C1905 Owner's Name STEPHEN + REBECCA CRAIG1) See **FORM A 'CHECKLIST FOR APPLICANTS'**☐ Check that all applicable requirements are done.2) **Plot Plan** - See Form CP 'CAMPING PLOT PLAN CHECKLIST' for details. (Page 3)3) **Project** ☐ Carport ☒ Deck ☒ Fence ☐ Gazebo ☐ Porch ☒ Storage Shed☐ Septic tank & leach fields ☐ Other _____4) **Structure** (elevation) or **blueprints** drawings.You **must** submit drawings of the proposed structure showing the following:

a) Top view or floor plan (including all decks, porches, bumpouts, etc.)

b) Elevation drawings (shows front, side & rear views of structure).

c) Drawings may be hand drawn (See sample page 3)

5) **Misc:**☐ Street# must be posted and visible from the road (this is street#, not lot#).☐ Permits must be visible from road☐ Port-A- John to be positioned **off the road** and within the property pins of each job site (if applicable)☐ Silt fence - must be installed **30' from shoreline** on waterfront lots, and on other lots where needed☐ Burning permit - for all fires (other than outdoor grills). Can obtain 1 day **free** permit at Gate entrance.**Please fill in the following: (WHERE APPLICABLE)**CAMPER TYPE: ☐ Camper ☐ Camper with Expander ☐ Other Park HomeCAMPER SIZE: Length 33' (without tongue & bumper) Width 11' Sq Ft 363 (Max 400 sq ft)PROJECT: Square foot _____ ☐ Building on-site ☐ Pre-builtFOUNDATION: ☐ crawl (max height _____) ☐ Slab ☐ Pier ☐ Other _____

CARPORT or GARAGE: _____ x _____ (max 24' x 30')

Will electricity be installed? ☐ NO ☐ Yes (If yes, must get Franklin County permit)DECK SIZE: (wood) ☐ Front 12' x 12' ☐ Rear _____ x _____ ☐ Side _____ x _____ Step Location SideFENCE: ☒ Height 4' ☒ Chain Link ☐ Privacy ☐ Other _____PORCH: ☐ Front ☐ Right side ☐ Left side ☐ Rear ☐ Gazebo styleOpen Screened Glassed Step location 30'

Sizes: _____ x _____ x _____ x _____

STORAGE SHED: Size 100' x 72' Sq.Ft. 7200 (max 144) Height 85.5" ☐ Attached ☒ DetachedWill electricity be installed? ☒ NO ☐ Yes (If yes, must get Franklin County permit)OTHER: _____ ☐ Attached ☐ Detached Exterior Material(s): _____

