

Lake Royale

Soil and Erosion Permit

This Soil and Erosion permit has been issued to Hyal Properties
for lot# 3134 at street address 211 Sacred Fire on
21 Feb 2024, in Lake Royale, Louisburg, North Carolina.

This permit is associated with lot clearing & new home construction

The Lake Royale CC&R Manager has reviewed and approved the Soil and Erosion application for this site. The following conditions must be met during the project:

- There is to be no vehicle parking or supply deliveries in the right-of-way.
- Silt fence must be installed properly and maintained.
- Seed and straw must thoroughly cover all disturbed and bare ground **within twenty-four (24) hours** of project completion.
- Any soil erosion off the property must be cleaned up immediately, and after any storm event. This includes into ditches, and onto the road.
- Any damage to the right-of-way must be repaired.
- The lot cannot be clear cut.
- All activity associated with this Soil and Erosion permit has the appropriate permits and approval.

If the site is not maintained according to these requirements, CC&R will contact the property owner with instructions to come into compliance and a time frame to do so.

This permit is open until the associated project is complete and the disturbed ground is stabilized. Unless otherwise noted, the allowable timeframe is six (6) months after the associated project is complete.

Contact the POA office for final inspection upon project completion.

LAKE ROYALE PROPERTY OWNERS ASSOCIATION

By: 
Tony Harback, Compliance Manager

Road Frontage:

81.00

Lake Royale Driveway Permit

Fee: \$. 81.00

This Driveway permit has been issued to Hylka Properties, for lot# 3134 at street address 211 Sacred Fire, on 21 Feb 2024, in Lake Royale, Louisburg, North Carolina. This permit is associated with new driveway installation.

The Lake Royale Maintenance and CC&R Manager has reviewed and approved the Driveway application for this site, to the best of their assessment based on the information provided. The following conditions must be met during the project

- **Minimum 57 stone for top material**, ABC stone can be used as a base only.
- Driveway stone must be a minimum 4" thick.
- Driveway must go a **minimum forty (40) feet** into the property, and must be a **minimum twelve (12) feet wide**.
- The maximum driveway width for a one (1) entrance driveway is thirty (30) feet or one half (1/2) of property road frontage, whichever is smaller. The maximum driveway width for a two (2) entrance driveway thirty (30) feet each or one half (1/2) of property road frontage, whichever is smaller. Ribbon driveways are to be a minimum of two (2) feet wide and located so they are separated a minimum five (5) feet on center with grass in between.
- Driveway must be installed according to the approved plan.
- Culvert pipe must be **minimum twelve (12) inch diameter** pipe.
- Concrete or asphalt apron must be installed within **one (1) year** of this permit.
- Concrete or asphalt apron lip cannot be higher than **one (1) inch** above the road.
- Driveway apron must be a **minimum of fifteen (15) feet** into the property from road.
- No concrete truck washout can occur within the right-of-way.
- No vehicle parking or supply deliveries can occur within the right-of-way and impede or cause a hazard to traffic. Failure to do so can result in either fines and/or tickets.

This site is subject to weekly inspections.

If the site is not maintained according to these requirements, CC&R will contact the property owner with instructions to come into compliance and a time frame to do so.

Contact the POA office for final inspection upon project completion.

LAKE ROYALE PROPERTY OWNERS ASSOCIATION

By: Tony Harback

Tony Harback, Compliance Manager

There is fee only if this application includes a new driveway, based on total road frontage at \$1.00 per lineal foot. PAID FEB 21 2024

Road Frontage: 81' Payment must be received prior to review Application Cost: \$

81.00
00 14

Lake Royale Soil Erosion and Driveway Permit Application

Residential and Multi Use Lots

Today's Date: 2/8/2024

Review to be completed within 5 business days

ALL INFORMATION MUST BE COMPLETED

Property owner:

Last name Hykal Properties LLC

First name

911 address

Mailing address 211 Sacred Fire

Louisburg, NC 27549

Phone: 919-637-0516

Email: roy@hykalproperties.com

Lot Number: 3134

Building contractor

Contact Roy Hykal

Address: PO BOX 1945 Wake

Forest NC

27588

Phone (703)408-4028

Email rhgenc@gmail.com

Notes: rhgenc

RH General Contracting LLC
License # 88396

Grading contractor

Contact Mante Masonry

Address: 8201 Brownleigh Dr,

Raleigh NC

27617

Phone (919)493-3793

Email:

lorenzo@mantemasonryinc.com

Notes:

Lot Type: Residential: ☒ Multi-Use: ☐ Correspondence To: Owner ☒ Builder: ☐

FOR CC&R OFFICE USE ONLY- Notes and Comments:

Type of Construction:

☒ House ☐ Cottage ☐ Addition ☐ Driveway ☐ Back Fill or Grading ☐ Lot Clearing
☐ Other (Specify) _____

Answer "Yes", "No", or fill out all the Following Questions:

1. Will any soil be removed from the site? Yes ☐ No ☒
IF YES, State amount and where it will be moved to _____
2. Will any "Fill" Material be brought into the site? Yes ☒ No ☐
IF YES, State amount, location and type of fill. Compact fill, 5 truck loads, house location
3. Form of re-stabilization (sod, seed & mulch, landscaping, etc.) installed?
seed and mulch, landscaping
4. Will the entire lot be graded? Yes ☐ No ☒
Indicate area in feet: 163'
5. Does the lot abut the lake, stream, pipes across the street or wetland? Yes ☐ No ☒
Does the project require a DNR Permit? Yes ☐ No ☒ (Attach a copy of the permit)
6. Percent of land being cleared 55%
7. Road frontage length in feet (applicable for new driveways): 81.02 total, 12ft driveway

Additional Information

Will there be a dumpster? Yes ☒ No ☐ IF YES, Where? mark on plot plan

Will there be a porta-potty? Yes ☒ No ☐ IF YES, Where? mark on plot plan

Will there be materials delivered and kept on site? Yes ☒ No ☐ IF YES, Where? mark on plot plan

Will there be other parking required for workers? Yes ☒ No ☐ IF YES, Where? mark on plot plan

Distance from earth disruption to nearest open drain, lake, stream, pond or wetland in feet: N/A

Anticipated earth disruption starting date: Month April Year 2024

Anticipated project completion and final vegetation re-established date:

Month Aug Year 2024 Quantity and type of final vegetation: attached Plan

Please provide a post-construction landscape plan that includes: type, size, and quantity of plants, as well as location. The proposed landscape plan must match the scale of the project.

Driveway

Is this a new or existing driveway? New ☒ Existing ☐ IF EXISTING, the driveway must be brought to our current requirements if not already.

Base Driveway material ABC Top Driveway material Concrete

Driveway pipe length 24' Driveway pipe diameter 15"

Number of driveway entrances 1

Driveway apron size [width & length] 12ft apron width x 50'

FOR INTERNAL USE ONLY- Maintenance Department Notes and Comments:

Application Cost Calculation

The New Driveway Fee is calculated on **total road frontage** where installing a driveway. The application fee is **one dollar (\$1) per one (1) linear foot of owned road frontage**. Please follow these guidelines:

1. **One new driveway** is based on the total road frontage of that road. (Note: Corner lots and lots that connect between two roads, would be based on the road frontage of the road the driveway is located off.)
2. **Two new driveways** on a single road will have the fee of total road frontage for that road.
3. **Two new driveways** being installed on a lot with two road frontages and off each road, the fee will be the total road frontage of the corner lot.
4. Recombined or adjoining lots will count toward total road frontage, regardless of location of driveway.
5. Adding a second driveway with an existing driveway will have the fee based on the road frontage of where that second driveway is going.
6. Lots cannot have more than **two driveways total**.

Road frontage length in feet: 81.02 x \$1 for application cost: \$81.02

include a SURVEY & documentation showing:

1. Legal description
2. Location map with north arrow (separate sheet – 8 ½ X 11 paper)
3. Contours or a topo map which will accurately show the existing natural drainage patterns.
(maps2.roktech.net/franklin_GM4)
 - i. Go to the Franklin County GIS website and go to the map, or use the link above
 - ii. Zoom in to your property, enough to see the area around it, ensure your property is highlighted
 - o You can do this by either entering the address in the “Search” bar at the top, or searching with the “Quick Search” binoculars on the left side
 - o *Please note:* Sometimes the search options do not work correctly
 - o You can also zoom into your property, and select it by using the “Select by Point” information icon
 - iii. Select “Map Layers” from the menu at the top
 - iv. In the pop-up menu, expand the “Environmental” tab
 - v. Check “Contours” in the menu
 - o *Please note:* If you are not zoomed in enough this will not be selectable
 - vi. Save or print the contour map
 - o Please ensure the property is still selected
4. Dwelling, accessory buildings, road, driveway, lakes, streams, wetlands locations, etc..
5. Location of parking for all workers. (Within property lines)
6. Material delivery location. (Within property lines)
7. Temporary soil erosion controls (silt fence, vegetative buffer strips, etc.)
8. Area of soil disturbance.
9. Type of permanent vegetative restoration: sod, seed/mulch, blankets, etc. Type, quantity, and location of trees, bushes, etc.
10. Statement on the site plan stating who is responsible for maintenance of the soil erosion controls and that the *soil erosion controls will be maintained weekly and after every storm event.*
11. Location and distance to nearest open drain, lake, stream, pond, or wetland (must be shown on site location map)
12. **All items must be drawn to scale.**

