

\\archive\Archive\Builder\Genesis Building Co., Inc\241101B Lot 1 Tantallon\241101B Lot 1 Tantallon.aec

PLANS DESIGNED TO THE
2018 NORTH CAROLINA STATE
RESIDENTIAL BUILDING CODE

MEAN ROOF HEIGHT: 22'-2"	HEIGHT TO RIDGE: 31'-2"		
CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
FENESTRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55
GLAZED FENESTRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	38 or 30ci	38 or 30ci	38 or 30ci
WALL R-VALUE	15	15	19
FLOOR R-VALUE	19	19	30
* BASEMENT WALL R-VALUE	5/13	10/15	10/15
** SLAB R-VALUE	0	10	10
* CRAWL SPACE WALL R-VALUE	5/13	10/15	10/19

* 10/13" MEANS R-10 SHEATHING INSULATION OR R-13 CAVITY INSULATION
** INSULATION DEPTH WITH MONOLITHIC SLAB 24" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING; INSULATION DEPTH WITH STEM WALL SLAB 24" OR TO BOTTOM OF FOUNDATION WALL
DESIGNED FOR WIND SPEED OF 115 MPH, 3 SECOND GUST (89 FASTEST MILE) EXPOSURE "B"

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS								
MEAN ROOF	UP TO 30'		30'-1" TO 35'		35'-1" TO 40'		40'-1" TO 45'	
ZONE 1	13.1	-14.0	13.8	-14.7	14.3	-15.3	14.7	-15.7
ZONE 2	13.0	-13.0	13.7	-13.7	14.2	-14.2	14.6	-14.6
ZONE 3	13.1	-16.0	13.8	-16.8	14.3	-17.4	14.7	-17.9
ZONE 4	14.3	-15.0	15.0	-15.8	15.6	-16.4	16.0	-16.8
ZONE 5	14.3	-19.0	15.0	-20.0	15.6	-20.7	16.0	-21.3

ROOF VENTILATION

SECTION R806
R806.1 Ventilation required. Enclosed *attics* and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, or similar material with openings having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.7.

R806.2 Minimum area. The total net free ventilating area shall not be less than 1/150 of the area of the space ventilated except that reduction of the total area to 1/300 is permitted provided that at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914 mm) above the eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1/300 when a Class I or II vapor retarder is installed on the warm-in-winter side of the ceiling.

Exceptions:
1. Enclosed attic/rafter spaces requiring less than 1 square foot (0.0929 m2) of ventilation may be vented with continuous soffit ventilation only.
2. Enclosed attic/rafter spaces over unconditioned space may be vented with continuous soffit vent only.

SQUARE FOOTAGE OF ROOF TO BE VENTED = 2529 SQ.FT.
NET FREE CROSS VENTILATION NEEDED:
WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 16.86 SQ.FT.
WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS I OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 85.1 SQ.FT.

GUARD RAIL NOTES

SECTION R312
R312.1 Where required. *Guards* shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or *grade* below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a *guard*.

R312.2 Height. Required *guards* at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.

Exceptions:
1. *Guards* on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
2. Where the top of the *guard* also serves as a handrail on the open sides of stairs, the top of the *guard* shall not be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.

R312.3 Opening limitations. Required *guards* shall not have openings from the walking surface to the required *guard* height which allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:
1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a *guard*, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
2. *Guards* on the open sides of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

Section N1102.4
N1102.4.1 Building thermal envelope. The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stripped or otherwise sealed with an air barrier material or solid material consistent with Appendix E-2.4 of this code:

1. Blocking and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.
2. Capping and sealing shafts or chases, including flue shafts.
3. Capping and sealing soffit or dropped ceiling areas.

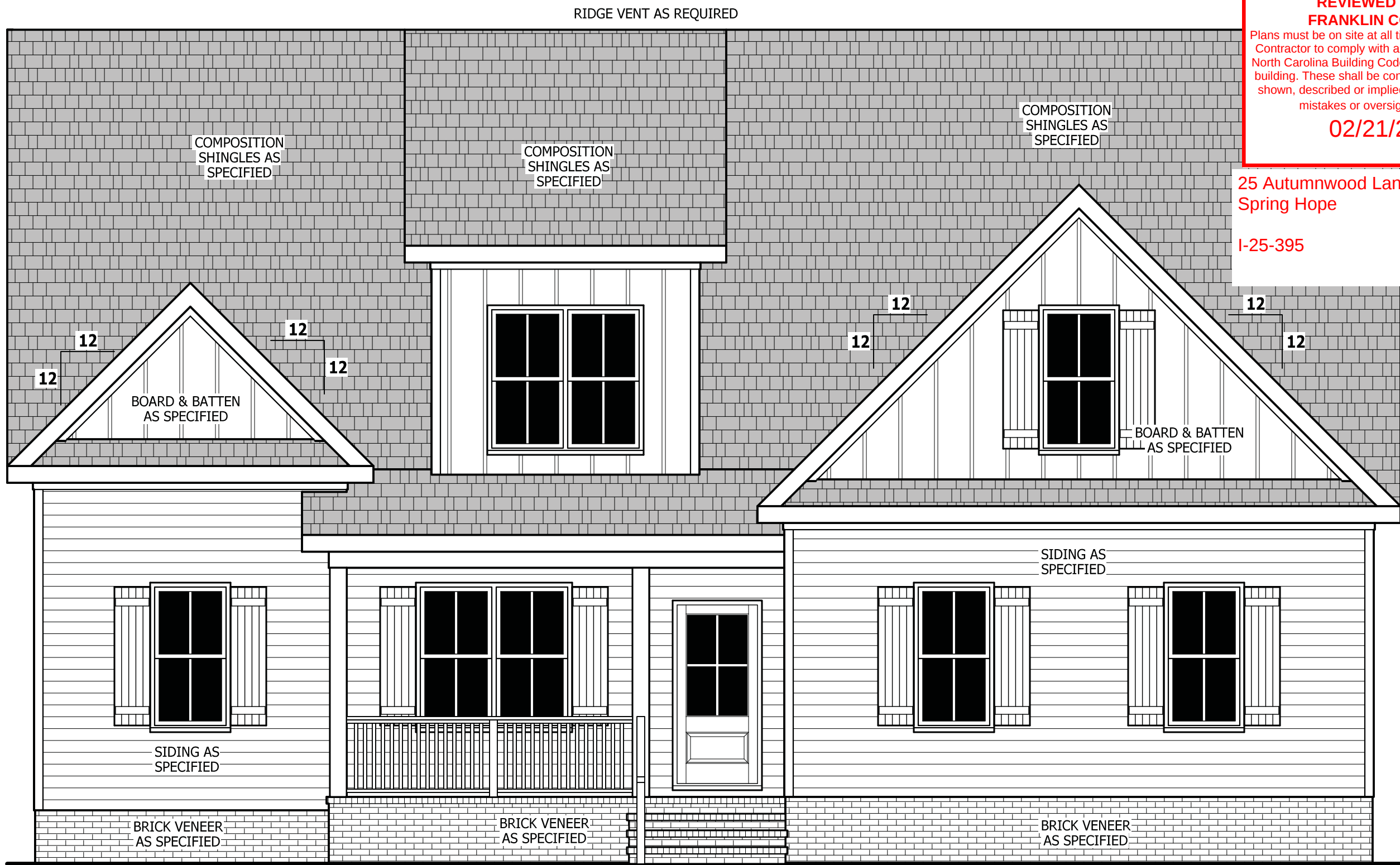
AIR LEAKAGE

Section N1102.4
N1102.4.1 Building thermal envelope. The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stripped or otherwise sealed with an air barrier material or solid material consistent with Appendix E-2.4 of this code:

1. Blocking and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.
2. Capping and sealing shafts or chases, including flue shafts.
3. Capping and sealing soffit or dropped ceiling areas.

