

Lake Royale

LAKE ROYALE BUILDING PERMIT

This Permit Must Be Conspicuously Posted on Your
Property Site During Construction

Known by all these present that Stephen Crain
who owns lot# 1805C at street address 104 Catoose Dr
has been issued a permit to construct a 12x18 Room Addition

The Building Committee has reviewed the plans and said plans are in compliance
with applicable Rules & Regulations and Restrictive Covenants for lots at Lake
Royale.

Issued this 28th day of January, 20 14 at Lake
Royale, Louisburg, North Carolina.

All permits expire six (6) months from their issue date and may be renewed once
for an additional six (6) month period for a combined total of twelve (12) months
from the date of the original issued permit.

Contact the POA office for final inspection upon project completion.

LAKE ROYALE PROPERTY OWNERS ASSOCIATION

By: Edward D. Hulse

Permit #: C0114-7740

Fee \$: 80.00

Building Packet Checklist

Date 1-22-14 Lot# 18D5C Owner's Name Stephen Crain
Lake Royale Physical Address 104 Catoose Dr Phone _____

Project Description: ~~200~~ 12x14 Room Addition

Attending Meeting: Yes / No

Paid: Yes / No

✓ Check that applicant has paid in full a POA dues (on all properties and all fees)

Adjoining Lot (List adjoining lots) 126/136 Mahto 104/106 Catoose

Application Corrections needed:

Pre Building Committee Check List

Included/verified:	Yes/No	Notes and/or comments
Proposed structure setbacks	✓	
Driveway	✓	
Physical address	✓	
Soil and erosion	✓	
Septic Info	✓	
County Permit	✓	
Impervious plot plan	✓	
Drawings	✓	
Signature page	✓	

Notes:

- can't get in laserfiche for septic

1/21/14
CK 764
800

**Multi-Use
Package Application
Deck, Porch, Room Addition, Roof-Over, Enclosure**

Name: STEPHEN + Rebecca CRAIN

Lake Royale Address: 104 CATOOSC DR. Lot #: 1807

Phone #: 910-497-0680 Cell Phone #: 910-709-0672

Lake Royale POA office: 252-478-4121

Franklin County Permits: 919-496-1117

Franklin County Zoning: 919-496-2909

Nash County Permits: 252-459-9809

Note: The rules below have been summarized please see the Covenants and the Rules and Regulations for additional restrictions and information.

Rules for Deck: (\$40.00)

Decks extending more than fourteen (14) feet from the camping unit shall not have walls, roofs or enclosed areas.

Rules for Porch: (\$80.00)

- 1) Each camping lot may have one open Roofed Deck.
- 2) It may not have any solid walls, but may be screened, and during the winter months only (October 1 through April 1 of the following year), the property owner may install clear removable plastic panels (includes acrylic) of 1/4 inch or greater, or removable Plexiglas panels of 1/8th inch or greater; panels may not be of any other type material. Panels must be installed on the inside only. Prior to installing these panels, a property owner must file a notice with the POA office (notice forms are available at the office).
- 3) It may abut the camping unit, or abut the room addition, or sit independently, like a gazebo.
- 4) Roofed decks are allowed on three (3) walls provided all setbacks are met.
- 5) May not extend more than 14 feet from the camping unit.

Rules for Room Addition: (\$80.00)

- 1) One (1) enclosed addition is allowed per camping lot which may contain one or more wall partitions.
- 2) The Addition's width may not extend more than fourteen (14) feet from the camping unit, nor its length extend beyond the ends of the camping unit.
- 3) It may only be one story.

Rules for Roof-Over/Enclosure: (\$40.00)

- 1) Property owner must have a building permit from the BC prior to the start of installation or construction.
- 2) Metal carports may not be used as a roof-over.
- 3) Roof pitch may not be less than 4/12 nor exceed 7/12.
- 4) Can only be one (1) story in height. Attic space shall only be used for light storage.
- 5) Roof height: Maximum height allowed is sixteen (16) feet from the finished floor to the top of the ridge board.
- 6) Roof-over post are not to exceed twelve (12) inches from the camping unit or camping unit bump outs in setup mode.
- 7) Dormers: Two (2) dormers shall be allowed up to three (3) feet wide/each.
- 8) Gables: Two (2) gable ends shall be allowed up to sixteen (16) feet high, with one (1) additional gable allowed up to fourteen (14) feet high (All gable ends shall be measured from the finished floor to the top of the ridgepole).
- 9) Knee walls (exterior) shall not be allowed.
- 10) Hitch end of camping unit must be open or the camping unit may have operable doors on hinges. No panels are allowed.
- 11) Door must not be sealed in any way. Latch is allowed to keep the doors closed.
- 12) It shall be the Property owners' responsibility to ensure that the doors are not permanently fastened and stay in working order at all times.