Please note: Some items on this checklist may not be required for all projects and permit requests.

Upon approval, a Soil and Erosion Permit and/or Driveway Permit will be issued.

Please contact the CC&R Department, with any questions or concerns:

Tony Harback

tony.harback@fsresidential.com

(252) 221-9440

Property owner signature section

I hereby certify that I have read the Covenants, By-laws and Rules and Regulations applicable to Lake Royale.

I hereby certify that to the best of my knowledge that the said property referenced herein is in compliance with all applicable Covenants, By-laws and Rules and Regulations as of the date of this application.

I hereby certify that I am the legal property owner of said property referenced herein as of the date of this application.

I further certify that I have read the NC Riparian Buffer Protection Rules if applicable to my project.

By signing this document, I acknowledge that contractors are not permitted to park in roadway or area between property and roadway.

By signing this document, I acknowledge that I must ensure that the installation and/or construction of the soil erosion controls and driveway described within this application for permit, shall be performed in accordance with:

- The description provided within this application
- Current Lake Royale Covenants, By-laws and Rules and Regulations as of the date of this application, and all applicable county and state requirements.

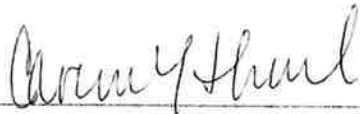
By signing this document, I accept all responsibility for any damage occurring due to construction.

By signing this document, I further acknowledge that the Lake Royale Building Committee or its designee shall have the right to verify and/or investigate compliance with the provisions contained within this application and in conjunction with Lake Royale Covenants, Bylaws, Rules and Regulations as of this date. The undersigned grants permission to the Lake Royale POA and its agents to come onto the lot described in this application for purposes of inspecting the premises in connection with this application or for inspecting compliance with any approvals or conditions issued in connection with this application.

I certify that, to the best of my knowledge, the information given is accurate & complete.

I also certify that I have read and understand the above disclaimer.