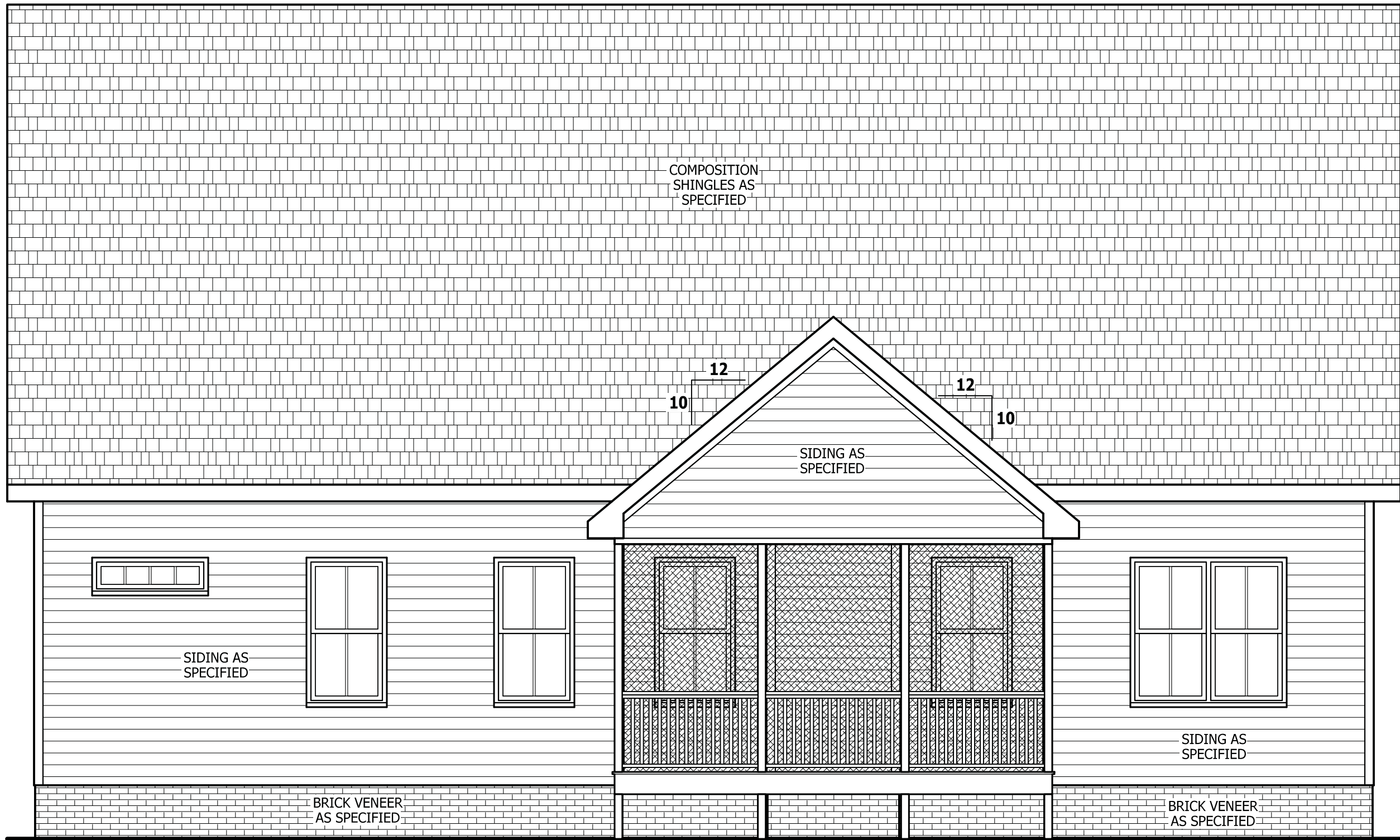
REAR ELEVATION

SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"



REVIEWED FOR CODE COMPLIANCE
FRANKLIN COUNTY NORTH CAROLINA
Plans must be on site at all times. It is the responsibility of the Permit holder or Contractor to comply with all local Ordinances, rules and regulations and the North Carolina Building Codes as if they were part of the specifications for the building. These shall be considered the official approved plans over anything shown, described or implied to the contrary. Reviewer is not responsible for mistakes or oversights during the plan review. -- MCannady

02/21/2025 3:03:59 PM

25 Autumnwood Lane
Spring Hope

I-25-395

TOP OF PLATE
WINDOW HEIGHT
7'-6"
9'-1 1/2"
SECOND FLOOR PLATE HEIGHT

TOP OF PLATE
WINDOW HEIGHT
7'-6"
9'-1 1/2"
FIRST FLOOR PLATE HEIGHT

SQUARE FOOTAGE

FUTURE	
BEDROOM #4	332 SQ.FT.
TOTAL	332 SQ.FT.
HEATED	
FIRST FLOOR	1633 SQ.FT.
PLAYROOM	377 SQ.FT.
TOTAL	2010 SQ.FT.
UNHEATED	
GARAGE	506 SQ.FT.
FRONT PORCH	165 SQ.FT.
SCREENED PORCH	225 SQ.FT.
STORAGE	221 SQ.FT.
TOTAL	1117 SQ.FT.

TOP OF PLATE
WINDOW HEIGHT
7'-6"
9'-1 1/2"
SECOND FLOOR PLATE HEIGHT

TOP OF PLATE
WINDOW HEIGHT
7'-6"
9'-1 1/2"
FIRST FLOOR PLATE HEIGHT

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS.
HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES.
CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION.
THESE DRAWING ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

FRONT & REAR ELEVATIONS

Lot 1 Tantallon

Genesis Building Co., Inc.
5450 OlsWake Forest Road
Suite 102
Raleigh, NC 27609

HAYNES
HOME PLANS, INC.
P.O. Box 702, Wake Forest, NC 27588 919-405-6180 FAX 1-866-491-0396

SQUARE FOOTAGE	
FUTURE	
BEDROOM #4	332 SQ.FT.
TOTAL	332 SQ.FT.
HEATED	
FIRST FLOOR	1633 SQ.FT.
PLAYROOM	377 SQ.FT.
TOTAL	2010 SQ.FT.
UNHEATED	
GARAGE	506 SQ.FT.
FRONT PORCH	165 SQ.FT.
SCREENED PORCH	225 SQ.FT.
STORAGE	221 SQ.FT.
TOTAL	1117 SQ.FT.

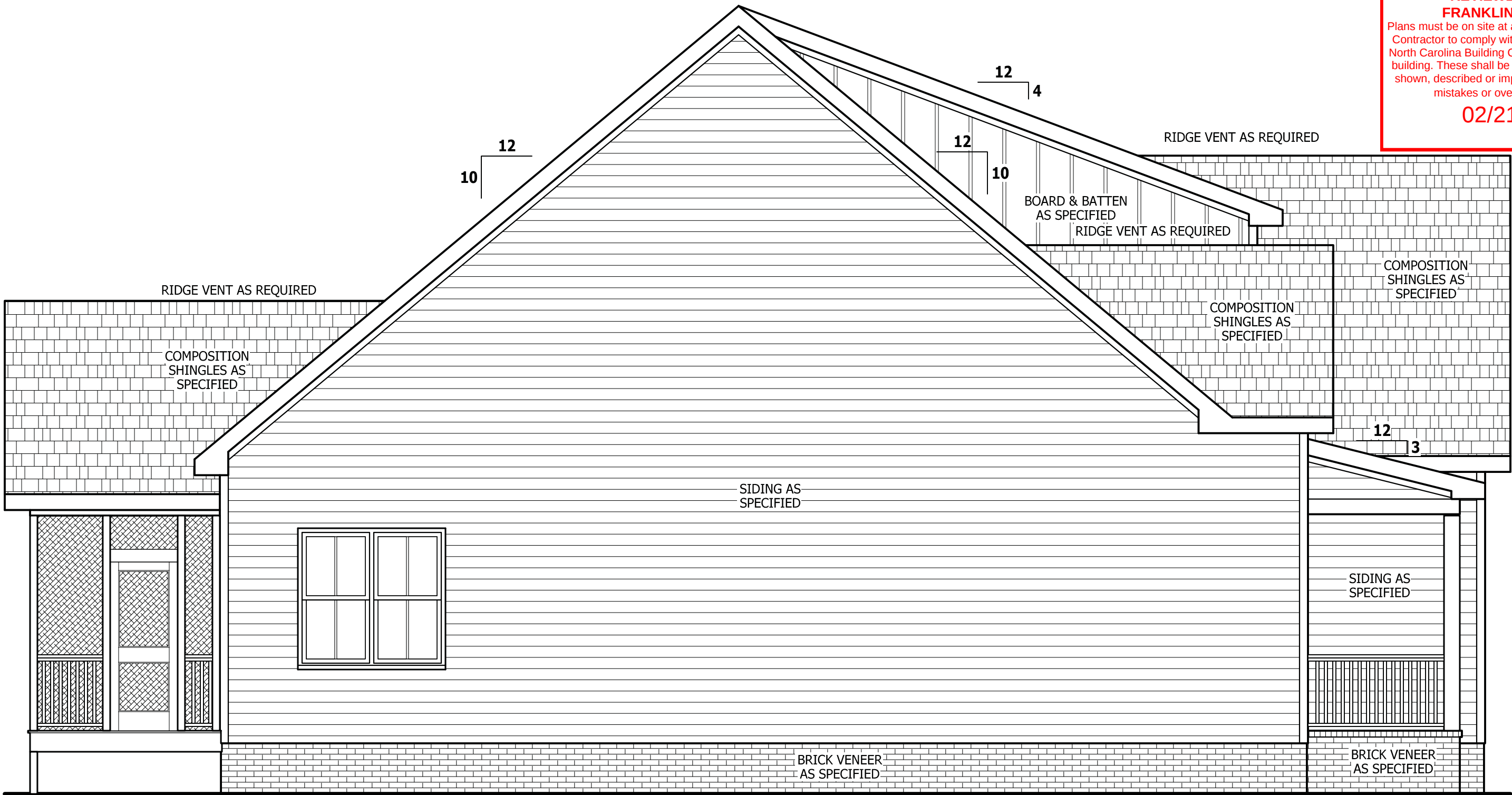
© Copyright 2024
Haynes Home Plans, Inc.