Size _____ x _____ Height: _____ Roof Pitch: _____

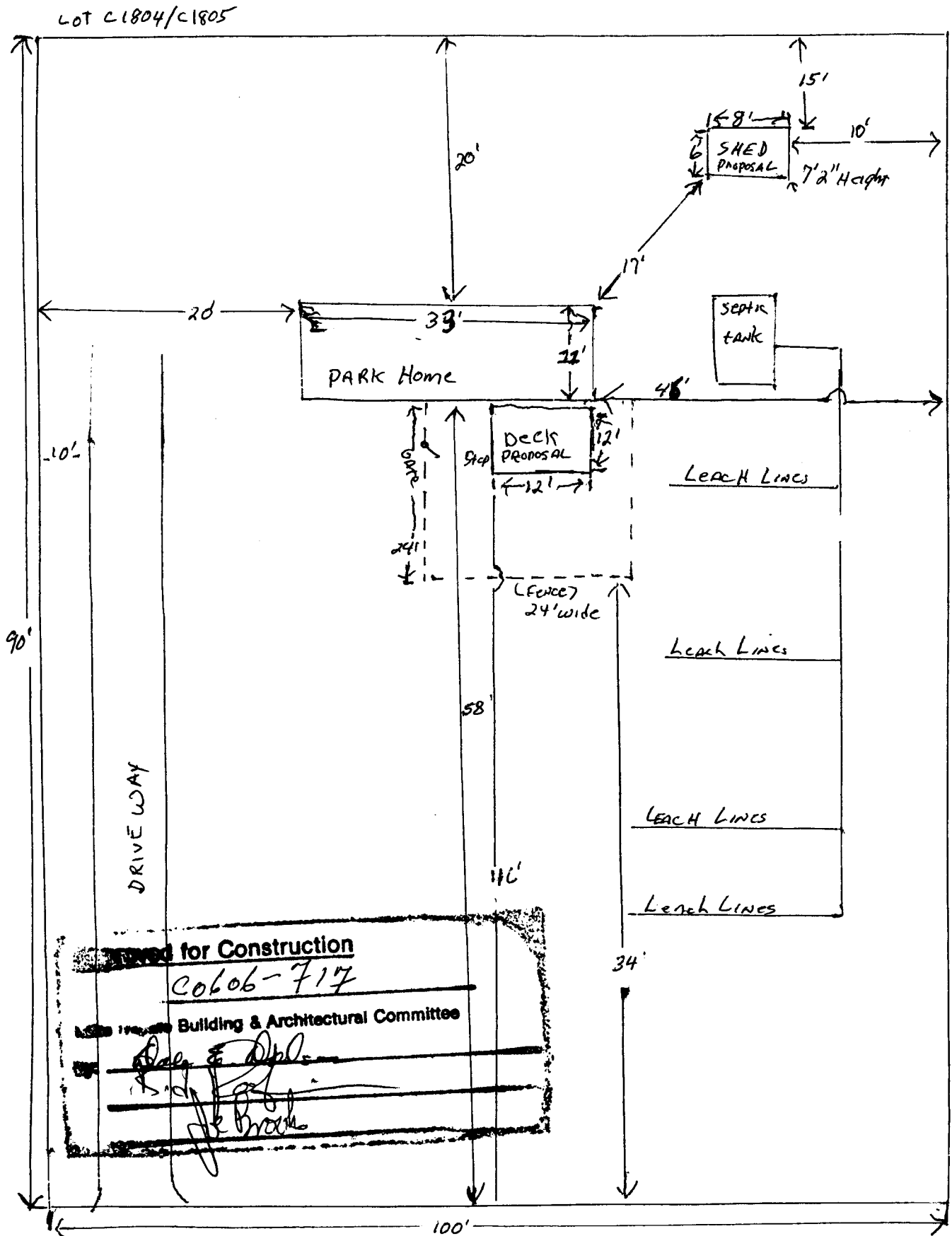
OTHER: _____ ☐ Attached ☐ Detached Exterior Material(s): _____

Size _____ x _____ Height: _____ Roof Pitch: _____

OTHER: _____ ☐ Attached ☐ Detached Exterior Material(s): _____

Size _____ x _____ Height: _____ Roof Pitch: _____

LOT



SHED 100"X72"X85.5"

Deck 12'X12'X3'