Property Owner Signature



Date

2/8/2024

Soil Study for Septic System Suitability

November, 2023

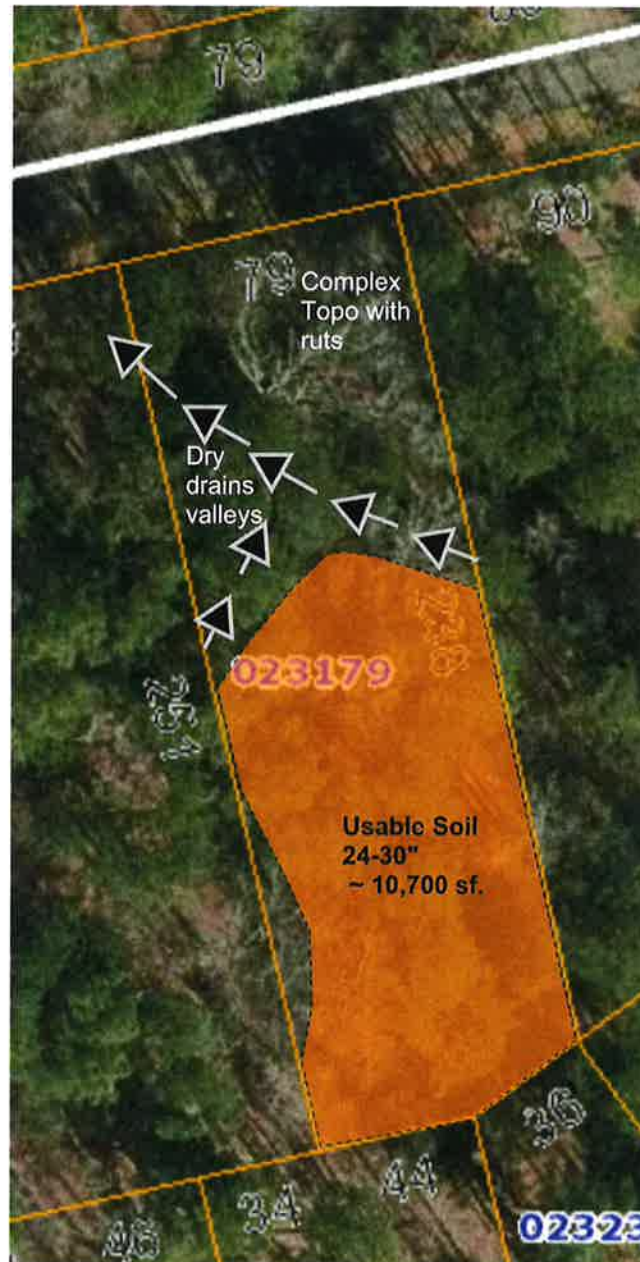
John R. Davis, Jr. LSS

023179 211 Sacred Fire Rd.

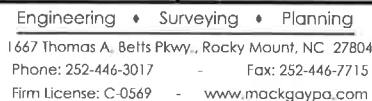
Franklin County, NC



John R. Davis, Jr.



The soil area shown in "Orange" is **usable** for gravelless septic trenches with a soil loading rate of 0.3 gpd/sqft. There is approximately 10,700 square feet of usable soil that is 24 to 30 inches deep. A single family house with 3 or 4 bedrooms will require approximately 10,000 square feet of usable soil for a septic system including the repair area. If you can grade the front of the property with the valleys for a proposed house site, then you may pump the wastewater to a drainfield in the back yard. Also, you may be able to designate the required repair area to be an alternative septic system with a smaller footprint to expand the proposed house site as required. This report may be used to support the traditional permitting method by Franklin County Health Department.



Firm License: C-0569 - www.mackayva.com



IMPROVEMENT PERMIT

Franklin County Health Department
107 Industrial Drive
Louisburg, NC 27549
Phone:

For Office Use Only

*CDP File Number 404396 - 1

County ID Number:

Evaluated For: NEW

PERMIT VALID UNTIL: 01/19/2029

***NOTE TO INSPECTIONS DIVISION:** Building Permits cannot be issued with this Improvement Permit.

Applicant: ROY HYKAL

Address: 211 SACRED FIRE RD

City: LOUISBURG

State/Zip: NC 27549

Phone #:

Property Owner: HYKAL PROPERTIES

Address: 211 SACRED FIRE RD

City: LOUISBURG

State/Zip: NC. 27549

Phone #:

Property Location & Site Information

Address: 211 SACRED FIRE RD
LOUISBURG, NC 27549

Subdivision: LAKE ROYALE

Block/Phase: NEW

Lot:

Directions

Road #:

211 SACRED FIRE RD

Structure: SINGLE FAMILY

of Bedrooms: 3

of People: 5

*Water Supply: N/A

Initial System

Usable Soil Depth: 30

Design Flow: 360

Soil Application Rate: 0.3000

*System Classification/Description:

TYPE III B. SYSTEM W/SINGLE EFFLUENT PUMP

*Proposed System:

25% REDUCTION

System Specifications

Minimum Trench Depth: Inches

Maximum Trench Depth: 18 Inches

Septic Tank: 1000 Gallons

Pump Required ☒ Yes ☐ No ☐ May Be Required

Pump Tank: 1000 Gallons

Repair System Required: ☒ Yes ☐ No ☐ No, but has Available Space

Repair System

Usable Soil Depth:

Soil Application Rate:

*System Classification/Description:

N/A

*Proposed System:

Minimum Trench Depth: Inches

Maximum Trench Depth: Inches

Pump Required: ☐ Yes ☐ No ☐ May Be Required

Pump Tank: Gallons

No grading or construction activity is allowed in areas designated for system and repair without approval of Health Department.

*Site Modifications

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements.

*Permit Conditions

INSTALL ON CONTOUR. MAINTAIN PROPER SETBACKS. PUMP TO D-BOX.