11/20/2024

241101B

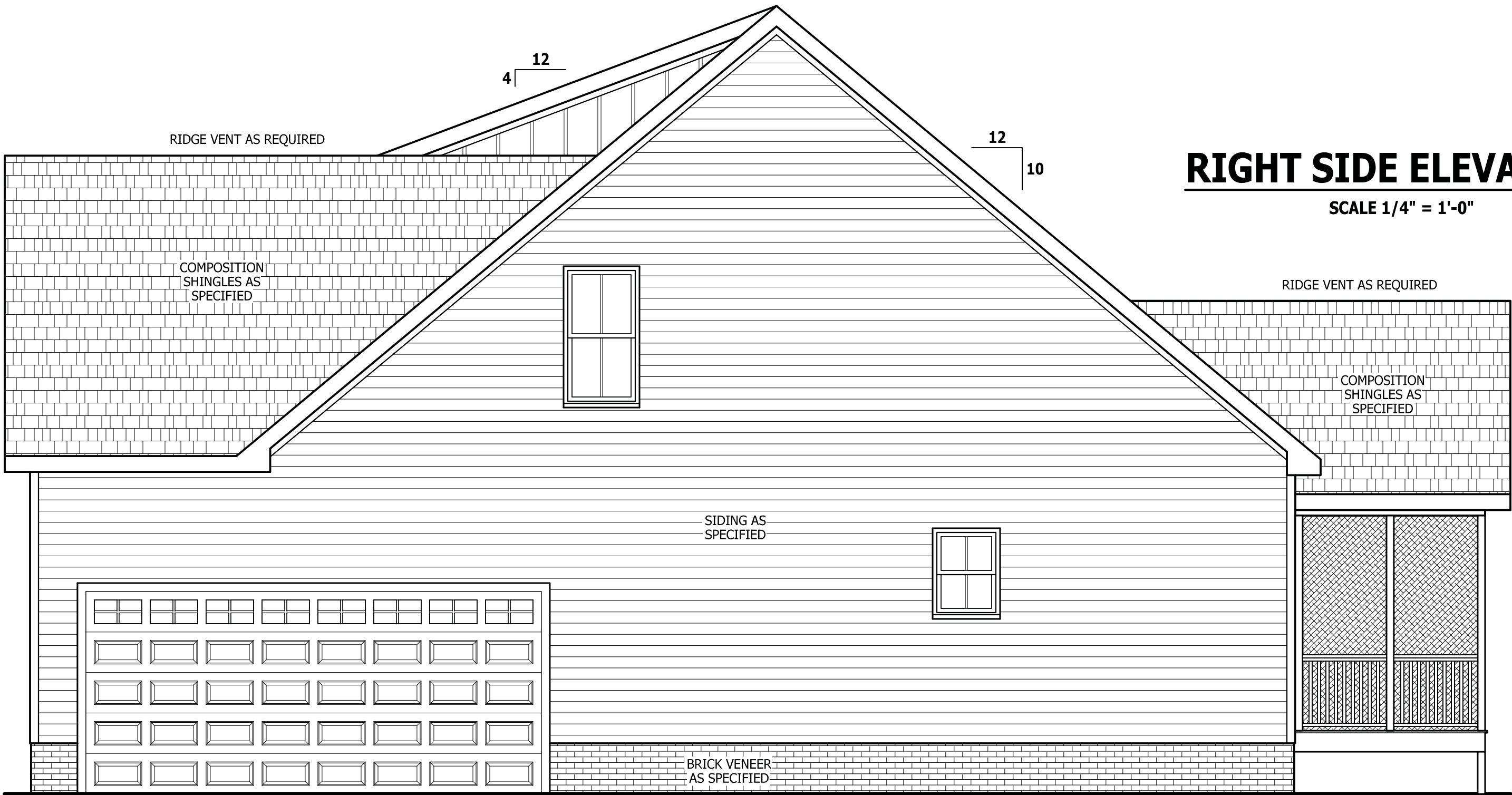
PAGE 1 OF 5

\\archive\Archive\Builder\Genesis Building Co., Inc\241101B Lot 1 Tantallon\241101B Lot 1 Tantallon.aec



LEFT SIDE ELEVATION

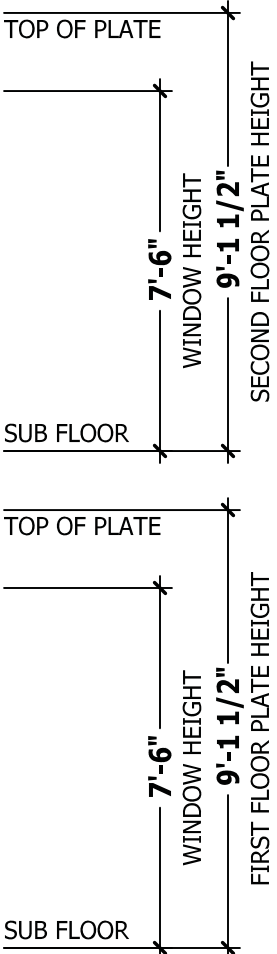
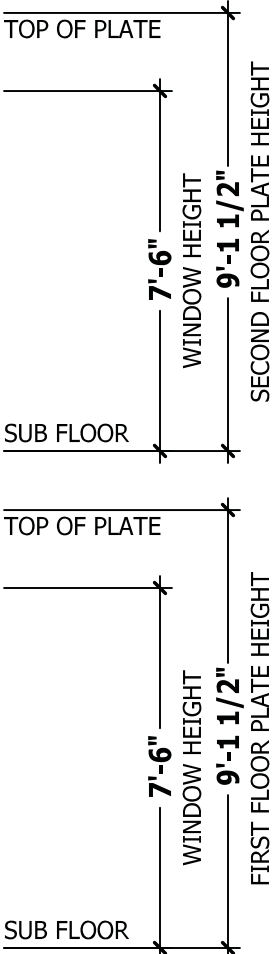
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"

REVIEWED FOR CODE COMPLIANCE
FRANKLIN COUNTY NORTH CAROLINA
Plans must be on site at all times. It is the responsibility of the Permit holder or Contractor to comply with all local Ordinances, rules and regulations and the North Carolina Building Codes as if they were part of the specifications for the building. These shall be considered the official approved plans over anything shown, described or implied to the contrary. Reviewer is not responsible for mistakes or oversights during the plan review. -- MCannady
02/21/2025 3:03:59 PM



PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS.
HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES.
CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION.
THESE DRAWING ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

LEFT & RIGHT ELEVATIONS
Lot 1 Tantallon

Genesis Building Co., Inc.
5450 OlsWake Forest Road
Suite 102
Raleigh, NC 27609

HAYNES
HOME PLANS, INC.
P.O. Box 702, Wake Forest, NC 27588 919-485-6180 FAX 1-866-481-0396

SQUARE FOOTAGE	
FUTURE	
BEDROOM #4	332 SQ.FT.
TOTAL	332 SQ.FT.
HEATED	
FIRST FLOOR	1633 SQ.FT.
PLAYROOM	377 SQ.FT.
TOTAL	2010 SQ.FT.
UNHEATED	
GARAGE	506 SQ.FT.
FRONT PORCH	165 SQ.FT.
SCREENED PORCH	225 SQ.FT.
STORAGE	221 SQ.FT.
TOTAL	1117 SQ.FT.

© Copyright 2024
Haynes Home Plans, Inc.
11/20/2024
241101B
PAGE 2 OF 5

\\archive\Archive\Builder\Genesis Building Co., Inc\241101B Lot 1 Tantallon\241101B Lot 1 Tantallon.aec

REVIEWED FOR CODE COMPLIANCE
FRANKLIN COUNTY NORTH CAROLINA
Plans must be on site at all times. It is the responsibility of the Permit holder or Contractor to comply with all local Ordinances, rules and regulations and the North Carolina Building Codes as if they were part of the specifications for the building. These shall be considered the official approved plans over anything shown, described or implied to the contrary. Reviewer is not responsible for mistakes or oversights during the plan review. -- MCannady
02/21/2025 3:04:00 PM

WALL THICKNESSES

Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for stud face.
Interior walls are drawn as 3 1/2" or as noted 2 X 6 are drawn as 5 1/2", and do not include gypsum.

