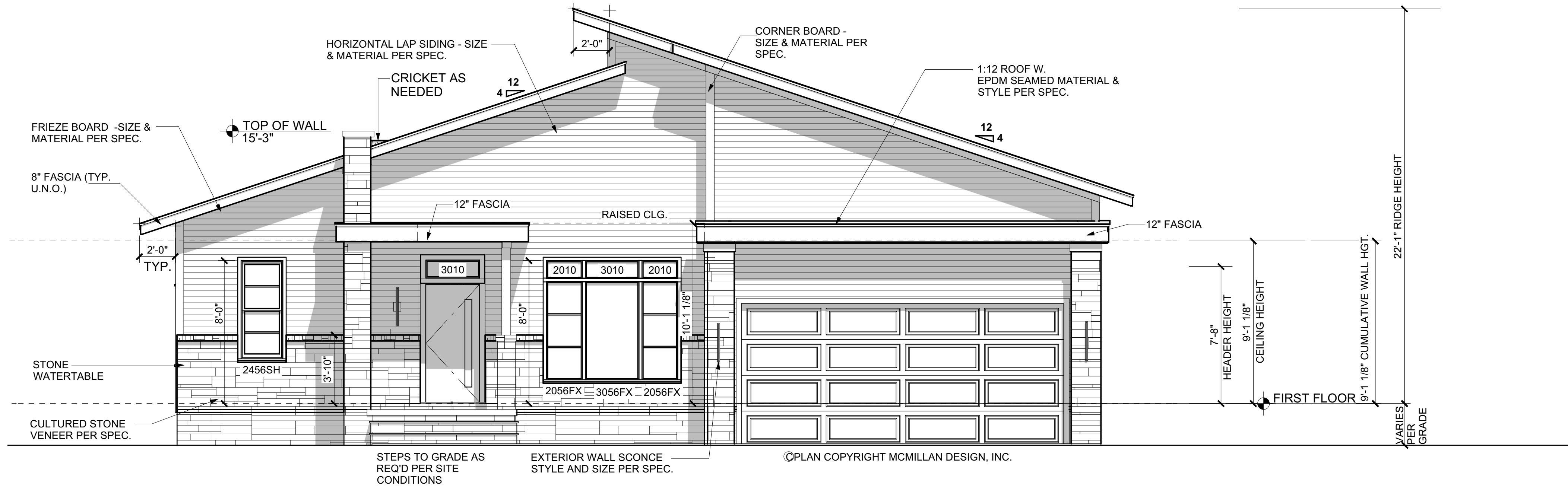
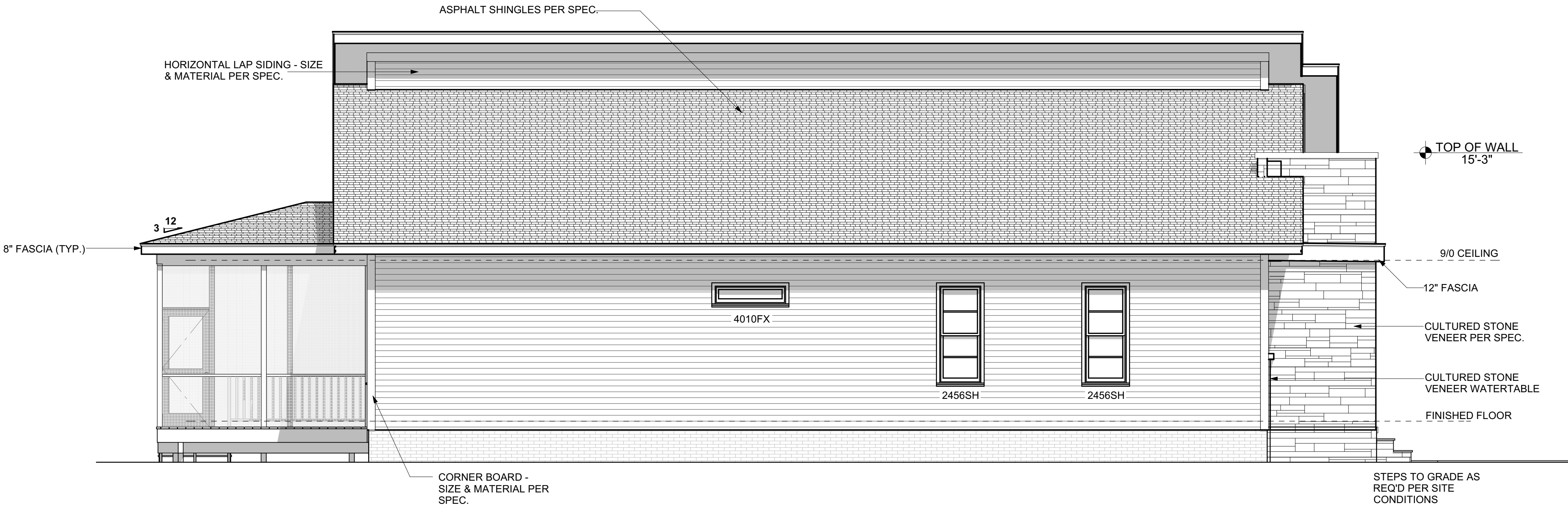




FRONT ELEVATION

Scale: 1/4" = 1'-0"



LEFT ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES

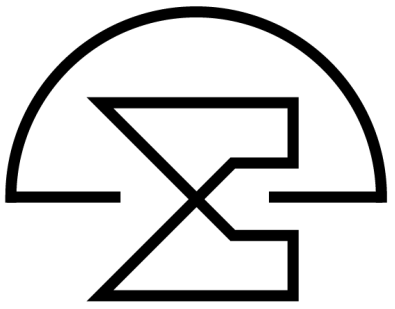
BUILDING CODES
THIS PLAN HAS BEEN DESIGNED UNDER THE NC BUILDING CODES, 2018 RESIDENTIAL EDITION.

ICE GUARDS:
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.

VENTING CALCULATIONS

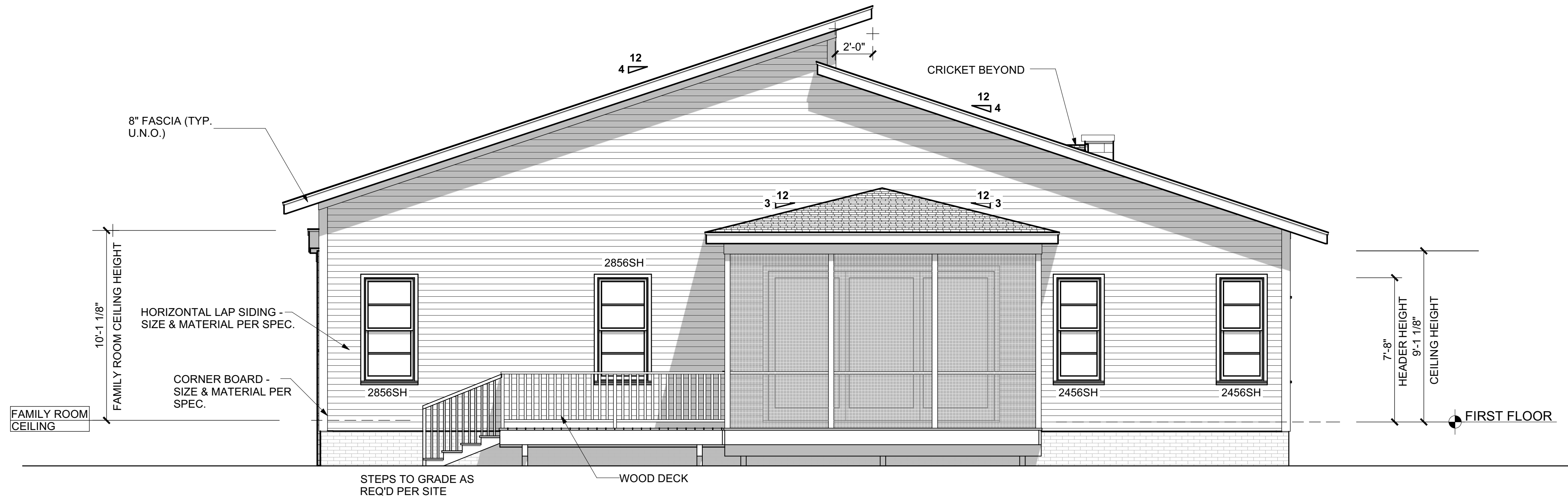
CRAWL SPACE VENTILATION
THE MIN. NET FREE AREA OF CRAWL VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE AREA.
2086 SQ. FT. CRAWL SPACE AREA / 150
13.9 SQ. FT. NET FREE AREA REQUIRED
*MAY BE REDUCED BY 50% W. VAPOR BARRIER

ATTIC VENTILATION
2832 SQ. FT. OF ATTIC / 300 = 9.7 SQ. FT. OF INLET AND OUTLET VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS.