CDP File Number: 404396

County ID Number:

The Department and Local Health Department may impose conditions on the issuance and may revoke the permits for failure of the system to satisfy the conditions, the rules, or this article. This permit is subject to revocation if the site plan, plat, or intended use changes (NCGS 130A-335(f)). The person owning or controlling the system location, installing, operation, maintenance, monitoring, reporting, and repair (per rule .0301(a)).

Authorized State Agent: Ennis, Crystal Date of Issue: 01/19/2024
☐ Hand Drawing ☐ Import Drawing ****Site Plan/Drawing attached.**** Total Time: (HH:MM) :



Construction Authorization

Franklin County Health Department
107 Industrial Drive
Louisburg, NC 27549
Phone: _____

For Office Use Only

*CDP File Number: 404396 - 1
County ID Number: _____
Evaluated For: NEW

PERMIT VALID UNTIL: 01/19/2029

☐ Open Pump System Sheet

Applicant: ROY HYKAL

Address: 211 SACRED FIRE RD

City: LOUISBURG

State/Zip: NC 27549

Phone #: _____

Property Owner: HYKAL PROPERTIES

Address: 211 SACRED FIRE RD

City: LOUISBURG

State/Zip: NC. 27549

Phone #: _____

Property Location & Site Information

Address/Road #: 211 SACRED FIRE RD
LOUISBURG, NC 27549

Subdivision: LAKE ROYALE Phase: NEW Lot: _____

Directions:

Structure: SINGLE FAMILY

211 SACRED FIRE RD

of Bedrooms: 3

of People: 5

*Water Supply: COMMUNITY

System Specifications

Usuable Soil Depth: 30

Minimum Trench Depth: _____ Inches

Design Flow: 360

Maximum Trench Depth: 18 Inches

Soil Application Rate: 0.3000

*System Classification/Description:

Minimum Soil Cover: _____ Inches

TYPE III B. SYSTEM W/SINGLE EFFLUENT PUMP

Maximum Soil Cover: _____ Inches

*Proposed System:

*Distribution Type: PUMP TO GRAVITY

25% REDUCTION

Nitrification Field: _____ Sq. ft.

Septic Tank: 1,000 Gallons

No. Drain Lines: 3

Pump Required: ☒ Yes ☐ No ☐ May Be Required

Total Trench Length: 300 ft.

☐ Inches O.C.

Pump Tank: 1,000 Gallons

Trench Spacing: _____ - 9

☒ Feet O.C.

Grease Trap: _____ Gallons

Trench Width: _____ - 3

☐ Inches

Aggregate Depth: _____ inches

☒ Feet

Septic Tank Installer

Grade Level Required: ☐ I ☐ II ☐ III ☐ IV

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements.

*Permit Conditions:

INSTALL ON CONTOUR. MAINTAIN PROPER SETBACKS. PUMP TO D-BOX.

The Authorization for Wastewater System Construction shall be valid for a period equal to the period of validity of the Improvement Permit and may be issued at the same time the Improvement Permit issued (NCGS 130A-336(b)). If the installation has not been completed during the period of validity of the Construction Permit, the information submitted in the application for a permit or Construction Authorization shall become invalid, and may be suspended or revoked (.0204(k)(1)). The person owning or controlling the system shall be responsible for assuring compliance with the laws, rules, and permit conditions regarding system location, installation, operation, maintenance, monitoring, reporting and repair (per rule .0301(a)).

Authorized State Agent: Ennis, Crystal

Date of Issue: 01/19/2024

☐ Hand Drawing

☐ Import Drawing

****Site Plan/Drawing attached.****

Total Time : (HH:MM) _____



File # 404396 PIN# _____

Property Address: 211 Sacred Fire Rd

Applicant or Owner Name: Roy Hykal

Environmental Health Septic/Well Permit Diagram

Building permits cannot be issued nor should construction begin without Construction Authorization issuance.

☒ Septic Improvement Permit ☒ Septic Construction Authorization (CA) ☐ CA Reissue** ☐ As Built
☐ Well Construction Authorization ☐ Additional Diagram/Specifications Attached

Diagram Date**: 1-19-24 EHS: Cybil E

**Any previously dated CA diagram is revoked and/or invalid. Confirm this is the valid diagram for the site before beginning any construction.