DWELLING / GARAGE SEPARATION

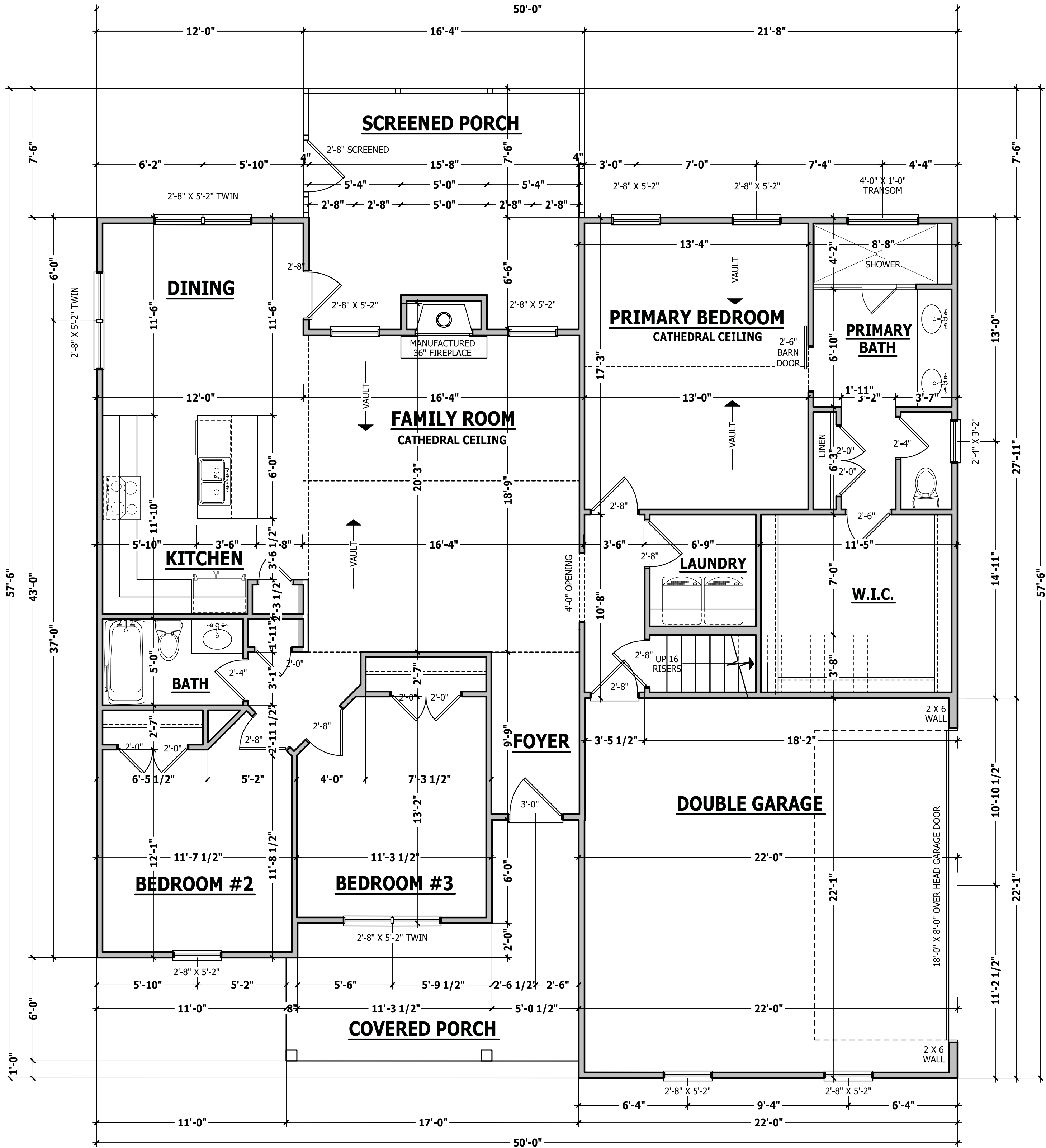
REFER TO SECTIONS R302.5, R302.6, AND R302.7
WALLS. A minimum 1/2" gypsum board must be installed on all walls supporting floor/ceiling assemblies used for separation required by this section.
STAIRS. A minimum of 1/2" gypsum board must be installed on the underside and exposed sides of all stairways.
CEILINGS. A minimum of 1/2" gypsum must be installed on the garage ceiling if there are no habitable room above the garage. If there are habitable room above the garage a minimum of 5/8" type X gypsum board must be installed on the garage ceiling.
OPENING PENETRATIONS. Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors.
DUCT PENETRATIONS. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.
OTHER PENETRATIONS. Penetrations through the separation required in Section R302.6 shall be protected as required by Section R302.11, Item 4.

SQUARE FOOTAGE

FUTURE	
BEDROOM #4	332 SQ.FT.
TOTAL	332 SQ.FT.
HEATED	
FIRST FLOOR	1633 SQ.FT.
PLAYROOM	377 SQ.FT.
TOTAL	2010 SQ.FT.
UNHEATED	
GARAGE	506 SQ.FT.
FRONT PORCH	165 SQ.FT.
SCREENED PORCH	225 SQ.FT.
STORAGE	221 SQ.FT.
TOTAL	1117 SQ.FT.

FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS.
HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES.
CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION.
THESE DRAWING ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

FIRST FLOOR PLAN

Lot 1 Tantallon

Genesis Building Co., Inc.
5450 OlsWake Forest Road
Suite 102
Raleigh, NC 27609

HAYNES
HOME PLANS, INC.
P.O. Box 702, Wake Forest, NC 27588 919-485-6180 FAX 1-866-491-0396

SQUARE FOOTAGE	
FUTURE	
BEDROOM #4	332 SQ.FT.
TOTAL	332 SQ.FT.
HEATED	
FIRST FLOOR	1633 SQ.FT.
PLAYROOM	377 SQ.FT.
TOTAL	2010 SQ.FT.
UNHEATED	
GARAGE	506 SQ.FT.
FRONT PORCH	165 SQ.FT.
SCREENED PORCH	225 SQ.FT.
STORAGE	221 SQ.FT.
TOTAL	1117 SQ.FT.

© Copyright 2024
Haynes Home Plans, Inc.

11/20/2024

241101B

PAGE 3 OF 5

REVIEWED FOR CODE COMPLIANCE
FRANKLIN COUNTY NORTH CAROLINA

Plans must be on site at all times. It is the responsibility of the Permit holder or Contractor to comply with all local Ordinances, rules and regulations and the North Carolina Building Codes as if they were part of the specifications for the building. These shall be considered the official approved plans over anything shown, described or implied to the contrary. Reviewer is not responsible for mistakes or oversights during the plan review. -- McCannady

02/21/2025 3:04:00 PM

WALL THICKNESSES

Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for stud face.

Interior walls are drawn as 3 1/2" or as noted 2 X 6 are drawn as 5 1/2", and do not include gypsum.

ATTIC ACCESS

SECTION R807

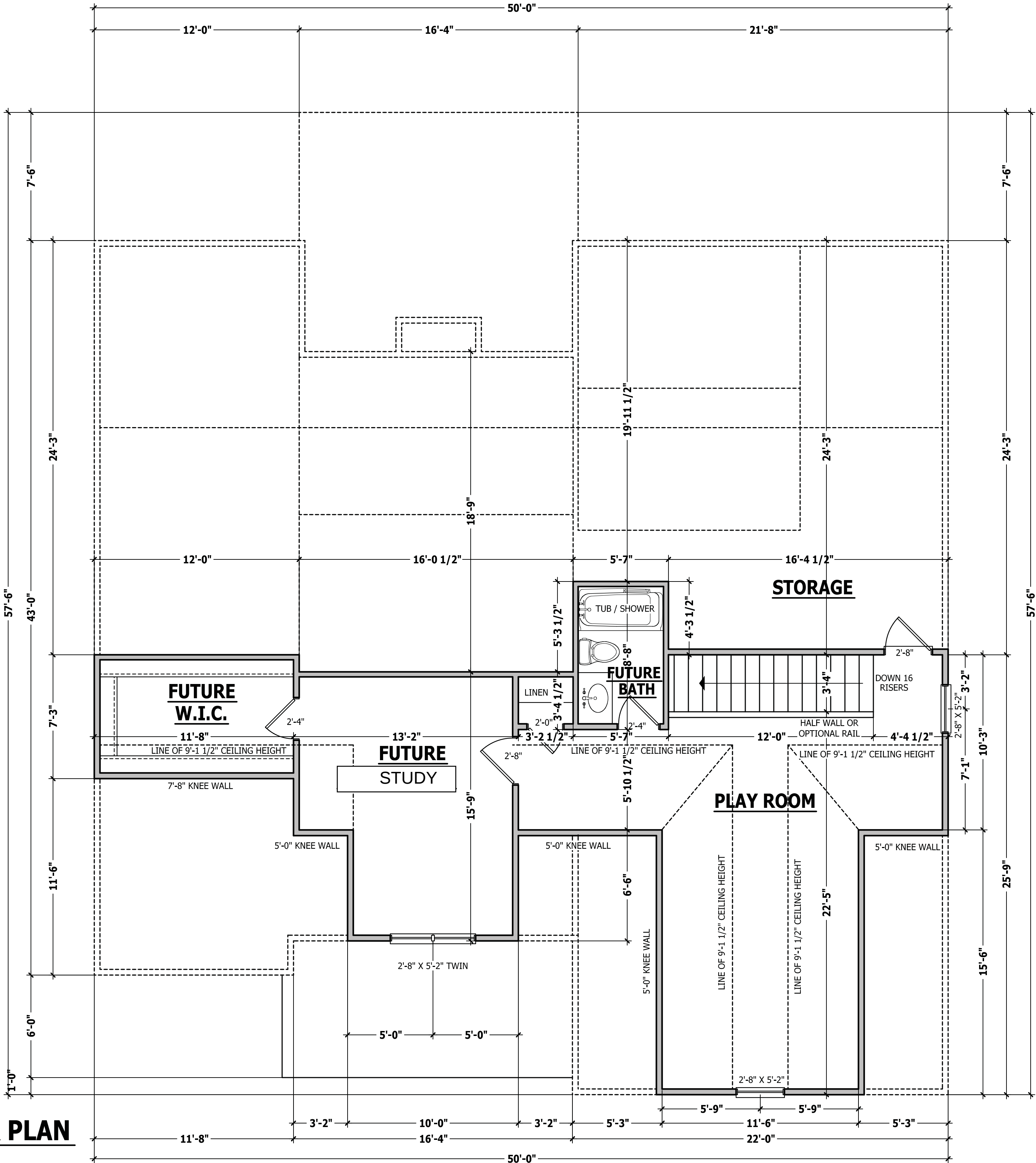
R807.1 Attic access. An attic access opening shall be provided to attic areas that exceed 400 square feet (37.16 m2) and have a vertical height of 60 inches (1524 mm) or greater. The net clear opening shall not be less than 20 inches by 30 inches (508 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

Exceptions:

1. Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access.
2. Pull down stair treads, stringers, handrails, and hardware may protrude into the net clear opening.

SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"



PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS.
HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES.
CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION.
THESE DRAWING ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

SECOND FLOOR PLAN

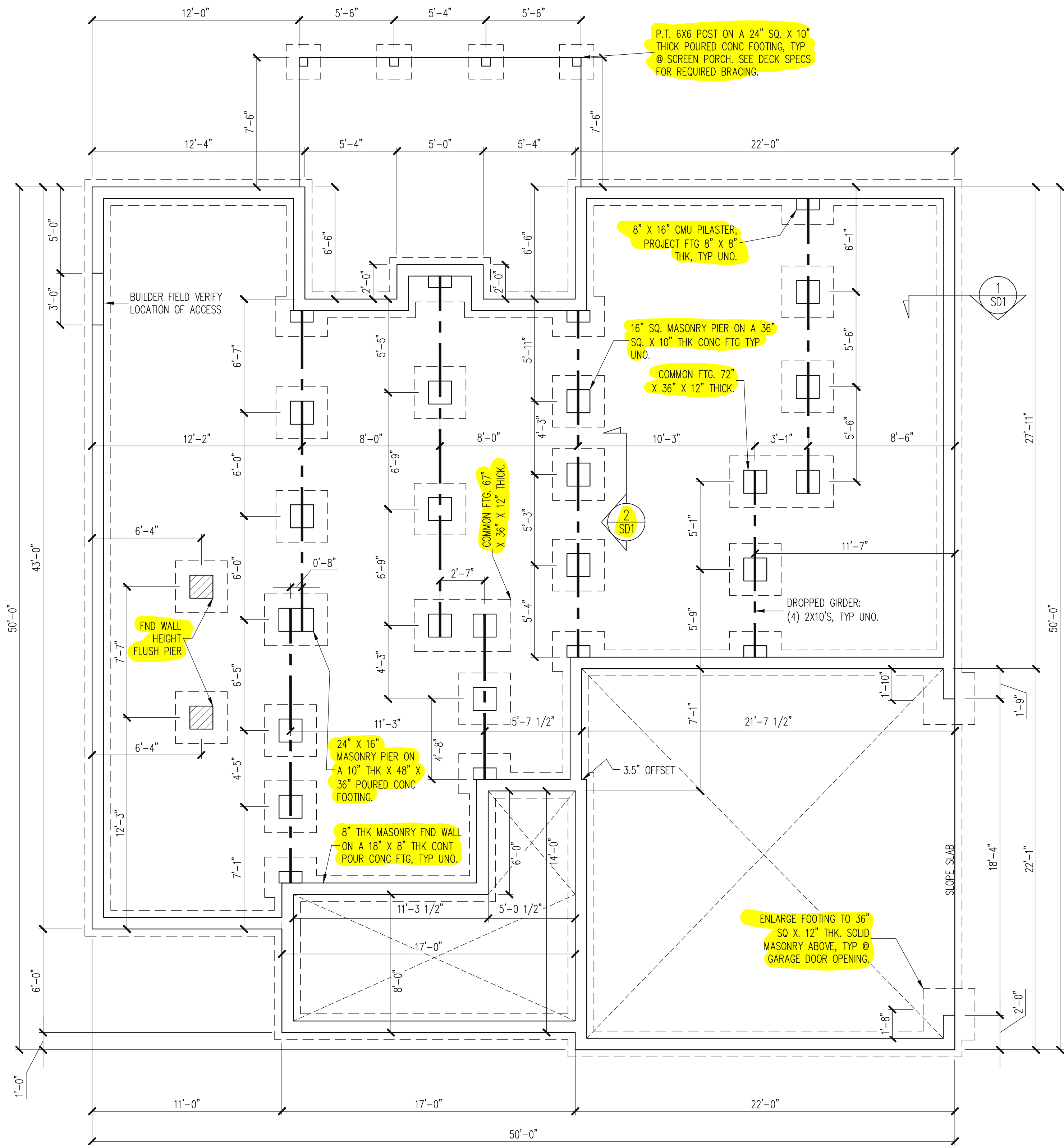
Lot 1 Tantallon

Genesis Building Co., Inc.
5450 OlsWake Forest Road
Suite 102
Raleigh, NC 27609

HAYNES HOME PLANS, INC.
P.O. Box 702, Wake Forest, NC 27588 919-485-6180 FX 1-866-491-0396

SQUARE FOOTAGE	
FUTURE	
BEDROOM #4	332 SQ.FT.
TOTAL	332 SQ.FT.
HEATED	
FIRST FLOOR	1633 SQ.FT.
PLAYROOM	377 SQ.FT.
TOTAL	2010 SQ.FT.
UNHEATED	
GARAGE	506 SQ.FT.
FRONT PORCH	165 SQ.FT.
SCREENED PORCH	225 SQ.FT.
STORAGE	221 SQ.FT.
TOTAL	1117 SQ.FT.

© Copyright 2024
Haynes Home Plans, Inc.
11/20/2024
241101B
PAGE 4 OF 5

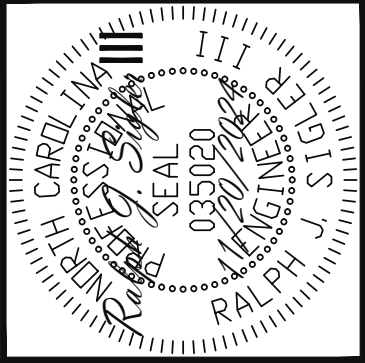


The structural design of this plan is the property of Engineering Tech Associates, P.A. These plans are for the one time use at the location and for the client listed. Engineering Tech Associates, P.A. assumes no liability for these plans if they are reproduced, in whole or in part, for construction at any other location without written permission from Engineering Tech Associates, P.A.

REVIEWED FOR CODE COMPLIANCE
FRANKLIN COUNTY NORTH CAROLINA
Plans must be on site at all times. It is the responsibility of the Permit holder or Contractor to comply with all local Ordinances, rules and regulations and the North Carolina Building Codes as if they were part of the specifications for the building. These shall be considered the official approved plans over anything shown, described or implied to the contrary. Reviewer is not responsible for mistakes or oversights during the plan review. -- MCannady
02/21/2025 3:04:00 PM

NOTES:
-HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION. REINFORCEMENT AND GROUTING SHALL BE DETERMINED BY FINAL SITE CONDITIONS.
-BUILDER TO FIELD LOCATE CRAWLSPACE ACCESS OPENING WITH MINIMUM DIMENSIONS OF 18X24. DO NOT LOCATE ACCESS OPENING BELOW POINT LOADS FROM ABOVE WITHOUT ENGINEER APPROVAL.

FOUNDATION PLAN
1/4" = 1'-0"



STRUCTURAL ENGINEERS
License No. C-3870
318 W Millbrook Rd. Suite 201
Raleigh, North Carolina 27609
Phone (919) 844-1661

Engineering Tech Associates, P.A.

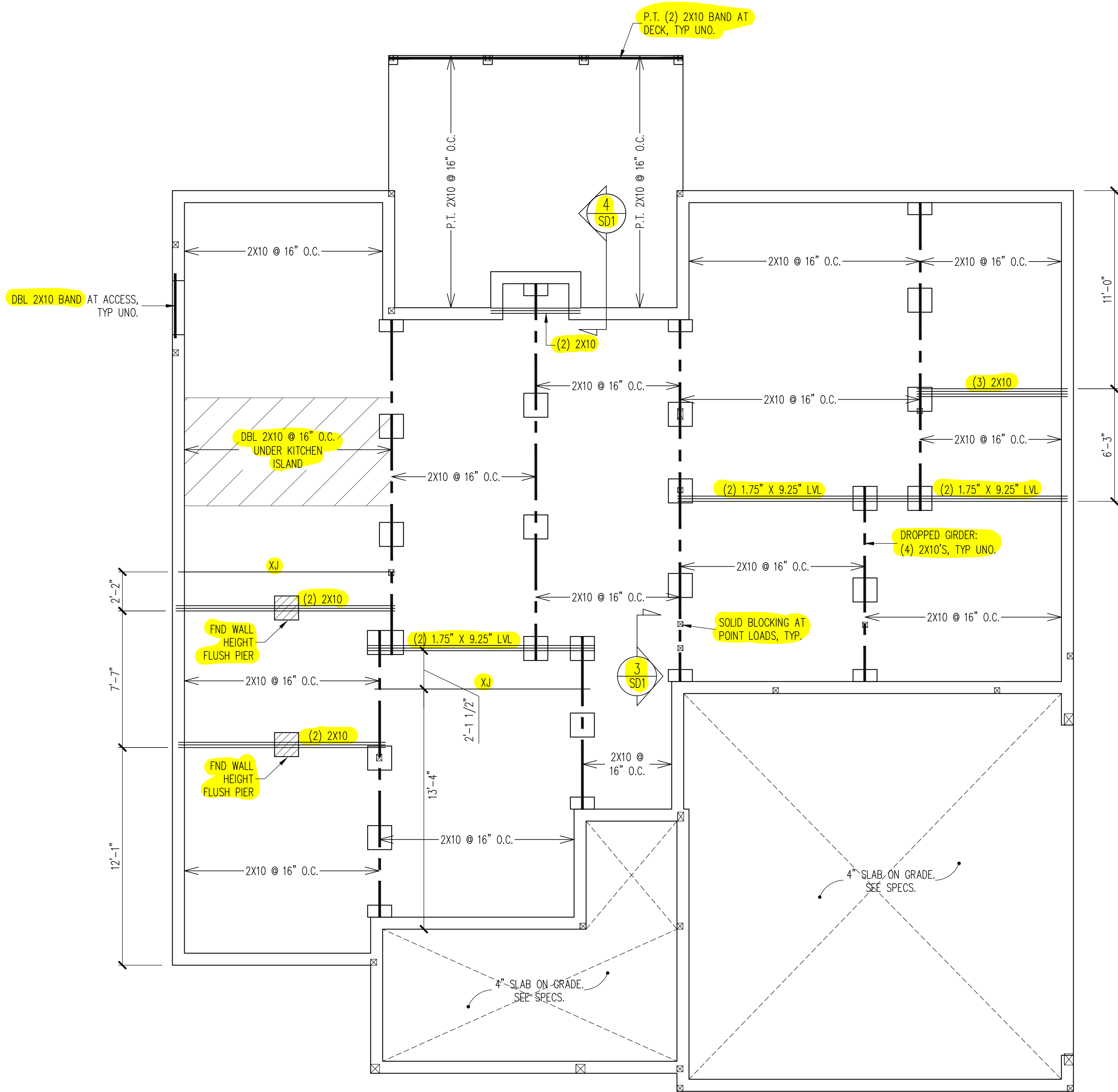
GENESIS BUILDING COMPANY				
SCOPE: STRUCTURAL ADDENDUM				
LOC:	1 TANTALLON	REV #	REF PROJ #	DATE

