



File# 414541 PIN# _____

Property Address: 130 Bold Dr

Applicant Or Owner Name: Mungo Homes

Environmental Health Septic/Well Permit Diagram

Building permits cannot be issued nor should construction begin without Construction Authorization issuance.

☒ Septic Improvement Permit ☒ Septic Construction Authorization (CA) ☐ CA Reissue** ☐ As Built
☐ Well Construction Authorization ☒ Additional Diagram/Specifications Attached

Diagram Date**: 6-7-24 EHS: [Signature]

****Any previously dated CA diagram is revoked and/or invalid. Confirm this is the valid diagram for the site before beginning any construction.**

Installation inspections may be scheduled the day before or the day of installation by 9am. Contact the Environmental Health office at 919 496-8100. A revisit fee may apply if installation is not ready for inspection at the time requested. SEPTIC OPERATIONS PERMITS will be issued after installation is approved, all permit conditions are met, and any outstanding fees are paid. WELL CERTIFICATE OF COMPLETION will be issued after well head approval, all permit conditions are met, and any outstanding fees are paid.

Septic Tank 1250 Pump Tank 1300 Drain field 3'x540' Type System PtoA ^{P. manifold} Max trench depth 20"

Septic Contractor _____ Septic/Pump tank dates _____ PUMP FEE PAID _____

Well Contractor _____ Well Head Date: _____ PUMP FINAL: _____ N/A (CIRCLE)

- I.P. + C.A issued under 'aZ' rules
- See attached packet from CCSC.



NC DEPARTMENT OF HEALTH AND HUMAN SERVICES

ROY COOPER • Governor

KODY H. KINSLEY • Secretary

MARK BENTON • Chief Deputy Secretary for Health

SUSAN KANSAGRA • Assistant Secretary for Public Health

Division of Public Health

 Submittal Includes: ☒ (a2) Improvement Permit ☒ (a2) Construction Authorization ☐ Fee \$ _____

IMPROVEMENT PERMIT FOR G.S. 130A-335(a2)

County: FranklinPIN/Lot Identifier: 1834-93-6576Issued To: Mungo HomesProperty Location: 130 Bold DriveSubdivision (if applicable) Maison Ridge Lot #: 38 Block: _____ Section: _____LSS Report Provided: Yes ☒ No ☐If yes, name and license number of LSS: Jason Hall, NC LSS #1248New ☐Expansion ☐System Relocation ☐Change of Use ☐Facility Type: Single Family, 5-BedroomNumber of bedrooms: 5 Number of Occupants: ≤10 Other: _____Design Wastewater Strength: ☒ Domestic ☐ High Strength ☐ Industrial Process WastewaterProposed Design Daily Flow: 600 GPD Proposed LTAR (Initial): 0.30 Proposed LTAR (Repair): 0.30Proposed Wastewater System Type*: III bg (Initial) Pump Required: ☒ Yes ☐ No ☐ May be requiredProposed Wastewater System Type*: III bg (Repair) Pump Required: ☒ Yes ☐ No ☐ May be required

*Please include system classification for proposed wastewater system types in accordance with Rule .1301 Table XXXII

Effluent Standard: ☒ DSE ☐ HSE ☐ NSF/ANSI 40 ☐ TS-I ☐ TS-II ☐ RCWSaprolite System (Initial): ☐ Yes ☒ No Saprolite System (Repair): ☐ Yes ☒ NoFill System (Initial): ☐ Yes ☒ No If yes, specify: ☐ New ☐ Existing (when adding more than 6 inches of fill to system area provide a fill plan)Fill System (Repair): ☐ Yes ☒ No If yes, specify: ☐ New ☐ Existing (when adding more than 6 inches of fill to system area provide a fill plan)Usable Depth to LC (Initial)*: 39 Usable Depth to LC (Repair)*: 33 * Limiting ConditionMax. Trench Depth (Initial)*: 20 Max. Trench Depth (Repair)*: 18 * Measured on the downhill side of the trenchArtificial Drainage Required: ☐ Yes ☐ No If yes, please specify details: _____Type of Water Supply: ☐ Private well ☐ Public well ☐ Shared well ☐ Municipal Supply ☐ Spring ☒ Other: C. WellDrainfield location meets requirements of Rule .0508: Yes ☒ No ☐ Drainfield location meets requirements of Rule .0601: Yes ☒ No ☐Permit valid for: ☒ Five years [site plan submitted pursuant to GS 130A-334(13a)] ☐ No expiration [plat submitted pursuant to GS 130A-334(7a)]