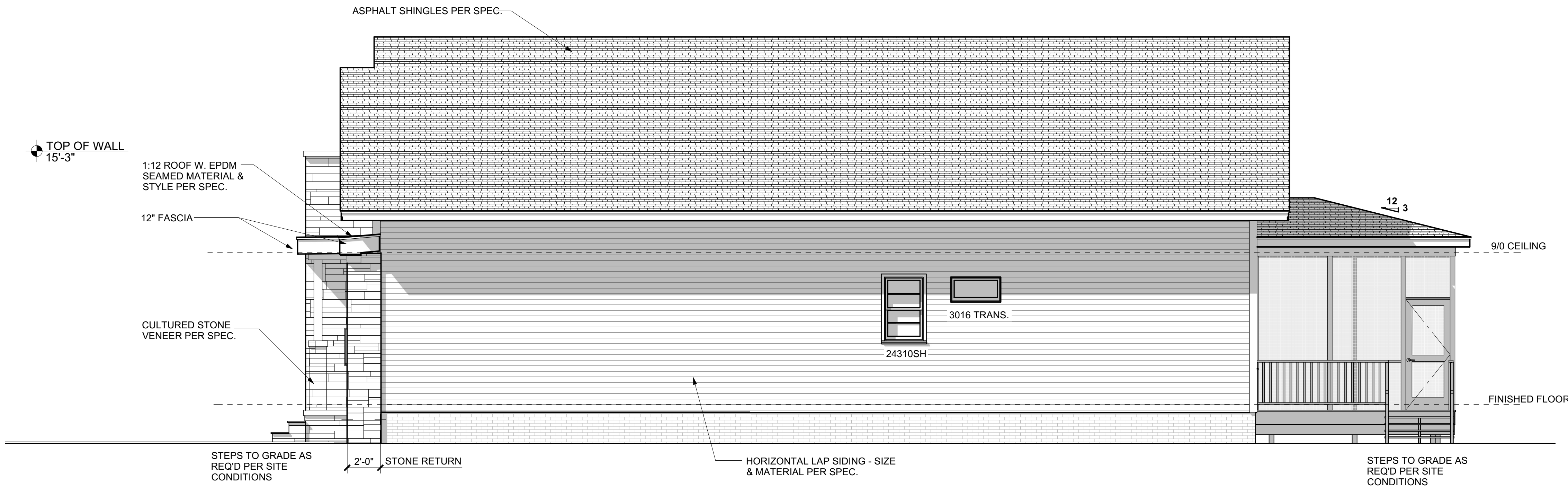
REVISIONS	
NUMBER	DATE

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REAR ELEVATION

Scale: 1/4" = 1'-0"



RIGHT ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES

BUILDING CODES

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Lilium Homes
Lake Royale
Lot #169

Sheet Title:
Exterior
Elevations

REVISIONS

NUMBER	DATE

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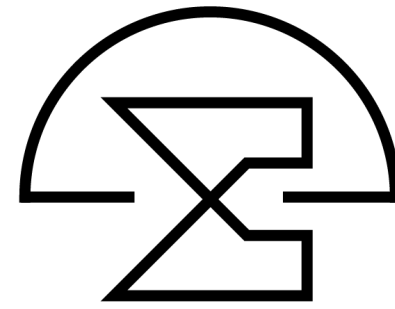
Plan Number
M094-23
Sheet No. **A-2**

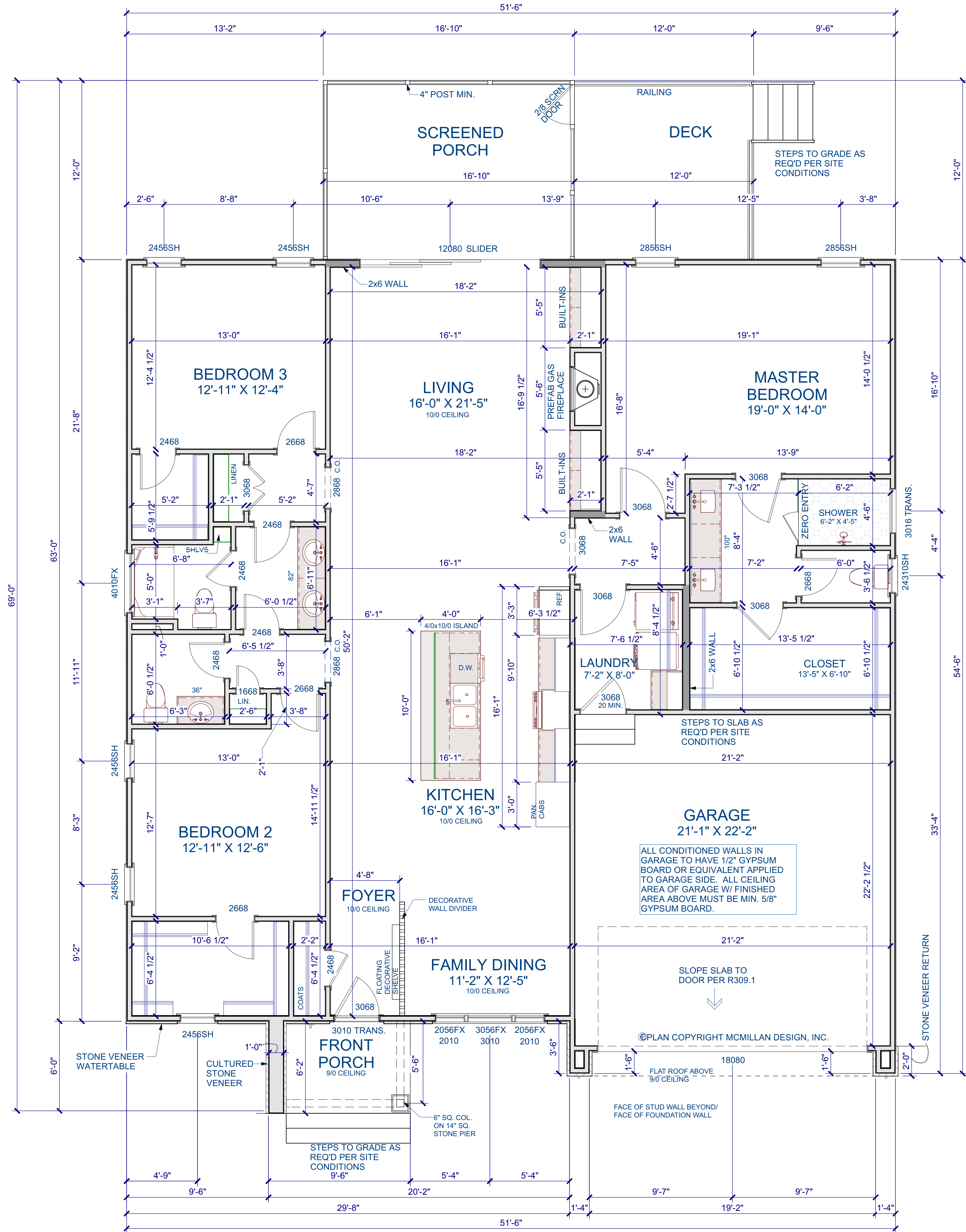
Drawn By: **VN**

Date: **6/8/2023**

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McMillan Design
847 Wake Forest Business Park, Suite 102
Wake Forest, NC 27587
919.263.1509
www.mcmillan-design.com





GENERAL NOTES

WALLS
ALL WALLS ARE DRAWN 3.5" WIDE (2X4) OR 5.5" WIDE (2X6) U.N.O. ANGLED WALL ARE DRAWN @45° U.N.O. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD.

SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

EGRESS
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO R-310 OF THE N.C. BLDG. CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CHOSEN WINDOWS MEET EGRESS REQUIREMENTS AS MANUFACTURERS VARY.

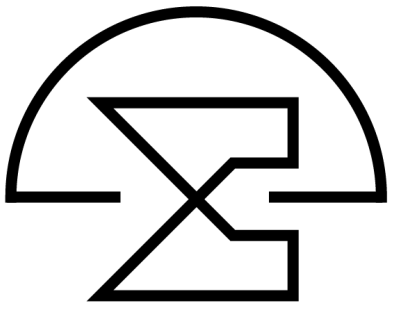
ATTIC ACCESS
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.

WALL/CEILING HEIGHT
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTRA 2" FOR FURRING (IN HEATED SPACES) FOR INSULATION. THE WALL HEIGHT REFERS TO THE HGT. FROM THE FLOOR DECKING TO THE BOTTOM OF THE FURRING.

Square Footage	
Heated Square Footage	
First Floor	2,178
Total Heated	2178
Unfinished Square Footage	
Front Porch	57
Deck	144
Screened Porch	203
Two Car Garage	483
Total Unfinished	887