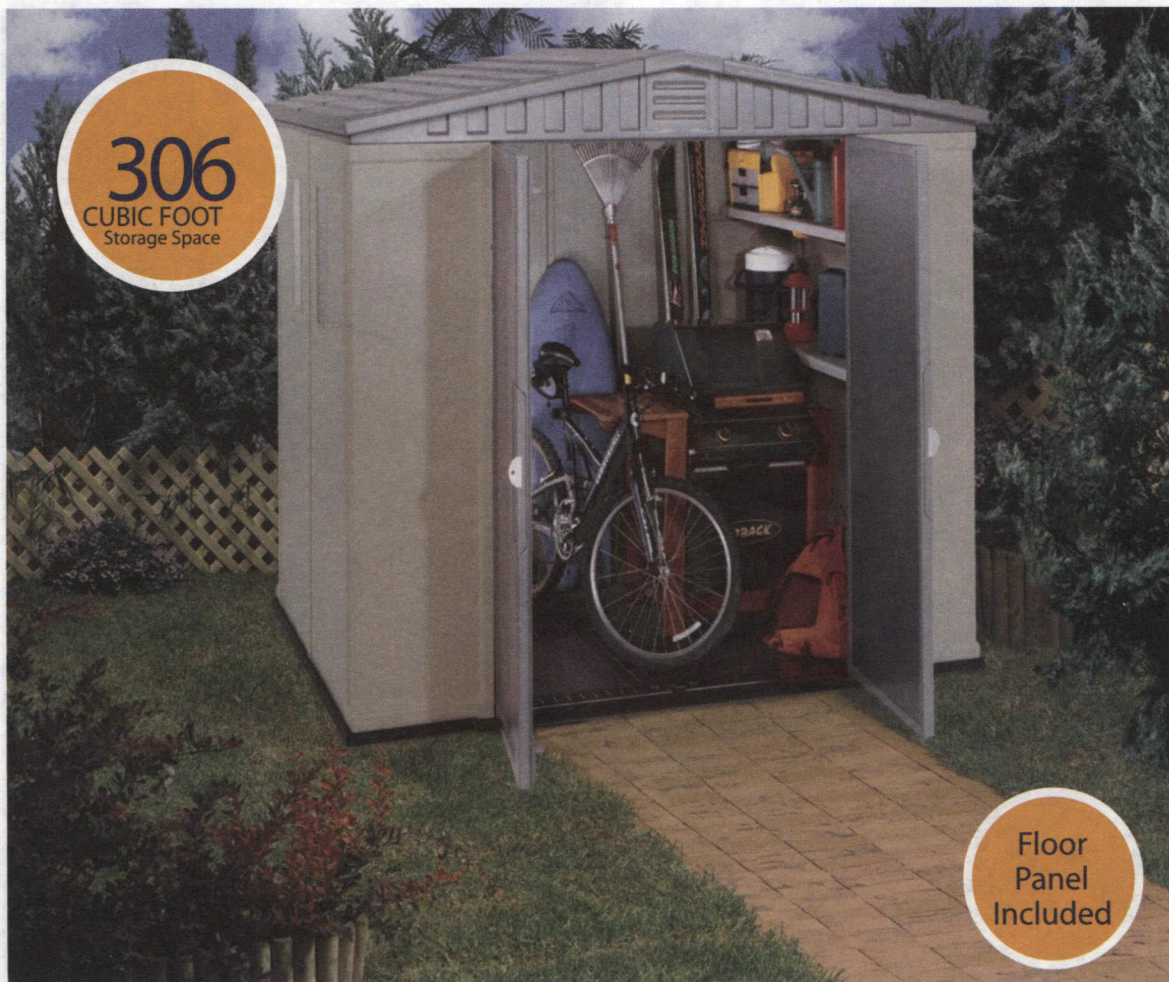
Fence 24'X24'X4'

CATOOSE

note: Lots being combined on 2 June

Our Plastic Storage Buildings Include:

- Floor panels
- Full 7-year warranty
- Lockable doors
- All weather design
- Easy assembly
- Maintenance free
- Built in door latches
- 2 Windows
- Ventilation
- Fits most riding lawn mowers



Plastic Storage Building

8' x 6' Apex Shed

100"x72"x85.5" 306 cu. ft.

See Lowe's associate for details

Price does not include optional features, permits, zoning and setback advice and or compliance, excavation or leveling. Some displays show optional features. All content subject to change without notice. All measurements are approximate.