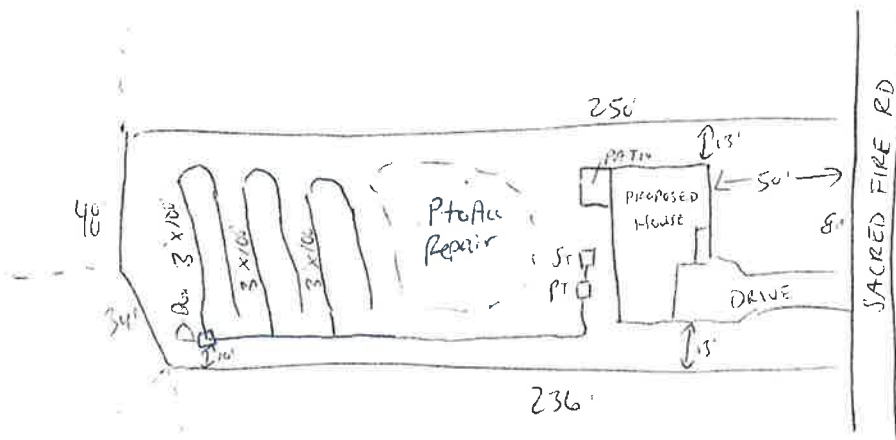
Installation/grouting inspections may be scheduled the day before, or, the day of installation until 9am by contacting the Environmental Health office at 919 496 8100. A revisit fee may apply if installation is not ready for inspection at the time requested. Septic Operations Permits will be issued after installation is approved, all permits conditions are met, and any outstanding fees are paid. Well Certificate of Completion will be issued after well head approval, all permit conditions are met, and any outstanding fees are paid.

Septic Tank 1000 Pump Tank 1000 Drainfield 3'x300' Type System Pto Acc Max Trench Depth 18"

Septic Contractor _____ Septic/Pump tank dates _____ Pump fee? NO YES pd

Well Contractor _____ Well Grout date: _____

* Drawing not to scale
 * See attached soil map by John Davis for reference



Soil Study for Septic System Suitability

November, 2023

John R. Davis, Jr. LSS

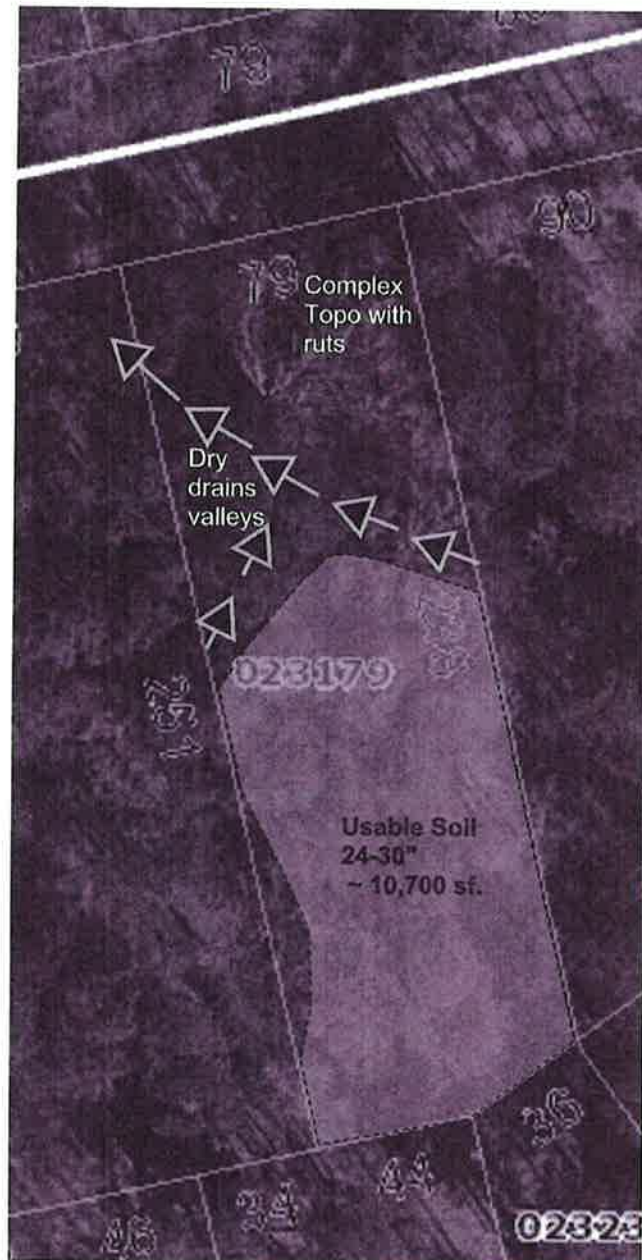
023179 211 Sacred Fire Rd.