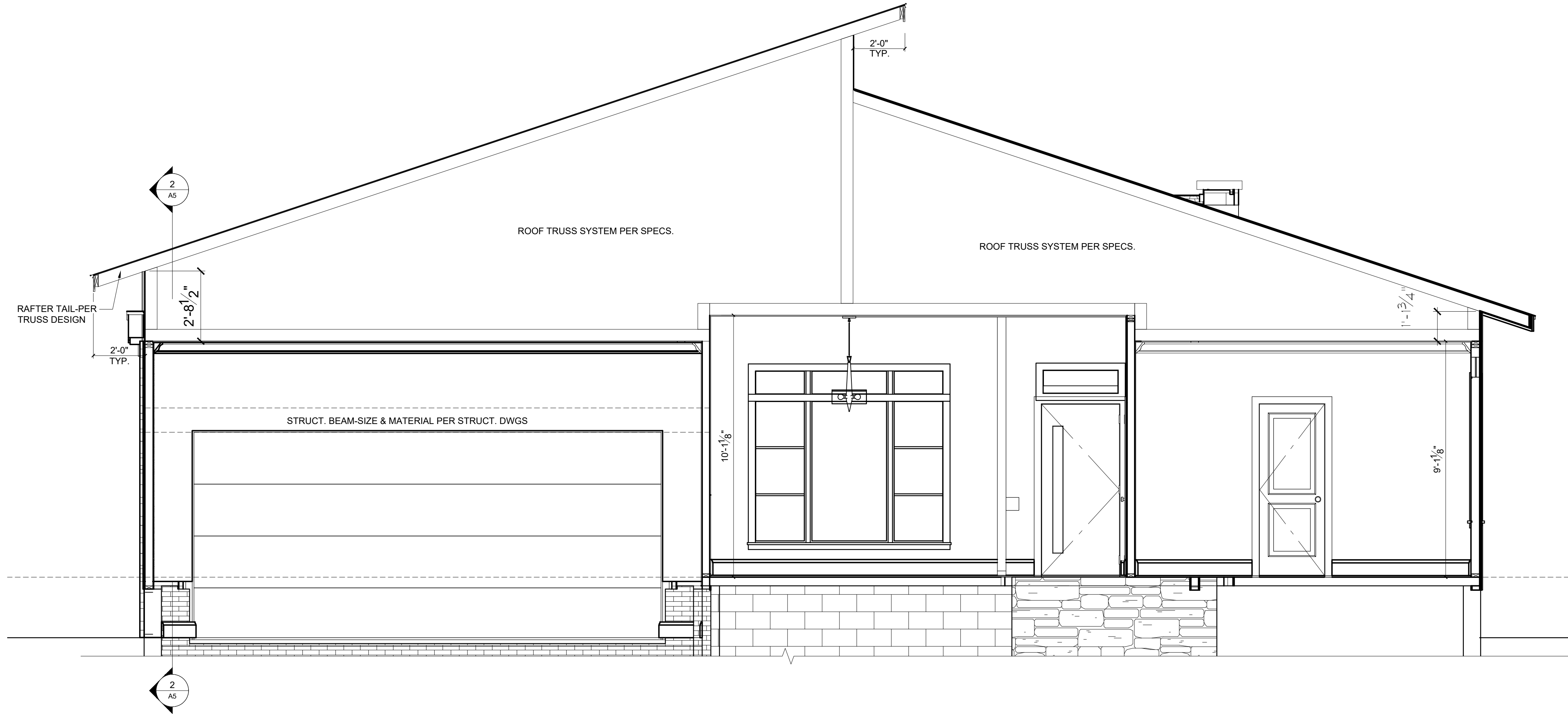
FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

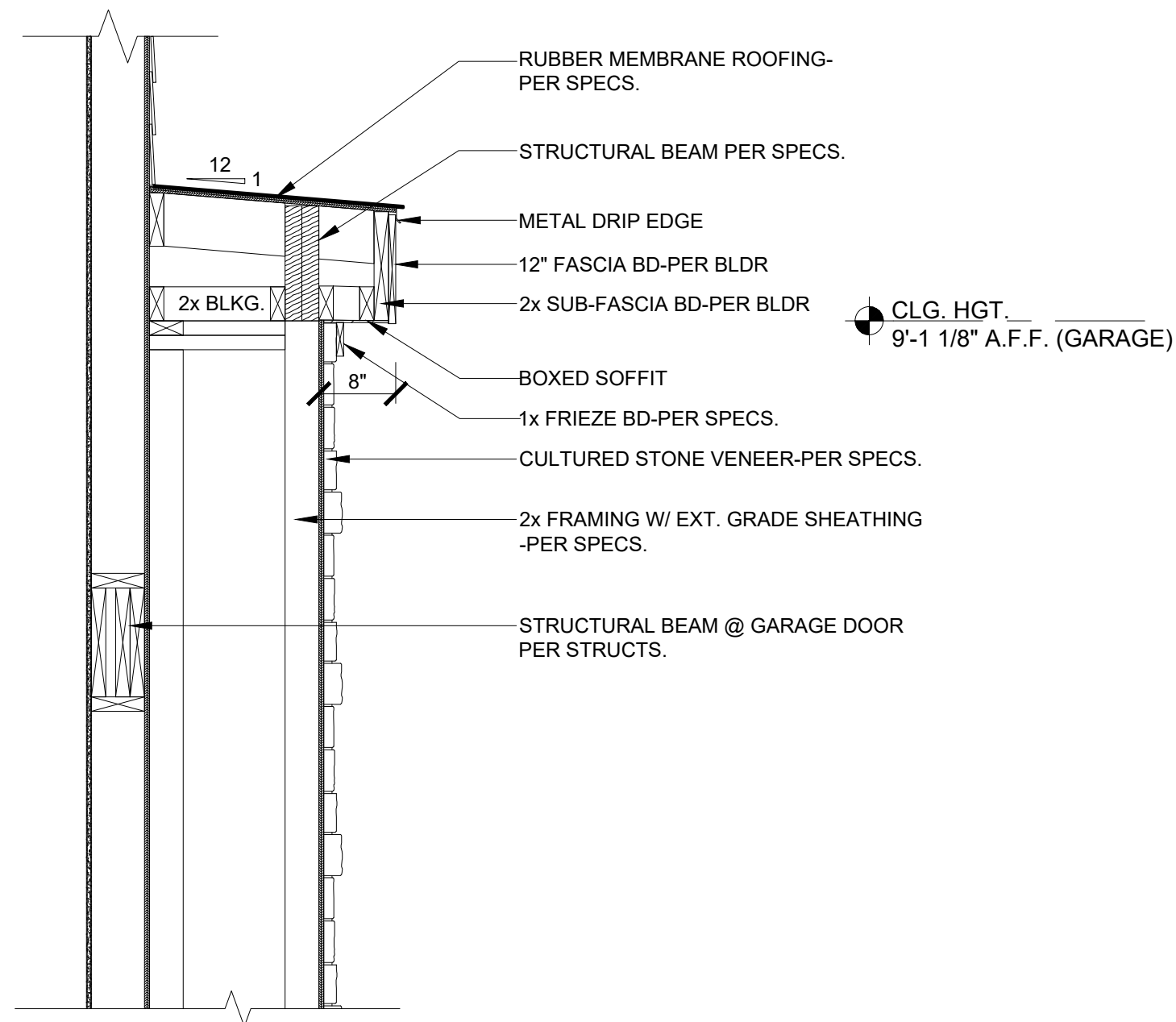


REVISIONS	
NUMBER	DATE

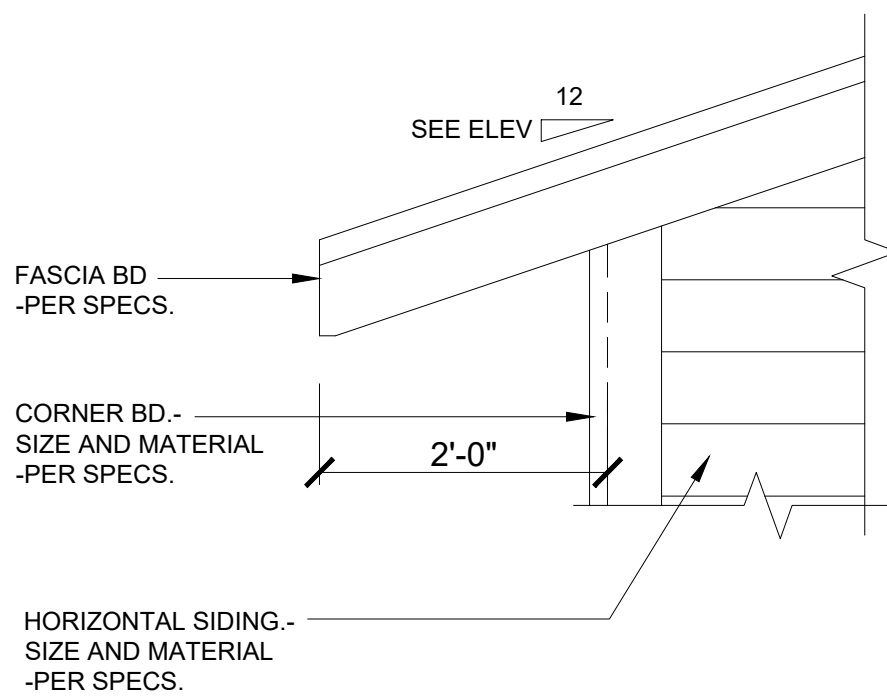
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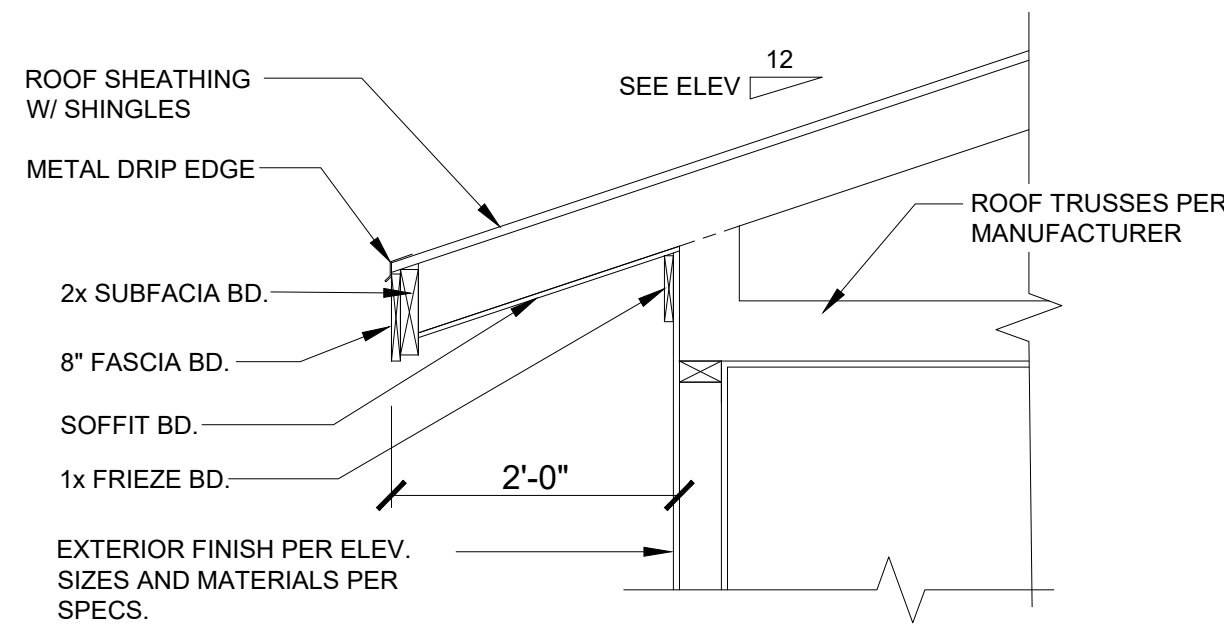
1 BUILDING SECTION
3/8" = 1'-0"