Check line below when you have completed information.

- _____ • Camper Size: _____
- _____ • Septic permit number or portable holding tank: _____

DECK: (\$40.00)

- _____ • Deck Size: _____
- _____ • Building Material: _____

ROOM ADDITION: (\$80.00)

- _____ • Room Addition Size: 12 X 18
- _____ • Total Room Addition Height: 8 FT
- _____ • Roof Pitch: 4/12
- _____ • Building Material: wood + vinyl siding

ROOF-OVER: (\$40.00)

- _____ • Roof-Over Size: _____
- _____ • Total Roof-Over Height: _____
- _____ • Roof Pitch: _____
- _____ • Distance from camping unit to roof-over posts: _____
- _____ • Building Material: _____

PORCH: (\$80.00)

- _____ • Porch Height: _____
- _____ • Porch Size: _____
- _____ • Roof Pitch: _____
- _____ • Building Material: _____

ENCLOSURE: (\$40.00)

- _____ • Hinged door or open: _____
- _____ • Building Material: _____

- _____ • Blueprint drawings or pictures attached
- _____ • Plot Plan Enclosed (Required info needed listed below)
 - _____ • Approval Stamped from Franklin County Zoning
 - _____ • Property pins located on plot plan
 - _____ • All present structures listed w/dimensions, setbacks and square footage footprint
 - _____ • Street and Shoreline noted
 - _____ • Proposed structure w/setbacks and square footage footprint listed
 - _____ • Driveway location and driveway material
 - _____ • Septic location w/leach fields
 - _____ • Exterior dimensions of lot

- _____ • Property pins identified on lot
- _____ • Copy of septic permit
- _____ • Copy of Franklin/Nash County permit
- _____ • Copy of Franklin County zoning permit (max. 24% impervious)
- _____ • Signature page signed by property owner
- _____ • Copy of payment receipt attached

Signature Page:

I hereby certify that I have read the Covenants, By-laws and Rules and Regulations applicable to Lake Royale.

I hereby certify that to the best of my knowledge that the said property referenced herein is in compliance with all applicable Covenants, By-laws and Rules and Regulations as of the date of this application.

I hereby certify that I am the legal property owner of said property referenced herein as of the date of this application.

I further certify that I have read the NC Riparian Buffer Protection Rules if applicable to my project.

By signing this document, I acknowledge that I must ensure that the installation and/or construction of the structure described within this application for permit, shall be performed in accordance with;

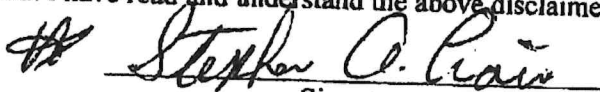
- The description provided within this application,
- Current Lake Royale Covenants, By-laws and Rules and Regulations as of the date of this application, and all applicable county and state requirements.

By signing this document, I accept all responsibility for any damage occurring due to construction.

By signing this document, I further acknowledge that the Lake Royale Building Committee or its designee shall have the right to verify and/or investigate compliance with the provisions contained within this application and in conjunction with Lake Royale Covenants, Bylaws, Rules and Regulations as of this date. The undersigned grants permission to the Lake Royale POA and its agents to come onto the lot described in this application for purposes of inspecting the premises in connection with this application or for inspecting compliance with any approvals or conditions issued in connection with this application.

I certify that, to the best of my knowledge, the information given is accurate & complete.

I also certify that I have read and understand the above disclaimer.


Signature

15 December 2013
Date

Lot
APPROVED

FC PLANNING
DANNA WOOD 12/14/13

17,206 SQ FT (TOTAL LOT)

1,503 SQ FT IMPERVIOUS

.08770 IMP.