ENG: RJS/WHF
DATE: 11/20/2024

PROJECT NO.
24-65-363

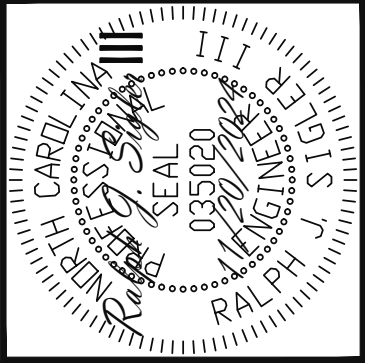
SHEET NO.
S1

1 of 7



REVIEWED FOR CODE COMPLIANCE
FRANKLIN COUNTY NORTH CAROLINA
Plans must be on site at all times. It is the responsibility of the Permit holder or Contractor to comply with all local Ordinances, rules and regulations and the North Carolina Building Codes as if they were part of the specifications for the building. These shall be considered the official approved plans over anything shown, described or implied to the contrary. Reviewer is not responsible for mistakes or oversights during the plan review. -- MCannady
02/21/2025 3:04:00 PM

CRAWLSPACE PLAN
1/4" = 1'-0"



Engineering Tech Associates, P.A.
STRUCTURAL ENGINEERS
License No. C-3870
318 W Millbrook Rd, Suite 201
Raleigh, North Carolina 27609
Phone (919) 844-1661

GENESIS BUILDING COMPANY		STRUCTURAL ADDENDUM		REV # REF PROJ # DATE	
SCOPE:	1 TANTALLON				
LOC:					

ENG: RJS/WHF
DATE: 11/20/2024

PROJECT NO.
24-65-363

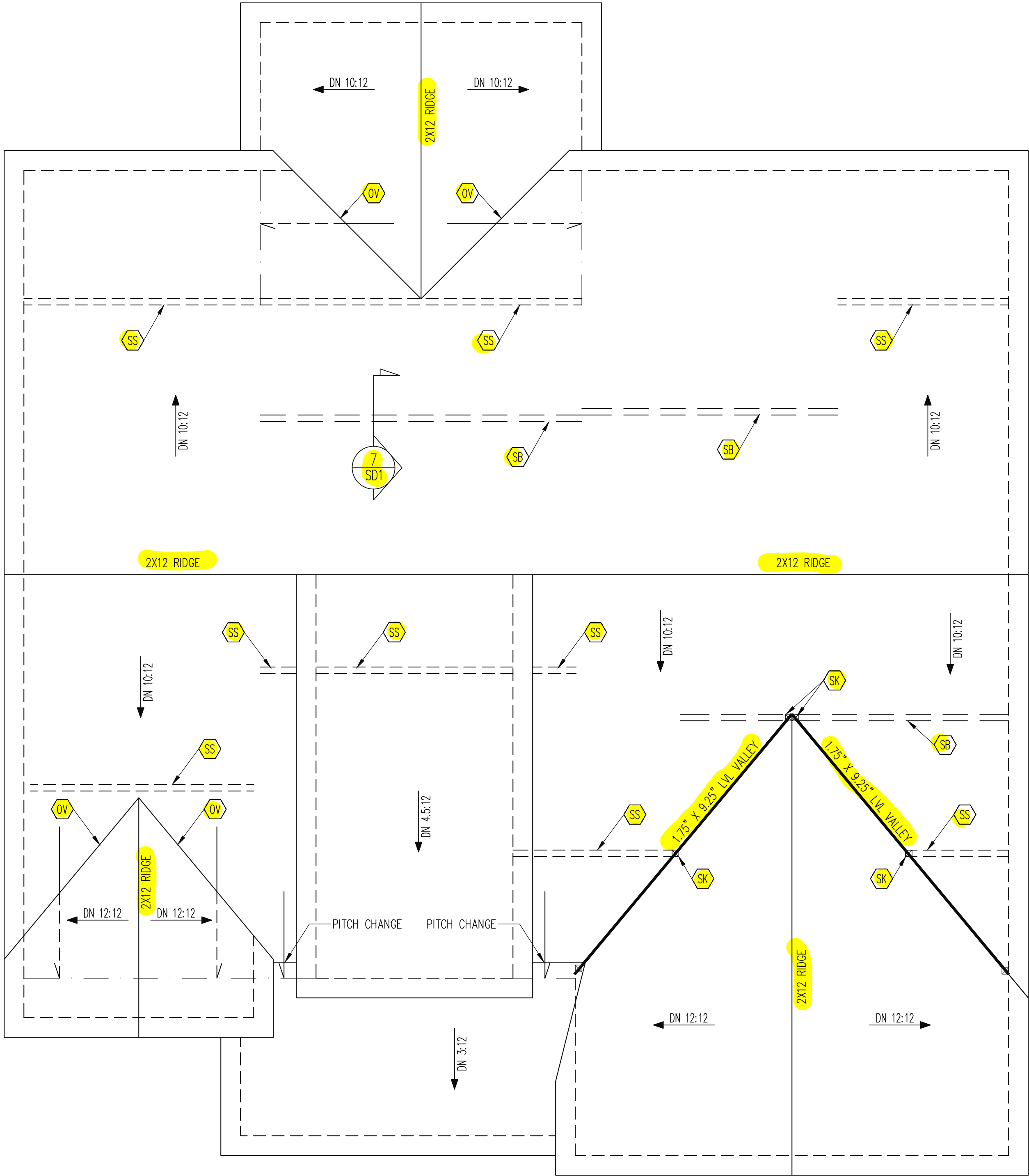
SHEET NO.
S2
2 of 7

02/21/2025 3:04:00 PM

Engineering Tech

4 of 7

WALLS AND CEILING 1/4" = 1'-0"



The structural design of this plan is the property of Engineering Tech Associates, P.A. These plans are for the one time use at the location and for the client listed. Engineering Tech Associates, P.A. assumes no liability for these plans if they are reproduced, in whole or in part, for construction at any other location without written permission from Engineering Tech Associates, P.A.

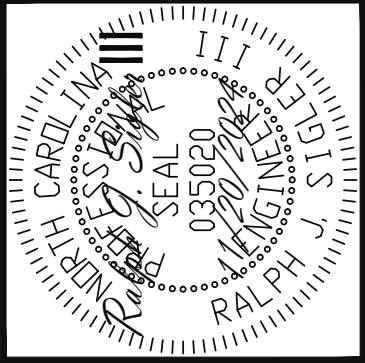
REVIEWED FOR CODE COMPLIANCE
FRANKLIN COUNTY NORTH CAROLINA
Plans must be on site at all times. It is the responsibility of the Permit holder or Contractor to comply with all local Ordinances, rules and regulations and the North Carolina Building Codes as if they were part of the specifications for the building. These shall be considered the official approved plans over anything shown, described or implied to the contrary. Reviewer is not responsible for mistakes or oversights during the plan review. -- McCannady
02/21/2025 3:04:01 PM

FRAMING NOTES
ROOF ONLY
-COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O.
-COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.
-VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

FRAMING SCHEDULE
ROOF ONLY
OV OVERFRAME VALLEY (2X10 SLEEPER)
SB SUPPORT/SPLICE RAFTERS ON BEAM BELOW
SK DBL 2X4 STIFF KNEE
SS SUPPORT/SPLICE RAFTERS ON KNEEWALL BELOW

ROOF FRAMING PLAN

1/4" = 1'-0"



STRUCTURAL ENGINEERS
License No. C-3870
318 W Millbrook Rd. Suite 201
Raleigh, North Carolina 27609
Phone (919) 844-1661

Engineering Tech Associates, P.A.