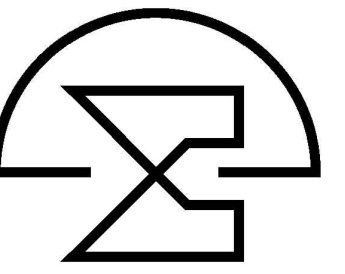
2 SECTION-GARAGE/WINDOW WALL
3/4" = 1'-0"



3A-DETAIL



3B-SECTION

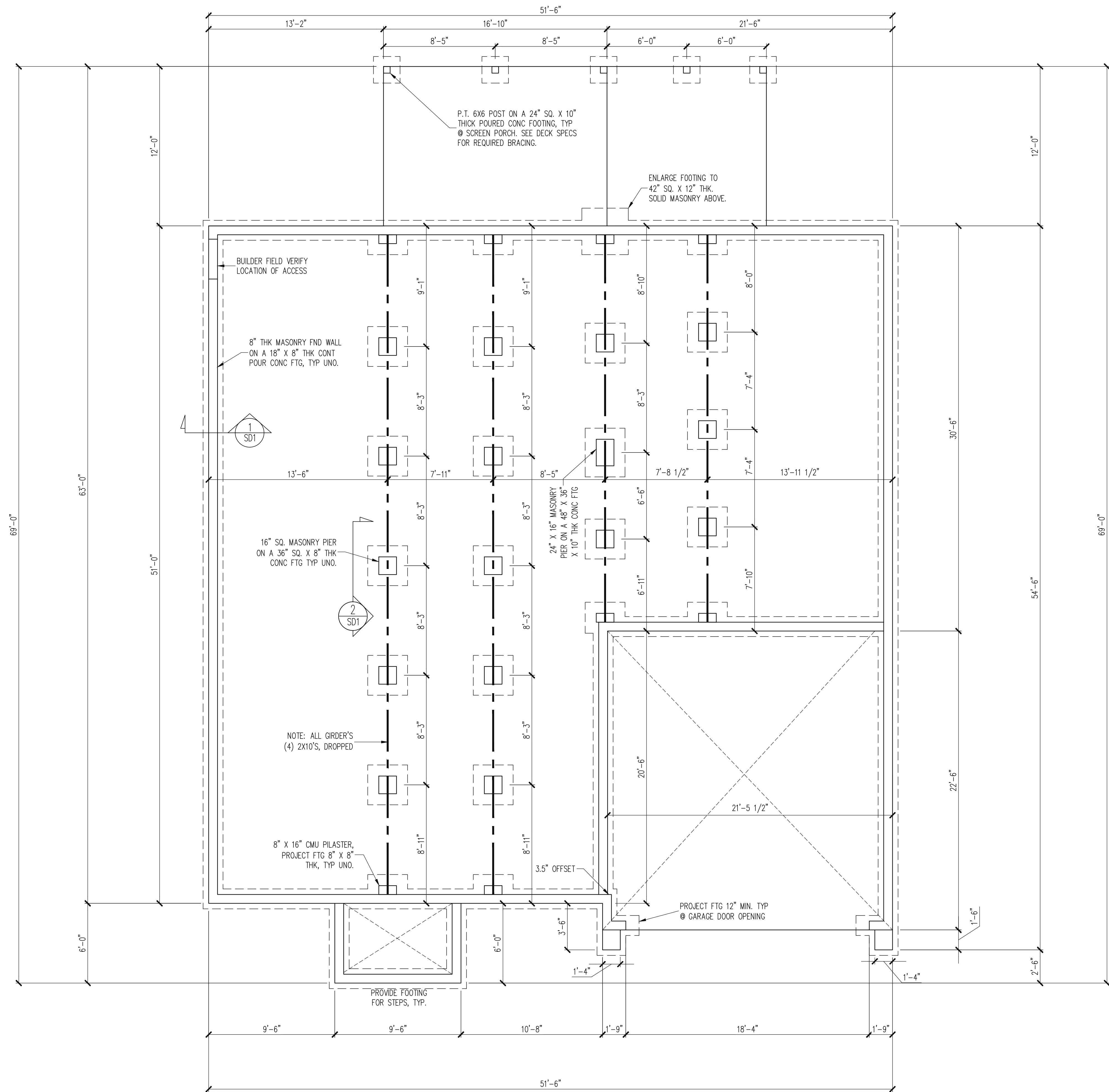


Lilium Homes
Lake Royale
Lot #2658

Sheet Title:
DETAILS

REVISIONS	
NUMBER	DATE

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CONSTRUCTION SPECIFICATIONS
INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS
SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

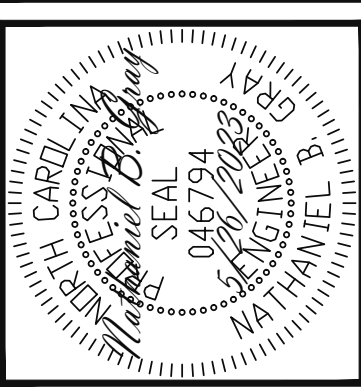
PART 14: STUD SUPPORT FOR BEAMS

PART 16.02: GENERAL WALL BRACING NOTES

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS
SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

FOUNDATION PLAN
1/4" = 1'-0"