LOT C1804/C1805

33

Approved for Construction

Permit #: C0114-7740

Lake Royale Building Committee

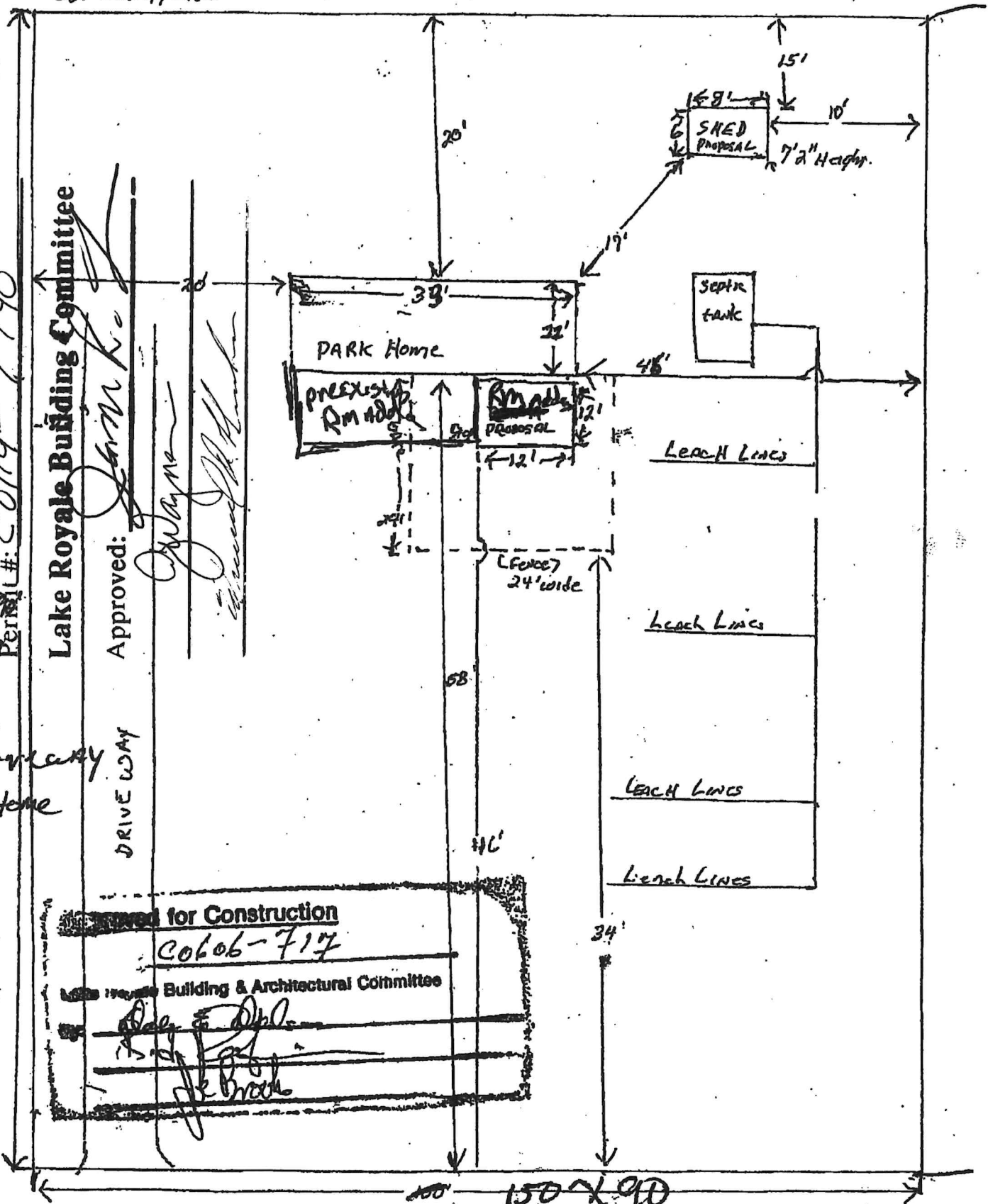
Approved:

DRIVE WAY

696 Drive Way
759. Home

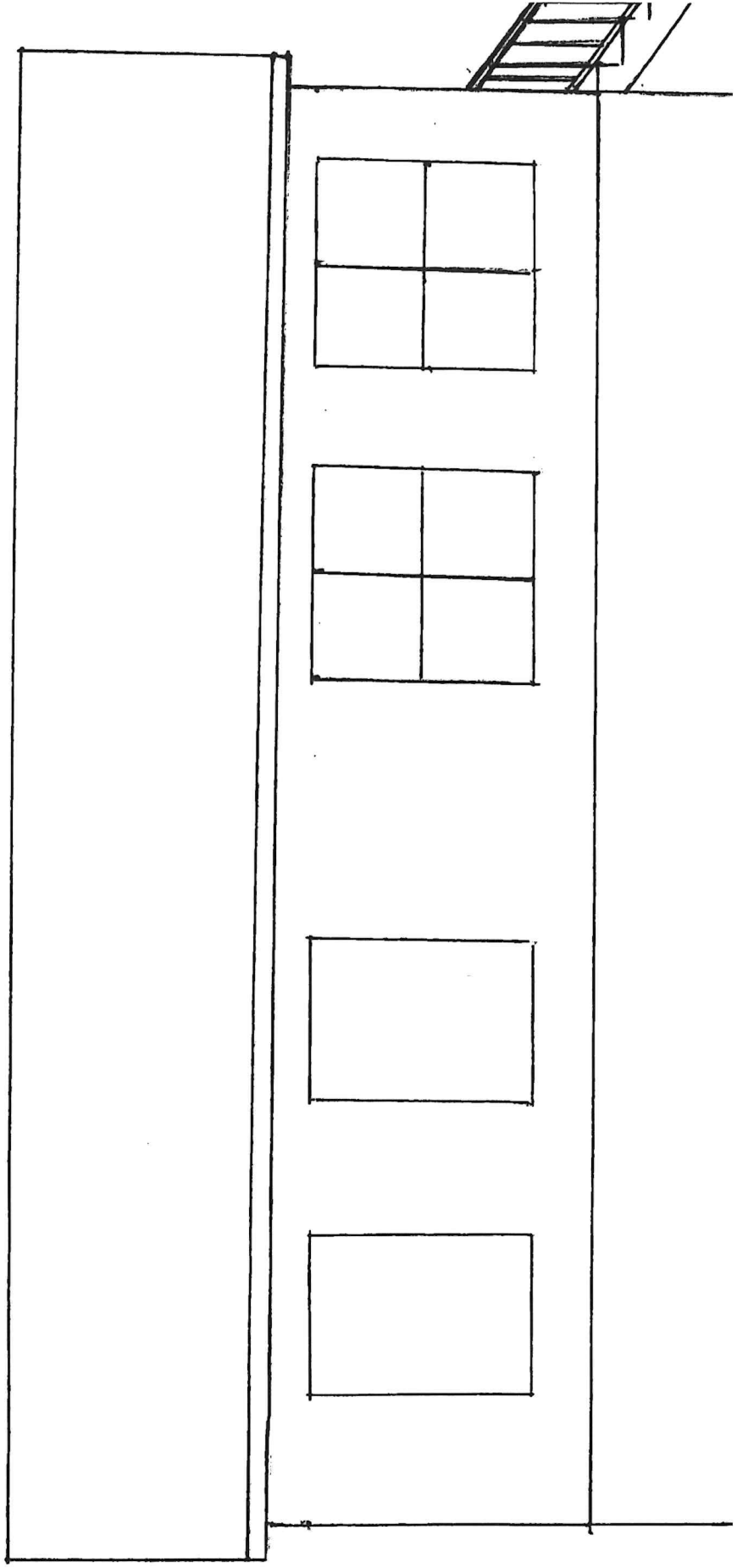
Approved for Construction
C0606-717
Lake Royale Building & Architectural Committee

SHED 100' x 72' x 88.5' 8' x 6' 48'