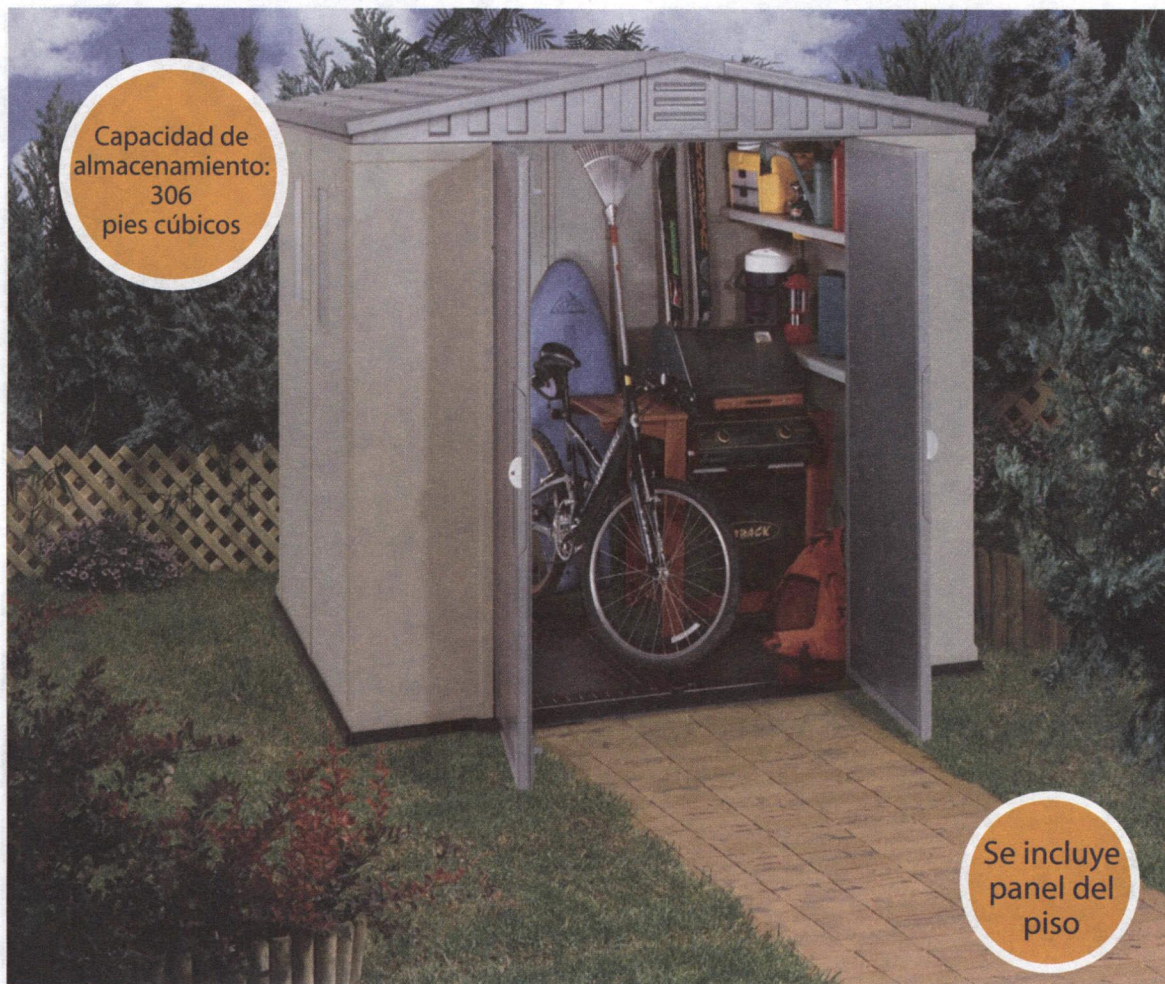
Approved by Lowe's



BLACK & DECKER® Techo a dos aguas de 8' x 6'

El edificio para almacenaje de plástico incluye:

- Paneles de piso
- 7 años de garantía ilimitada
- Puertas con cerradura
- Diseño para todos los climas
- Fácil de ensamblar
- No requiere mantenimiento
- Pasadores de puerta incorporados
- 2 ventanas
- Ventilación
- Apto para la mayoría de los tractores/ podadoras



Edificio para almacenaje de plástico:

Cobertizo con techo a dos aguas de 8' x 6'

100"x72"x85.5" 306 pies cúbicos

Consulte con un vendedor de Lowe's para obtener mayor información

El precio no incluye características opcionales, permisos, consejos de clasificación del terreno y por problemas y/o cumplimiento, excavación y nivelación.

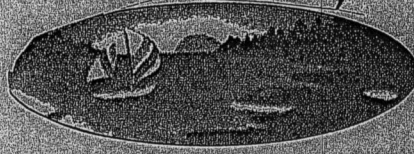
Algunas imágenes muestran características opcionales.

El contenido puede ser modificado sin aviso previo. Las medidas son aproximadas. Aprobado por Lowe's



Thank You

Lake Royale



LAKE ROYALE DRIVEWAY PERMIT

THIS PERMIT MUST BE CONSPICUOUSLY POSTED ON YOUR
PROPERTY SITE DURING CONSTRUCTION.