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Phone (919) 844-1661

SCOPE:	LILJUM HOMES		
	STRUCTURAL ADDENDUM		
LOC:	169 LAKE ROYAL		
	REV #	REF PROJ #	DATE

ENG: NBG/CR
DATE: 5/26/2023

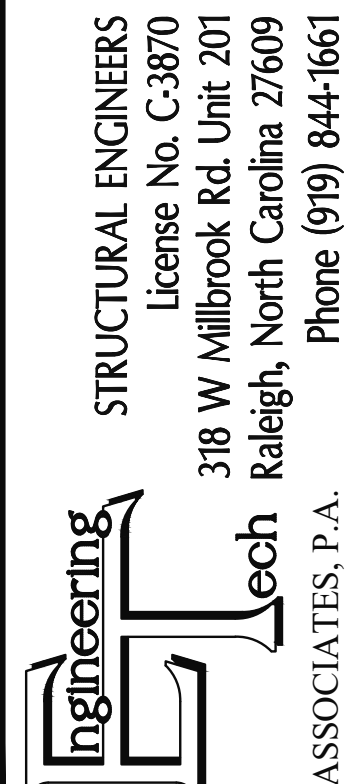
PLAN
M094-23

PROJECT NO.
23-21-118

SHEET NO.
S1
1 of 6

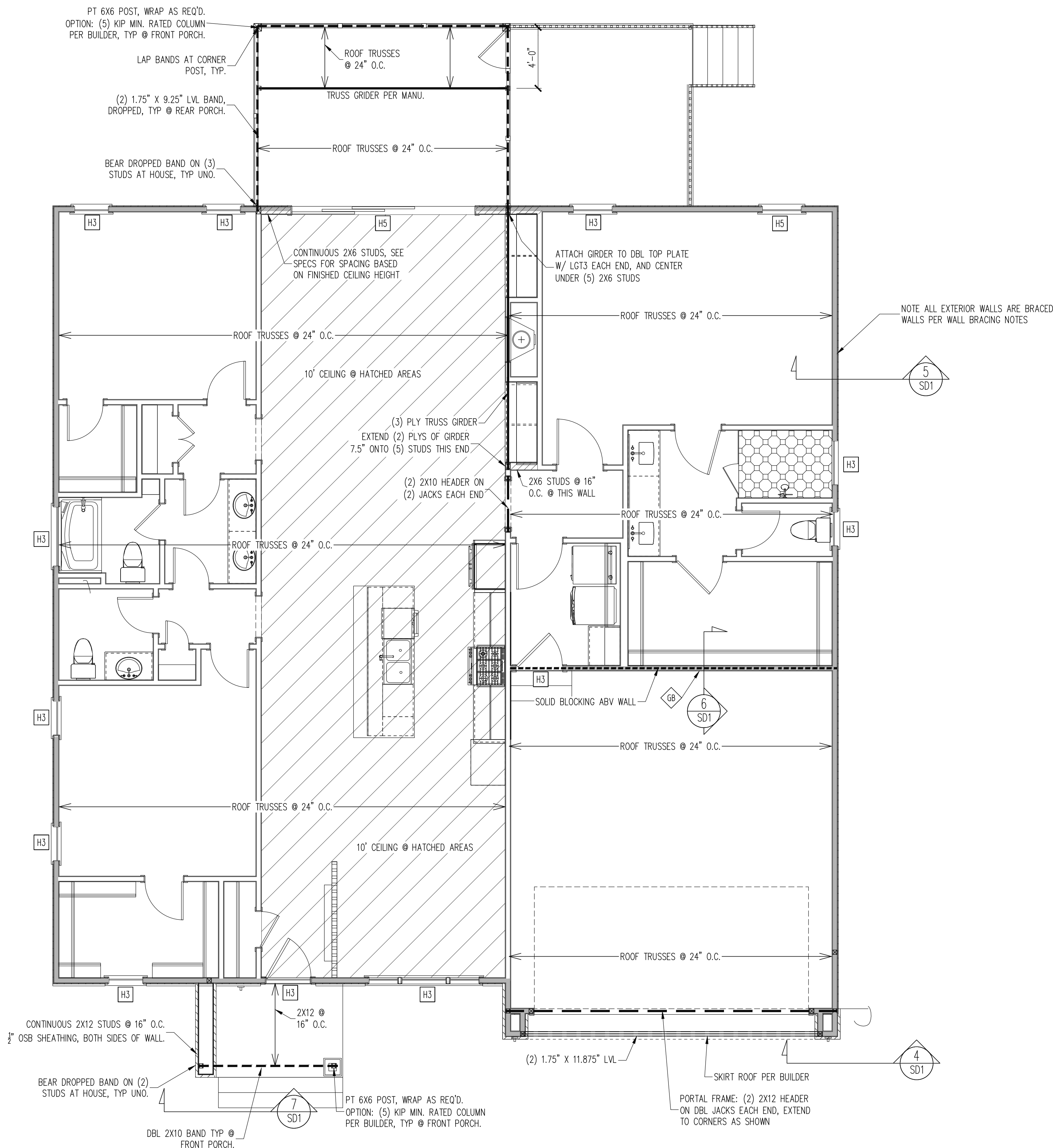


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WALL BRACING
FIRST FLOOR ONLY

CS - ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

SHADED WALLS:

WSP ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 4" O.C. AT PANEL EDGES, 8" O.C. IN PANEL FIELD.

GB INTERIOR BRACED WALL. 1/2" GB SECURED PER TABLE R602.10.2 OF THE 2012 NGBRC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL, OR (FASTENERS @ 4" O.C.) ONE SIDE OF WALL AT STAIRS

NOTES:
-PROVIDED CONTINUOUS SHEATHING = 220' MIN.

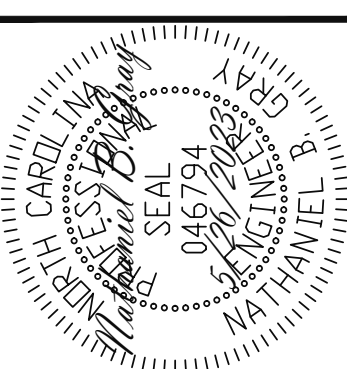
HEADER SCHEDULE

H1 SINGLE 2X4 TURNED FLAT (A)
H2 (2) 2X4'S ON SINGLE JACKS (B)
H3 (2) 2X10'S ON SINGLE JACKS (C)
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5 (3) 2X10'S ON SINGLE JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

1ST FLOOR FRAMING PLAN
WALLS AND CEILING 1/4" = 1'-0"



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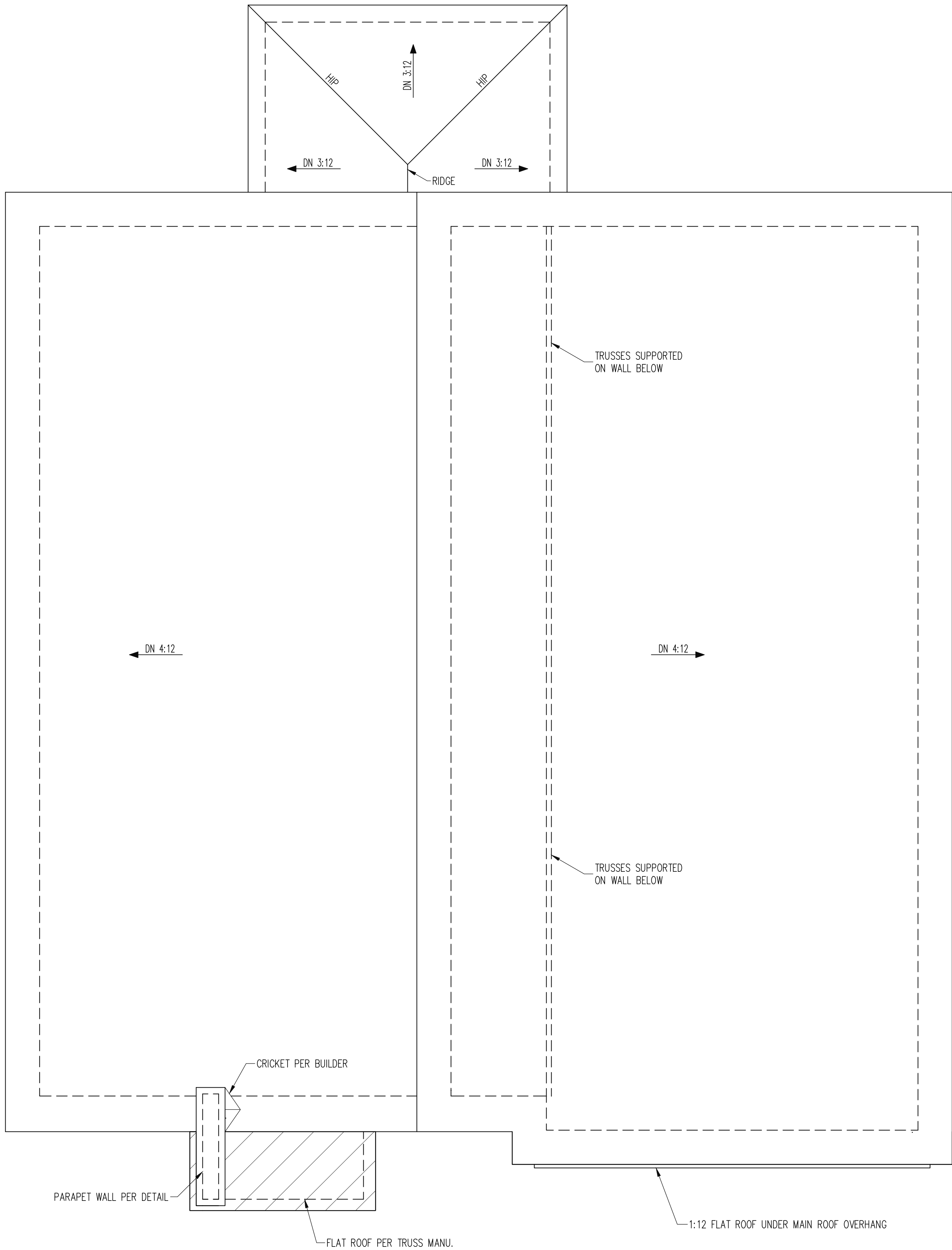
LILITUM HOMES					
SCOPE:	STRUCTURAL ADDENDUM				
LOC:	169 LAKE ROYAL	REV #	REF PROJ #	DATE	

ENG: NBG/CR
DATE: 5/26/2023

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TRUSS UPLIFT CONNECTORS

EXPOSURE B, 115 MPH, ANY PITCH
24" O.C. MAX. ROOF TRUSS SPACING

TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

ROOF SPAN UP TO 28'	CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION
OVER 28'	(1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM

FRAMING NOTES

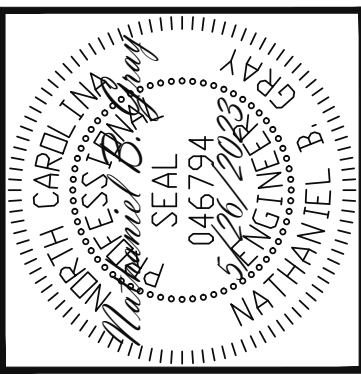
ROOF ONLY

-ROOF TRUSSES PER MANU. TYPICAL U.N.O.

-VERIFY ALL KNEEWALL HEIGHTS, ROOF PITCHES, AND ARCHITECTURAL OVERHANGS PRIOR TO CONSTRUCTION

ROOF FRAMING PLAN

1/4" = 1'-0"



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LILIUM HOMES				
SCOPE	STRUCTURAL ADDENDUM			
LOC:	169 LAKE ROYAL	REV #	REF PROJ #	DATE