Franklin County, NC

← 50 ft →



John R. Davis, Jr.



The soil area shown in "Orange" is **usable** for gravelless septic trenches with a soil loading rate of 0.3 gpd/sqft. There is approximately 10,700 square feet of usable soil that is 24 to 30 inches deep. A single family house with 3 or 4 bedrooms will require approximately 10,000 square feet of usable soil for a septic system including the repair area. If you can grade the front of the property with the valleys for a proposed house site, then you may pump the wastewater to a drainfield in the back yard. Also, you may be able to designate the required repair area to be an alternative septic system with a smaller footprint to expand the proposed house site as required. This report may be used to support the traditional permitting method by Franklin County Health Department.



Health Department
107 Industrial Drive, Suite C
Lenoir, NC 27545
Phone: 919-486-1333
Fax: 919-486-6127
www.franklincountync.us

FRANKLIN COUNTY ENVIRONMENTAL HEALTH

PUMP SYSTEM FEE SEPTIC SYSTEM PUMP REQUIREMENTS

An additional fee of fifty dollars (\$50.00) is assessed when a pump and related components are required for a new septic system. This fee must be paid prior to the Operations Permit being issued. Franklin County Environmental Health request the fee is paid before beginning the septic installation to make the final inspection go smoothly. The septic permit will not be signed off and a CO cannot be obtained until this fee is paid. This fee may be paid in person or by mail at:

Franklin County Health Department
Environmental Health Section
107 Industrial Dr, Suite C
Lenoir NC 27545

When making payment, please provide the permit number and the applicant name to ensure the payment is applied to the correct permit.

PUMP TO GRAVITY DISTRIBUTION

Unless otherwise noted on your septic permit or related attachments, the minimum type distribution method for your septic system is by means of a distribution box (D-box). This is achieved by pumping the wastewater to a D-box and allowing gravity to naturally disperse the wastewater equally to each drain line. This type distribution may be used for up to four (4) drain line laterals. The D-box should be watertight. The supply line is to be terminated in the D-box with a 90 degree elbow directed downwards to prevent a "swirling" action of the wastewater. The D-box location should be marked on-site to make it easily identifiable and prevent damage.

REQUIREMENTS FOR PUMP SYSTEMS (Pump to conventional, pressure manifold, or LPP)

The following requirements must be met, in addition to the requirements on the permit itself:

- Tanks and Risers:**
 - all tanks shall be constructed according to plans which have been approved by the Division of Environmental Health
 - pump tanks shall have a riser which extends to at least 8" above the finished grade
 - pump tanks should be of "one piece" construction; if not, it shall be tested for water-tightness by the approved method (if a soil wetness condition exist within 5' of the tank top) -risers must be properly sealed to the top of the tank
 - pipes shall be properly sealed into the tank
 - pipes and conduit must exit through "knock-outs" provided
 - vent shall be installed on pump tank if over 30' from facility

Supply Line:

- supply line shall be Schedule 40 PVC or stronger
- supply line shall have a check-valve, gate valve, and a threaded union (in order to allow easy removal of pump)-corrosion resistant rope or chain shall also be connected to pump
- supply line into box shall be elbowed with a 90 and extended down to within 2" of the bottom of the distribution box
- supply line shall be properly sealed at pump tank and box

Electrical:

- all connections, pump controllers, and alarm components shall be enclosed in a NEMA 4X (watertight) enclosure
- enclosure shall be securely mounted on a treated 4x4 post, adjacent to the pump tank, and at least 12" above grade
- wires from pumps and control floats shall be conveyed from the riser to the pump tank, panel through sealed electrical conduit (shall be sealed to be watertight and gas-tight)
- original plugs shall be used, with no splices in the wire cables
- control floats shall be sealed mercury type
- supply line shall be suspended from a PVC arm or "Christmas Tree" (not from the Alarm System)
- power to high-water alarm shall be on a separate circuit from power to the pump
- alarm shall be audible and visible to system user
- alarm system shall be NEMA 4X or equivalent if mounted outside
- NEMA 4X junction box, containing a means of disconnection for the alarm float, shall be provided adjacent to the pump tank, if the alarm panel is located inside the facility

electrical service or a generator must be available for final inspection in order to check pump and alarm system