Know by all these present that Stephen Crum
Property Owner
Who owns lot number 1804C, has been issued a permit to
Construct a driveway at 106 Catone
Street address

The plans have been reviewed by the Building Committee and said plans are in
compliance with applicable rules, regulations and restrictive covenants for lots
At Lake Royale.

Final inspection is scheduled to occur on _____, 20____.

Issued this 11th day of December, 2005 at Lake Royale,
Bunn North Carolina.

LAKE ROYALE PROPERTY OWNERS ASSOC.

By: [Signature]

Permit No. 741

Fee\$ 7500

"Effective July 17, 2005 and thereafter, all property owners installing a new
driveway must put in a minimum fifteen (15) foot long by twelve (12) foot wide
concrete or asphalt apron abutting road."

LAKE ROYALE

SOIL EROSION & LAKE WATER QUALITY CONTROL



Know by all these present that Stephen Aron
who owns lot number 801C has been issued a permit at 106 Cytrose
Lot# Street Address

EXCAVATING, DIGGING, OR GRADING - IF THIS APPLIES FOR INSTALLATION OF SEPTIC SYSTEM THE FOLLOWING MUST APPLY: No drain field or any part of this system may be closer than sixty (60) feet to the normal water elevation of the lake nor ten (10) feet to any water potables.

Said property owner has received and understands the applicable rules, regulation and guidelines for Soil Erosion & Lake Water Quality at Lake Royale. (Erosion control measures must be taken to protect the lot under development from off site soil erosion, specifically onto POA Right of Way and into the lake as well as onto neighborhood properties. (At a minimum, silt fence must be used for this)

Issued this 11th day of November, 2005
At Lake Royale, Bunn North Carolina

LAKE ROYALE PROPERTY OWNERS ASSOC.

Stephen A. Crain
2806 Collingwood Street
Spring Lake, NC 28390
Lot Nr C1804 and C1805

Lake Royal Building Committee,

Request that approval of the diagram of where the park home will be sitting on the two sites. The park home will be 6 to 8 ft from back of property line and will not be close to side property lines. The home will be 75 ft from main road. According to what I read in your Bi-laws this meets all requirements. The size of the park home is 12ft wide by 34ft long, 400SQ FT. Please approve this.

Explanation below of septic tank and park home information:

Enclosed is a diagram of the plan of where the septic tank with drain lines and the Park Model Home will be sitting.

The Louisburg Health Department representative did a test on site to determine if system would function probably. The site was approved with diagram of how the lines would be laid out. The system will be located on lot C1805. The diagram shows where the tank and lines are to be installed per health department.

The contractor DP has obtained a driveway permit for installing new drive way. The picture shows where the drive way will be installed. The drive way access will have concrete pipes installed so that water and drain through the ditch system. The drive way and the site where the park home will be sitting will have crush and run laid on that portion. The remainder of the ground will be seeded and hay laid.

The areas where soil might run will have the netting system installed to stop any soil rosin until grass takes root.

The water company has been contacted and the meter will be installed on or next to C-1804. Water line will then be run by contractor once meter is installed.

Any questions the committee has prior to approval please call me at 910-229-1335 Cell or my home number of 910-497-0680.

Please send me the appropriate paperwork that shows approval on these sites.