ENG: NBG/CR

DATE: 5/26/2023

PLAN

M094-23

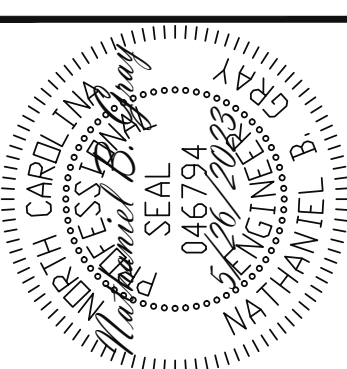
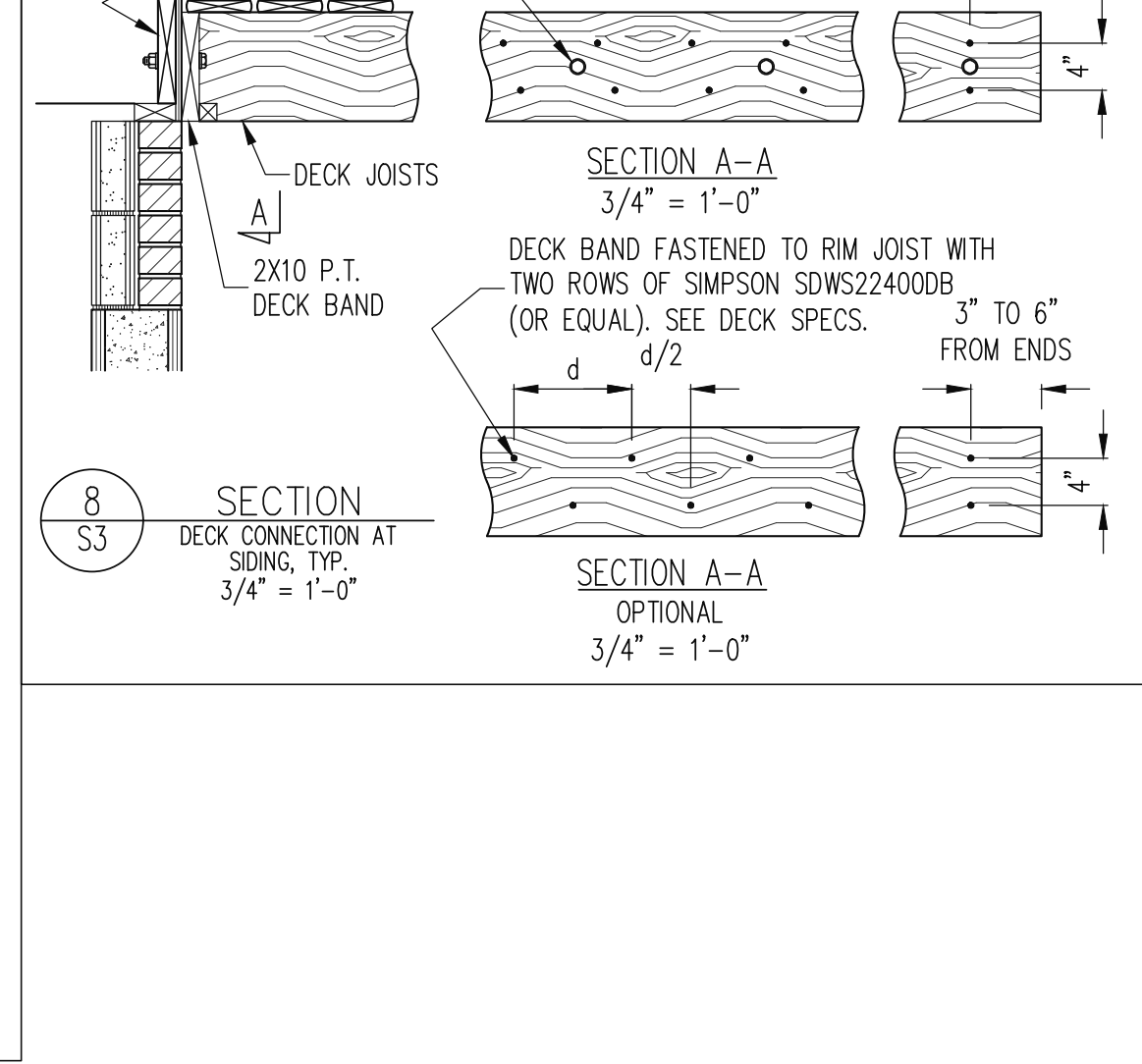
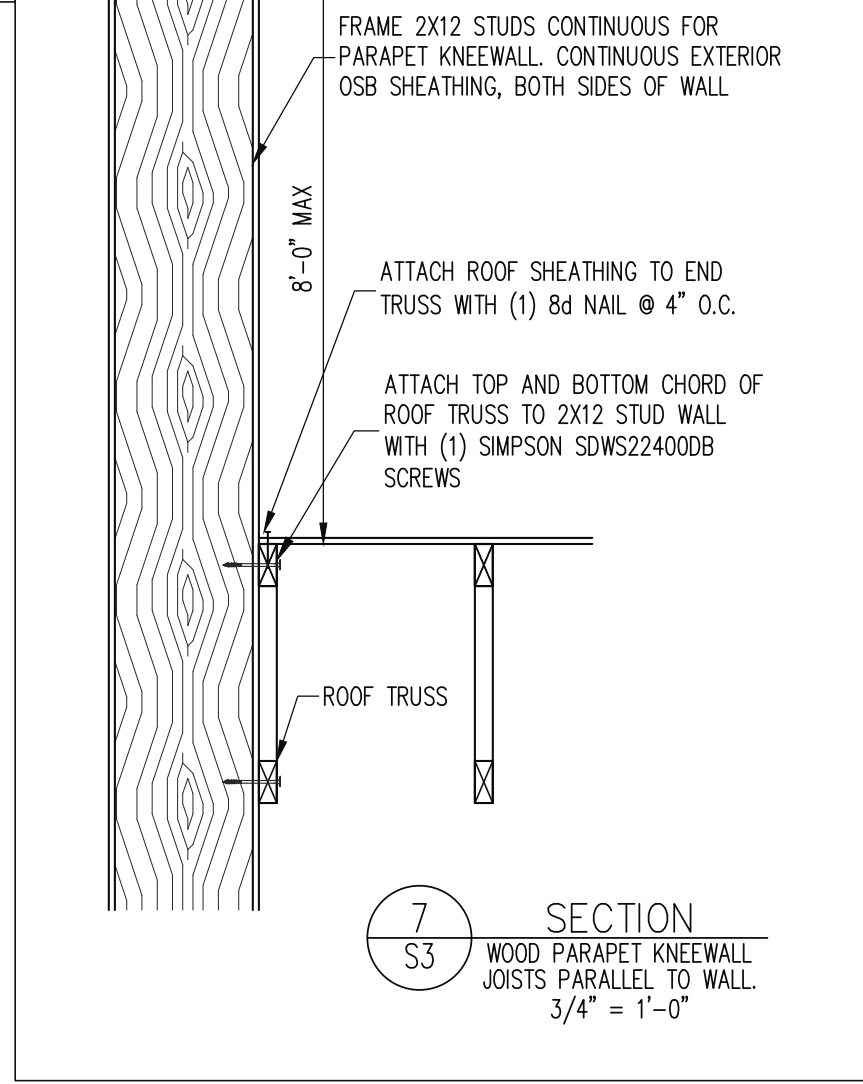