Permit conditions:

Licensed Soil Scientist Print Name: Jason HallLicensed Soil Scientist Signature: [Signature] Date: 5/6/24

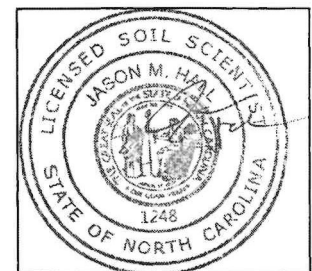
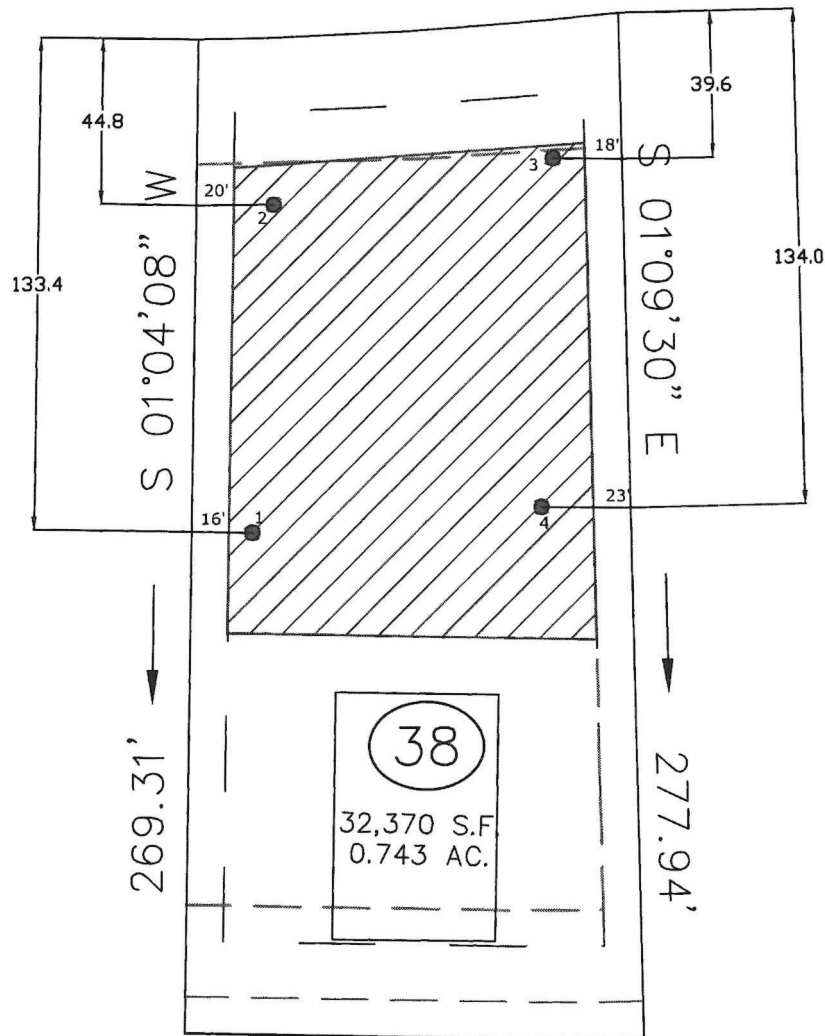
The LSS evaluation is being submitted pursuant to and meets the requirements of G.S. 130A-335(a2).