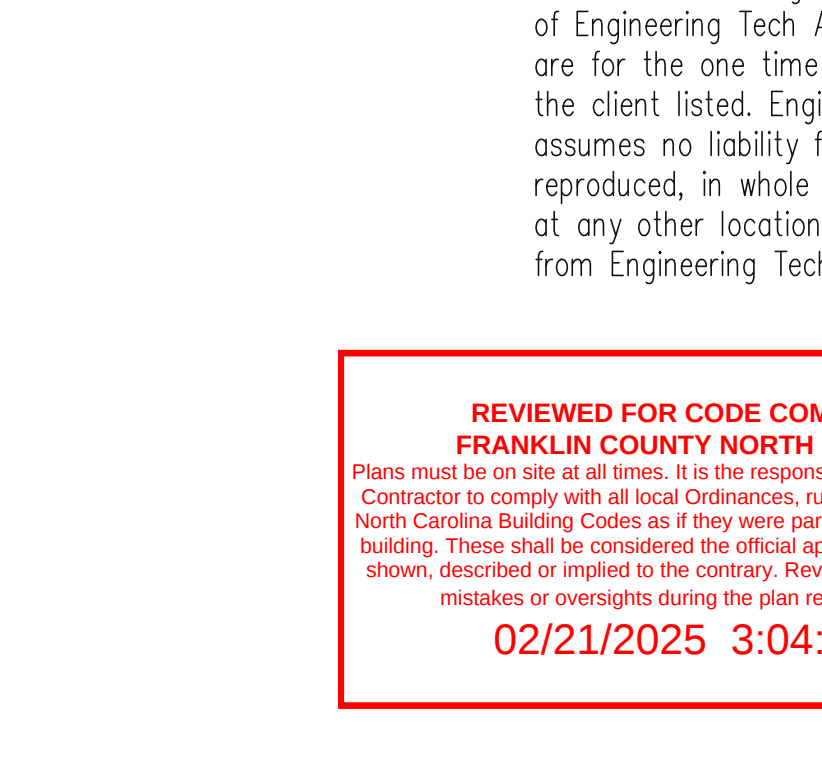
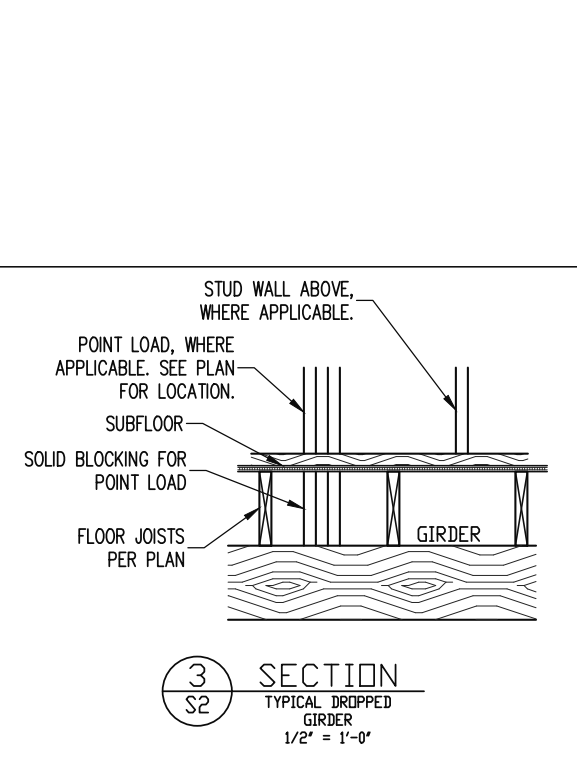
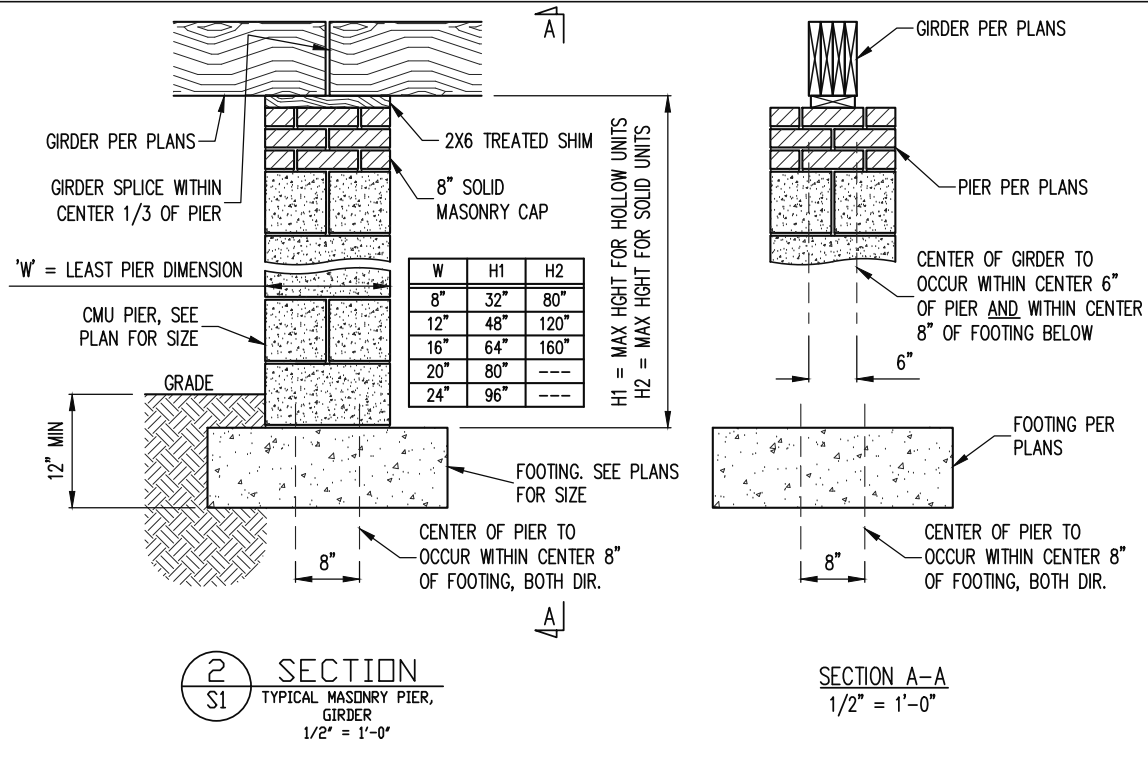
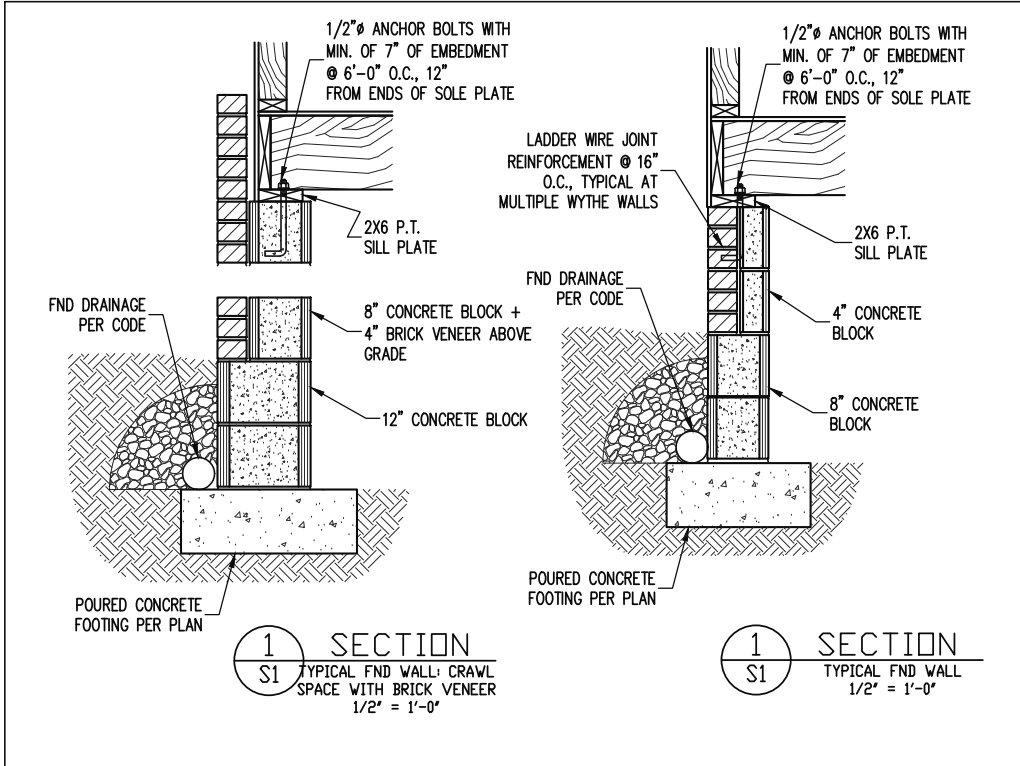
GENESIS BUILDING COMPANY			
SCOPE:	STRUCTURAL ADDENDUM		
LOC:	1 TANTALLON	REV #	REF PROJ #
			DATE