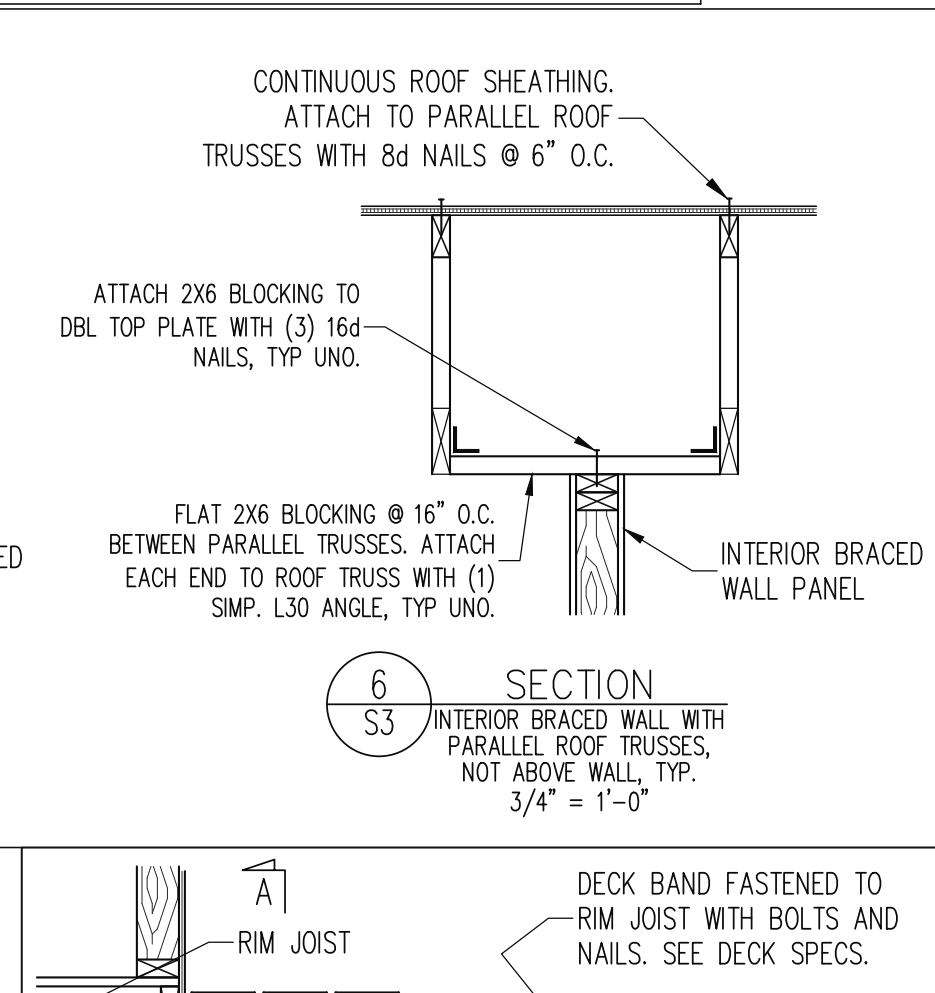
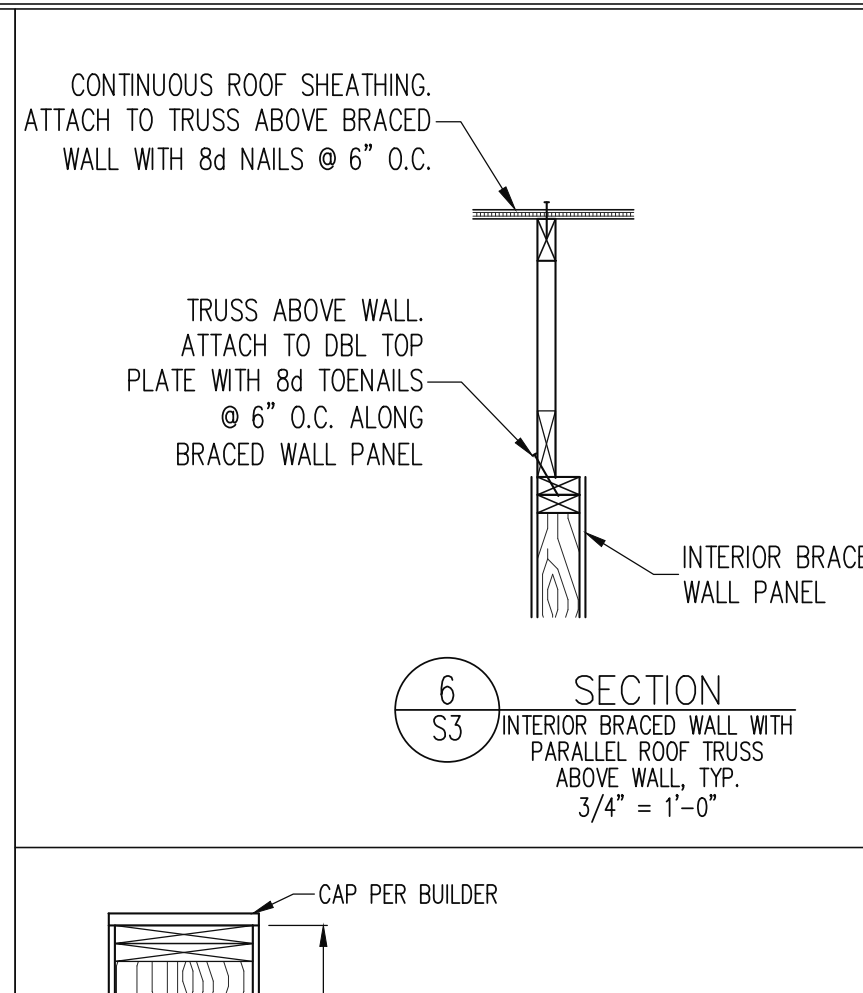
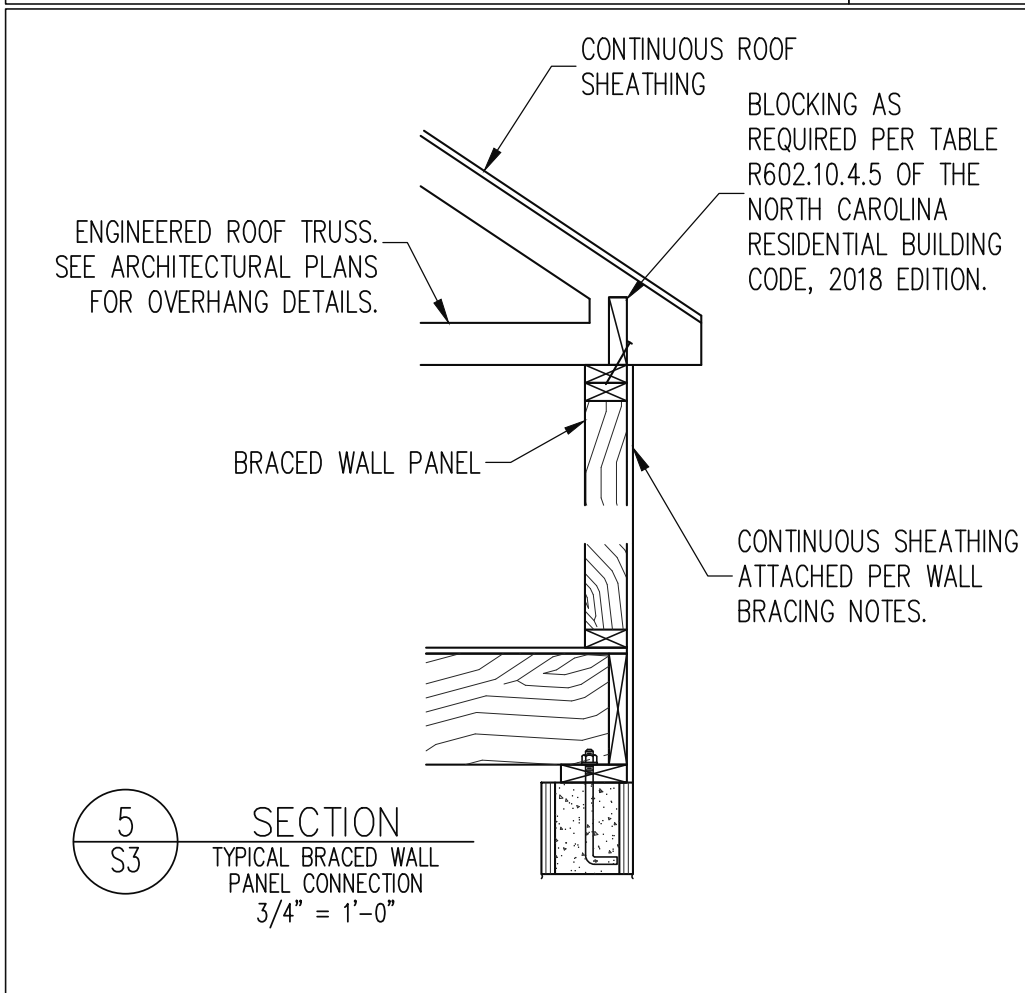