See attached site sketch

- *Keep tanks and drain lines 10' from property lines.
- *Not a survey.
- *Not a guarantee of a septic permit.
- *Keep supply lines >5' from property lines.
- *Some lines are flagged longer in the field than lengths indicate.
- *No grading septic area.
- *No adding soil within septic area
- *No rutting-up septic area
- *No cuts of >2' within 15' of septic areas

System and Repair Area:

- ~12,000ft²
- 0.30 soil LTAR (Initial) III bg
- 0.30 soil LTAR (repair) III bg
- 5-bedroom: Accepted Product Primary and Repair



GRAPHIC SCALE
1" = 50'



Central Carolina Soil Consulting, PLLC
1900 South Main Street, Suite 110
Wake Forest, North Carolina 27587
Phone (919)569-6704 Fax (919)569-6703

5-Bedroom Septic Layout
Lot 38, Maison Ridge Subdivision
Franklin County, North Carolina

Job#: 4862
Drawn By: AH
Date: 05/3/2024
Revision:



CONSTRUCTION AUTHORIZATION FOR G.S. 130A-335(a2)

County: Franklin Pre-Construction Conference Required: Yes ☐ No ☒
1834-93-6576
PIN/Lot Identifier: Mungo Homes
Issued To: 130 Bold Drive Maison Ridge Subdivision Lot 38
Property Location: Jason Hall, AOWE #10004E
AOWE/PE Plans/Evaluations Provided: Yes ☒ No ☐ If yes, name and license number of AOWE/PE: Single Family, 5-Bedroom
Facility Type: _____
Number of bedrooms: 5 Number of Occupants: ≤10 Other: _____
☒ New ☐ Expansion ☐ Repair ☐ System Relocation ☐ Change of Use
Basement? ☐ Yes ☒ No Basement Fixtures? ☐ Yes ☐ No
Crawl Space? ☒ Yes ☐ No Slab Foundation? ☐ Yes ☐ No
Type of Wastewater System* III bg (Initial) _____ (Repair)

*Please include system classification for proposed wastewater system types in accordance with Rule .1301 Table XXXII

Design Daily Flow: 600 GPD Wastewater Strength: ☒ Domestic ☐ High Strength ☐ Industrial Process WW
Session Law 2014-120 Section 53, Engineering Design Utilizing Low-flow Fixtures and Low-flow Technologies? ☐ Yes ☒ No
(if yes, please provide engineering documentation)

Effluent Standard: ☒ DSE ☐ HSE ☐ NSF/ANSI 40 ☐ TS-I ☐ TS-II ☐ RCW
Type of Water Supply: ☐ Private well ☐ Public well ☐ Shared well ☐ Municipal Supply ☐ Spring ☒ Other: C. Well

Installation Requirements/Conditions

Septic Tank Size: 1250 gallons Total Trench/Bed Length: 540 feet Trench/Bed Spacing: 9 feet on center
Trench/Bed Width: 36 inches LTAR: 0.30 gpd/ft² Usable Depth to LC (Initial)*: 39 *Limiting condition
Additional Soil Cover: n/a inches Slope Corrected Maximum Trench/Bed Depth†: 20 inches *Measured on the downhill side of the trench
Pump Tank Size (if applicable): 1300 gallons Requires more than 1 pump? ☐ Yes ☒ No
Pump Requirements: 19.31 ft. TDH vs. 42.66 GPM Grease Trap Size (if applicable): _____ gallons
Distribution Method: ☐ Serial ☐ D-Box or Parallel ☒ Pressure Manifold(s) ☐ LPP ☐ Other: _____
Artificial Drainage Required: Yes ☐ No ☒ If yes, please specify details: _____

Legal Agreements (If the answer is "Yes" to any type of legal agreements, please attach a copy of the agreement.)