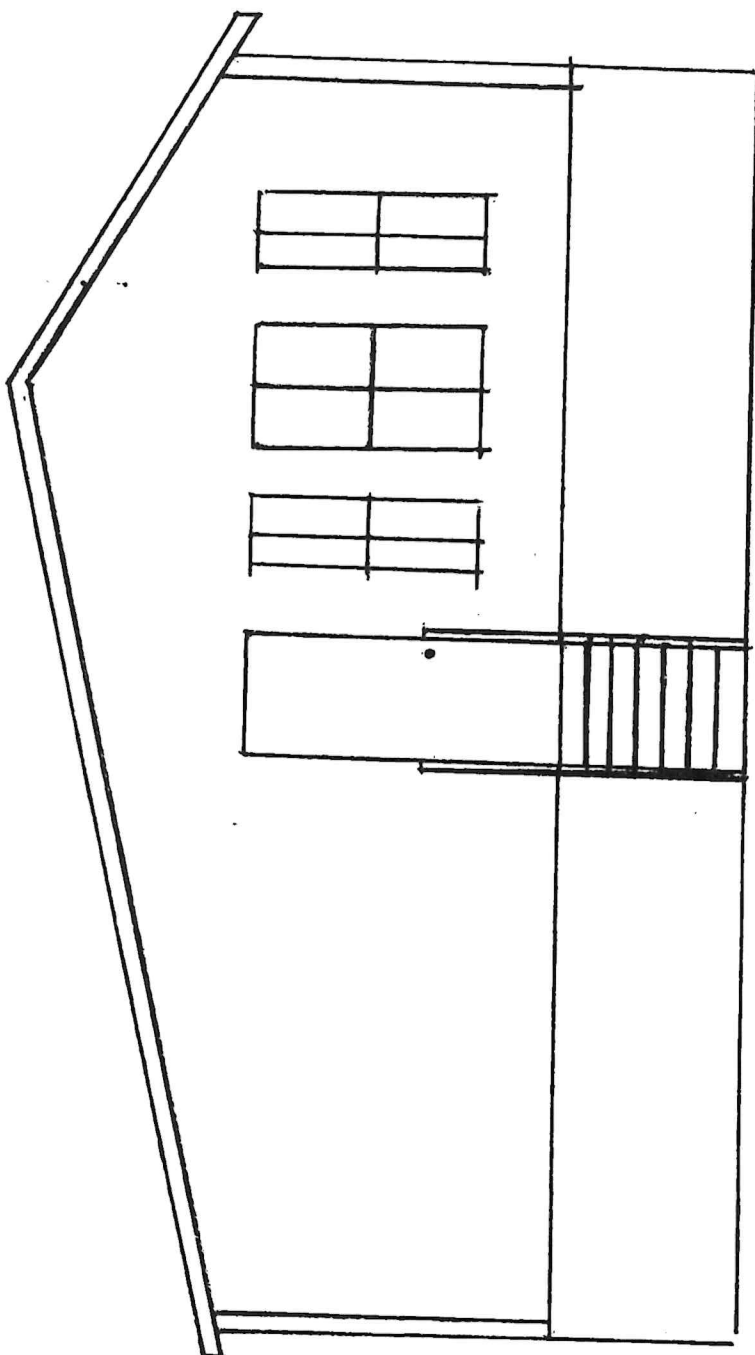


Front View

Follow preexisting roof line



side



Call for Inspection 1 - 2 Days in advance
919-496-2281

Permit #: 35367

Type: ADDITIONS/RENOVAT

Date Issued: 12/20/2013

Tax record: 19604

Pin #: 2840-21-8057

Parcel #: LR1402 1806C

Project Address: 106 CATOOSE DR, LOUISBURG NC 27549

Location: 106 CATOOSE DR

Subdivision: LAKE ROYALE

Size #: 0.400

Lot #: 1804C/175

SR #:

Applicant: CRAIN STEPHEN & REBECCA
2806 COLLINGWOOD ST
SPRING LAKE NC 28390

Phone: 910 497-0680

Contractor:

Phone:

Township: CYPRESS CREEK

Work: 2840-21-8057

Desc:

Directions:

39S T/L ON BAPTIST CHURCH RD, T/R ON SLEDGE RD, T/L INTO SUBD, RENOVATION DECK
TO LIVING ROOM W/ ELEC & MECH

Building Cost: \$10,000	Fees Due: \$195.00 Date Paid: 12/20/2013
Size: Year: Model:	Square Footage: 0.000 Zoning: A R Flood Plain

***** NOTICE *****

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED HAS NOT BEEN COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 12 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OF LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION. ANY FALSE STATEMENT OR MISREPRESENTATION AS TO THE MATERIAL FACT IN THE APPLICATION OR PLANS ON WHICH THE PERMIT OR APPROVAL WAS BASED.

***** ALL FEES ARE NON-REFUNDABLE *****

X  Tom Peters

(PRINT & SIGNATURE OF CONTRACTOR, AUTHORIZED AGENT OR OWNER)

FRANKLIN COUNTY USE ONLY

12/20/2013

12/20/2013

CODE ENFORCEMENT OFFICER