Thanks

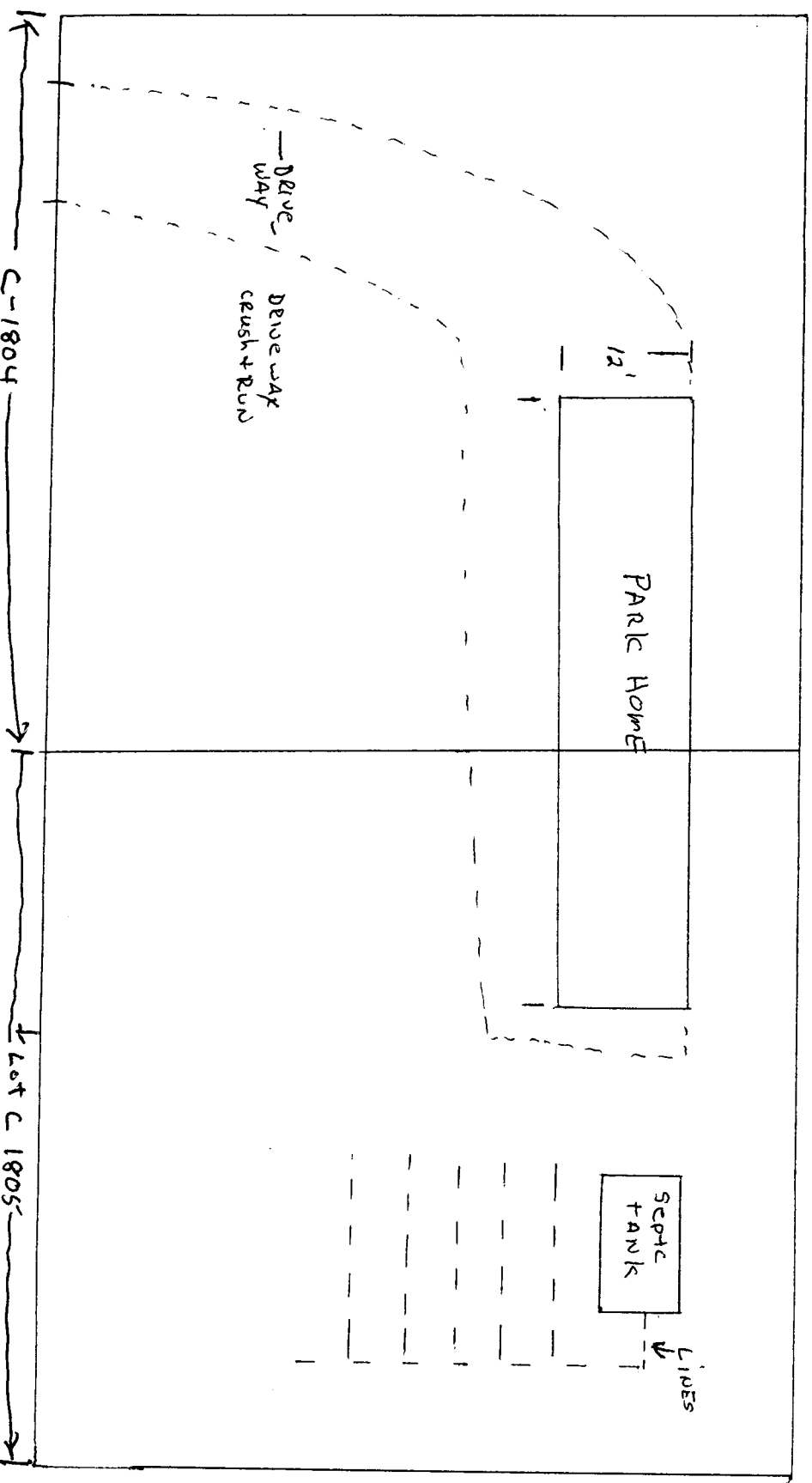

Stephen A. Crain

home. 910-497-0680
11-9-05 I spoke w/ Stephen Crain & told
him he needed a driveway installed
per specs. and he can bring park model

POA BLDG COMMITTEE

Area 14 Camping

Lot C-1804 & C1805 CATOOSE DR



Lake Royale

Property Owners Association



06/07/06

STEPHEN CRAIN
2806 COLLINGSWOOD STREET
SPRING LAKE NC 28390
1804C1 106 CATOOSE DRIVE

RE: Lot# 1758C 126 Mahato Drive

Dear Mr / Ms: STEPHEN CRAIN

On Saturday June 17, 2006 at the Lake Royale Clubhouse the Board of Directors will be hearing a case for Jonita Brown-Warren, Lot# 1758C, 126 Mahato Drive for being in non-compliance of the Lake Royale Rules and Regulations: Page 16, Section 5.10 Silt Fence.

Being an adjacent property owner to this property we must notify you to give you the opportunity (if you wish) to attend this meeting and voice any opinions you may have on this matter. The case will be heard after 11:00 A.M. following the BOD meeting. If you are not able to attend the meeting you can send a letter to the POA office stating your opinions. This letter should reach our office by Thursday, June 15, 2006.

If you have any questions please contact our office at the number listed below.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'Rob' or 'Robert', with a stylized flourish at the end.

Robert Vangraafeiland
General Manager