Multi-party Agreement Required [.0204(g)]: ☐ Yes ☒ No Declaration of Restrictive Covenants: ☐ Yes ☒ No
Easement, Right-of-Way, or Encroachment Agreement Required [.0301(b)]: ☐ Yes ☒ No
Management Entity Required: ☐ Yes ☒ No Minimum O&M Requirements: _____

Permit conditions:

The requirements of 15A NCAC 18E are incorporated by reference into this permit and shall be met. Systems shall be installed in accordance with the attached site sketch. This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be affected by a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of 15A NCAC 18E, or 15A NCAC 18A .1900, as applicable, and to the conditions of this permit.

AOWE/PE Print Name: Jason Hall

AOWE/PE Signature: [Signature]

Date: 5/6/24

This AOWE/PE submittal is pursuant to and meets the requirements of G.S. 130A-335(a2) and (a3)

See attached site sketch





Franklin County Environmental Health
127 S Bickett Blvd.
Louisburg, NC 27549
Phone (919) 496-8100
www.franklincountync.gov

Issued to: Mungo Homes

Location: 130 BOLD Drive YOUNGSVILLE , NC 27596

LICENSED SOIL SCIENTIST A2 PERMIT

Application Type: **LICENSED SOIL SCIENTIST A2 PERMIT**

Application Number: **E-24-460**

Building Type:

Project Type: Single Family Dwelling

of Bedrooms: 5

Residential Project Type: Single Family Dwelling

Building Foundation: Crawlspace

Water Source: Public Water

Date: June 7, 2024

Acreage: 0.74

Zoning: R-30

of Occupants: 5

Commercial Project Type:

Square Footage of Facility:

Number of Employees:

Number of Seats:

Preferred Type of Septic System: (2) Accepted
(polystyrene, chamber)

Parcel ID #: **050297**

Notes:

Subdivision: MAISON RIDGE LOT

Applicant Information

Applicant Name: Mungo Homes

Address: 2521 Schieffelin Road Suite 116 Apex , North Carolina 27502

Phone: 9193373314

Email: klusk@mungo.com

Property Owner Information

Owner Name: LIBERTY LUCKY SEVEN LLC

Address: 575 MILITARY CUTOFF RD WILMINGTON , NC 28405

Phone:

Email:

General Contractor Information

Contractor Name: Clayton Properties Group, Inc.

Address: 441 Western Ln Irmo , SC 29063

Phone: (803) 749-9000

Email: klusk@mungo.com

Zoning

Zoning Permit #: Z-24-855

Front Setback: 25

Left Setback: 10

County Water: Yes

Right Setback: 10

Rear Setback: 20

The applicant shall notify the Environmental Health Department upon submittal of this application if any of the following apply to the property/site in question. If this answer is "Yes" the applicant must attach supporting documentation and/or show their location on the plot/site plan.

Does the site contain any jurisdictional wetlands?

Does the site contain, or have within 100 feet, any existing wells and/or septic systems? No

Is any wastewater going to be generate other than domestic sewage? No

Is the site subject to approval by an other public agency? Yes

Are there any easements or right-of-ways on this site? No

Are there any underground utilities on the site? Yes

IF THE INFORMATION IN THE APPLICATION FOR A SEPTIC PERMIT IS FALSIFIED, CHANGED, OR THE STIE IS ALETERED, THEN ANY RELATED PERMITS AND CONSTRUCTION AUTHORIZATIONS SHALL BECOME INVALID. This application is valid for one year from the date of application payment. The septic system approval (permit) is valid for five years from the date of Improvement Permit issuance, or without expiration by request with proper documentation. The applicant is responsible for the proper identification and labeling of all property lines, and existing utilities (including septic), and the desired features on site, as well as making the site accessible for evaluation. Authorized county and state officials are granted right of entry to conduct necessary inspections to determine compliance with applicable laws and rules. Permit issuance shall in no way be taken as a guarantee a septic system will function in a satisfactory manner for any given period of time. By signing below, the applicant attest he/she is