ENG: RJS/WHF
DATE: 11/20/2024

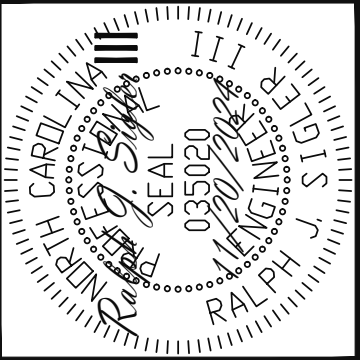
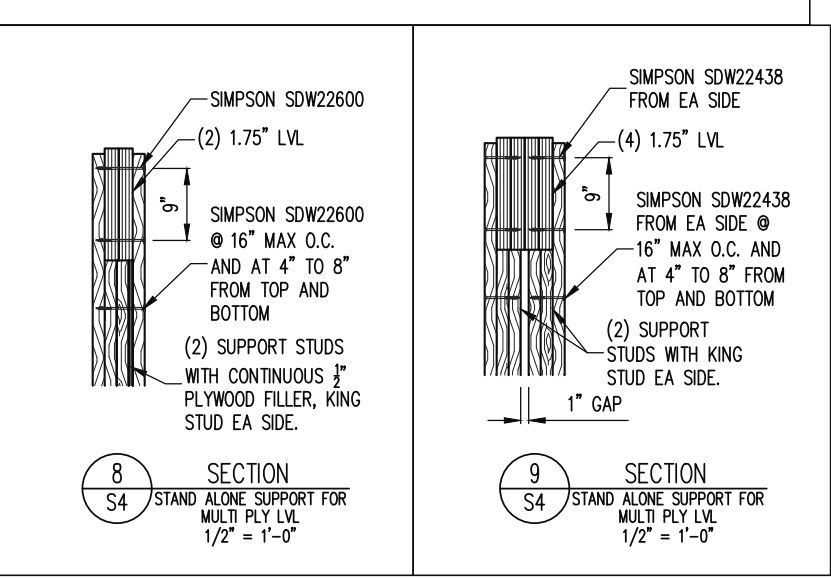
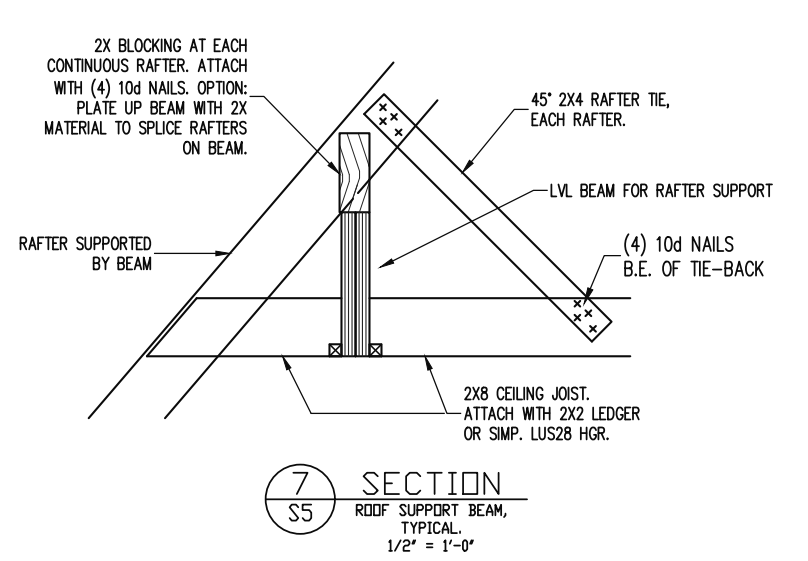
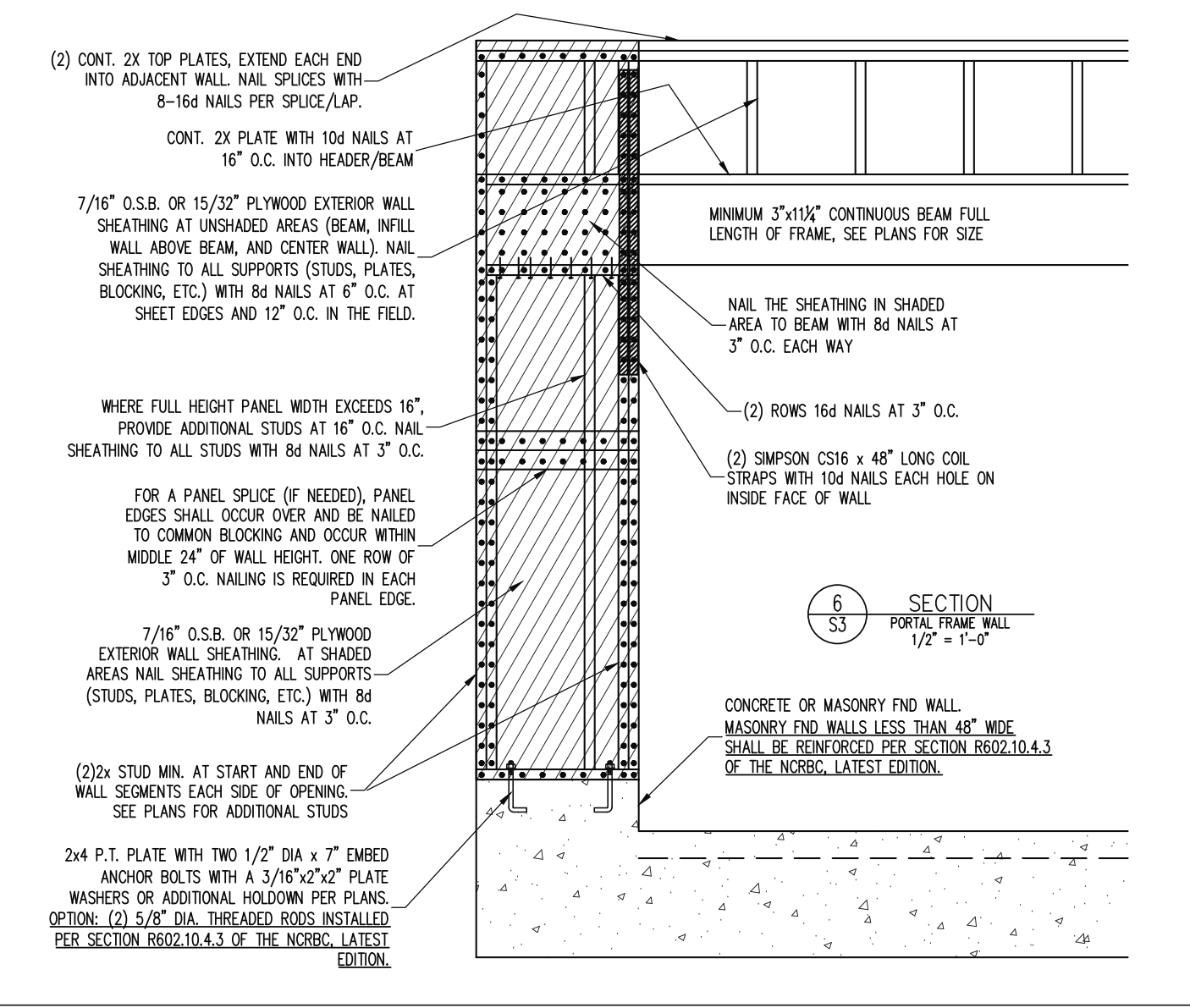
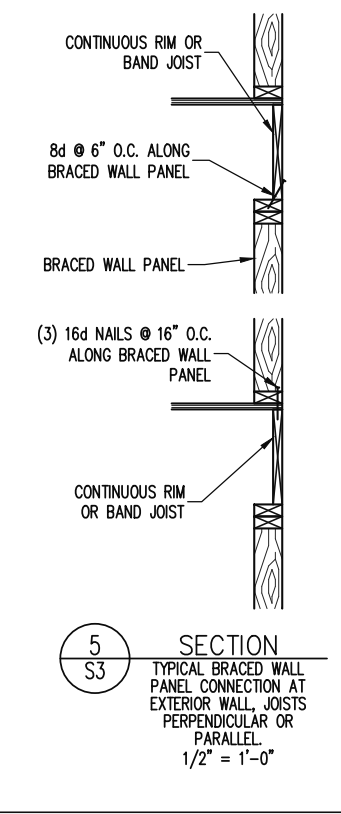
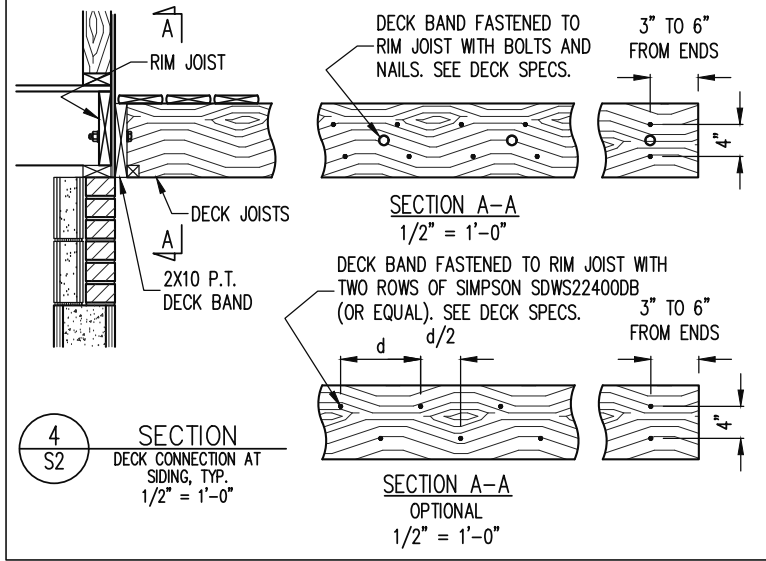
PROJECT NO.
24-65-363

SHEET NO.
S5

5 of 7



REVIEWED FOR CODE COMPLIANCE
FRANKLIN COUNTY NORTH CAROLINA
Plans must be on site at all times. It is the responsibility of the Permit holder or Contractor to comply with all local Ordinances, rules and regulations and the North Carolina Building Codes as if they were part of the specifications for the building. These shall be considered the official approved plans over anything shown, described or implied to the contrary. Reviewer is not responsible for mistakes or oversights during the plan review. -- McCannady
02/21/2025 3:04:01 PM



Engineering Tech Associates, P.A.
STRUCTURAL ENGINEERS
License No. C-3870
318 W Millbrook Rd. Suite 201
Raleigh, North Carolina 27609
Phone (919) 844-1661

GENESIS BUILDING COMPANY		STRUCTURAL ADDENDUM		REV # REF PROJ #		DATE	
SCOPE:	LOC:	1 TANTALLON					

ENG: RJS/WHF
DATE: 11/20/2024

PROJECT NO.
24-65-363

SHEET NO.
SD1
6 of 7