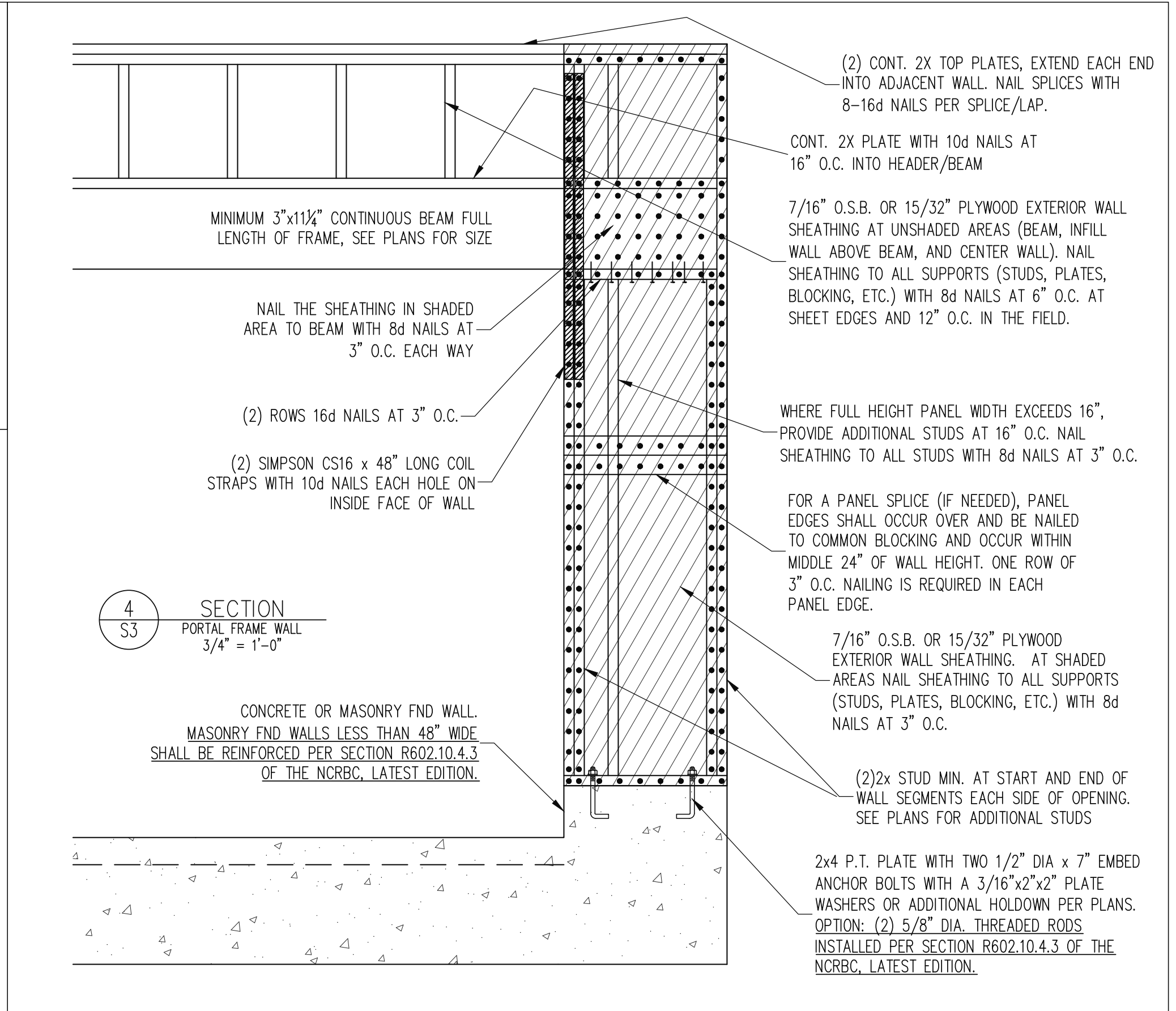
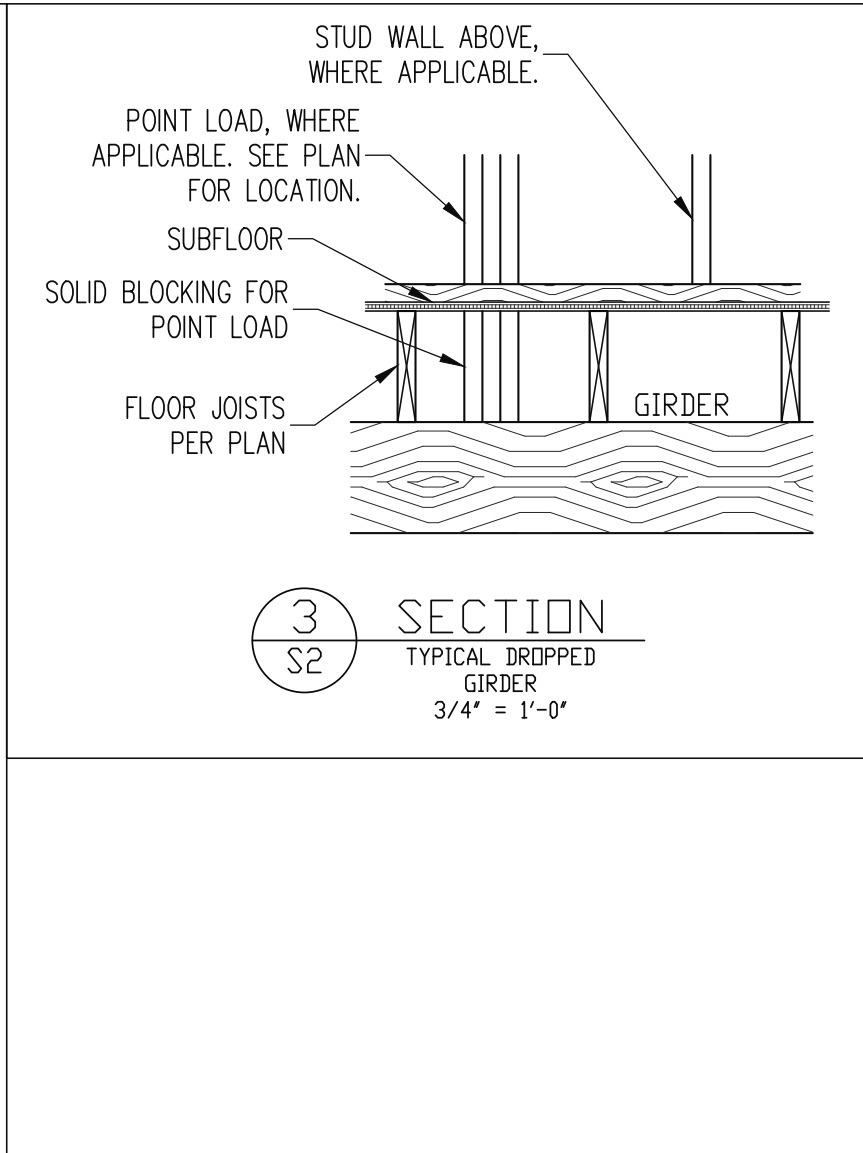
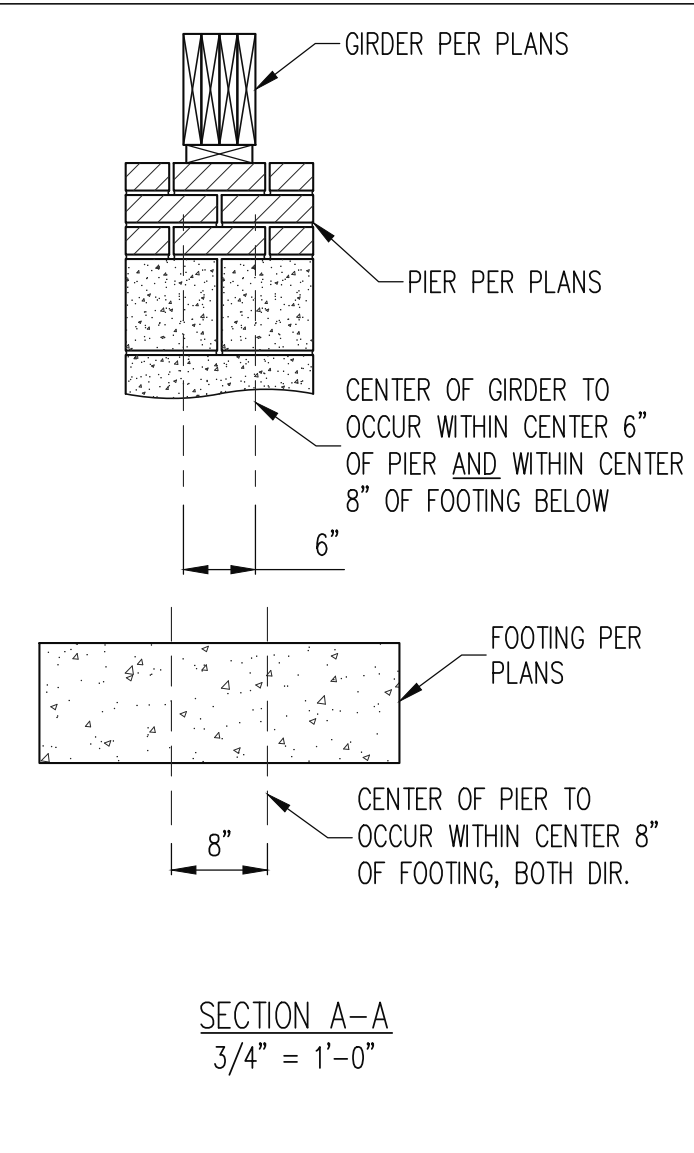
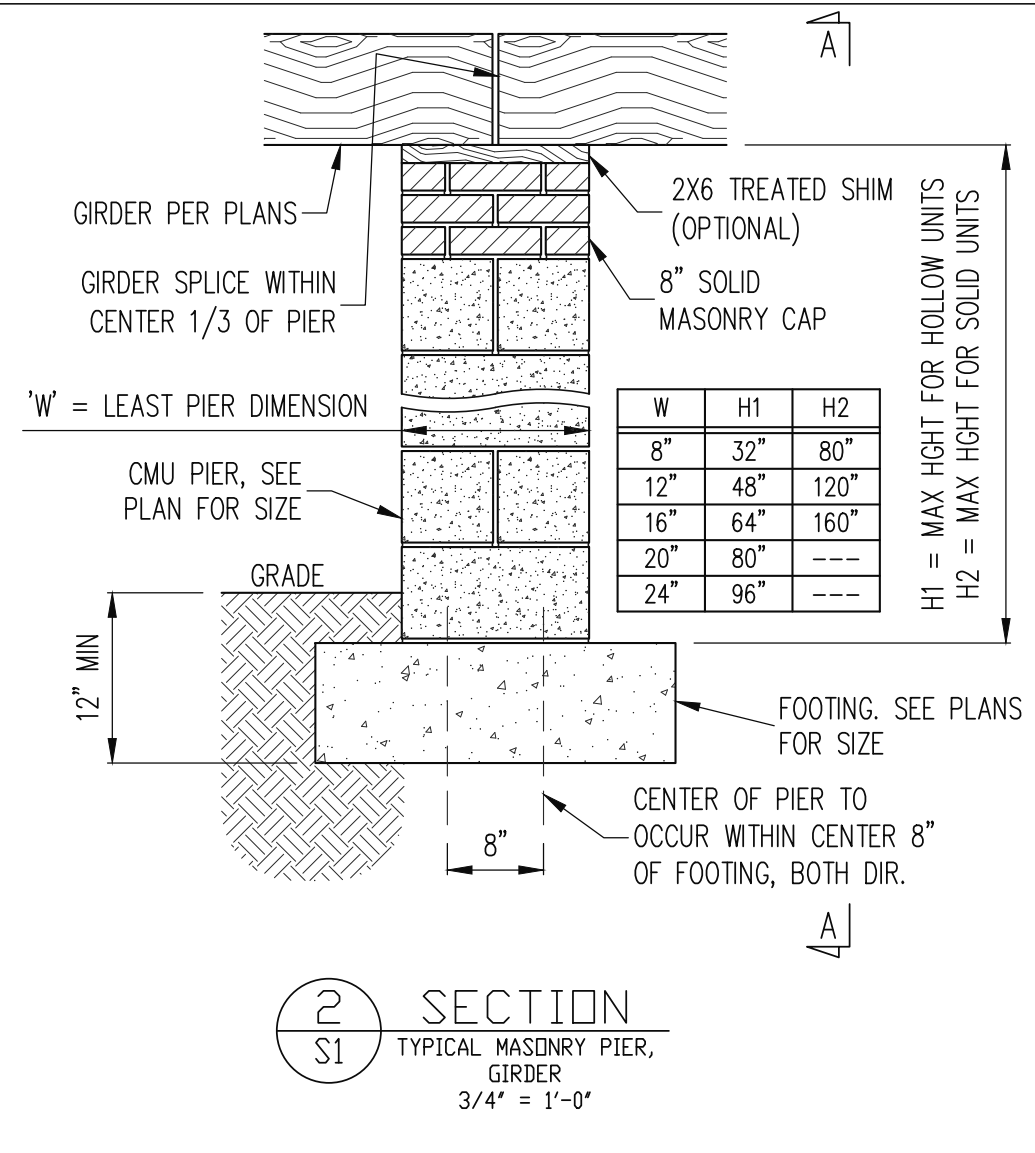
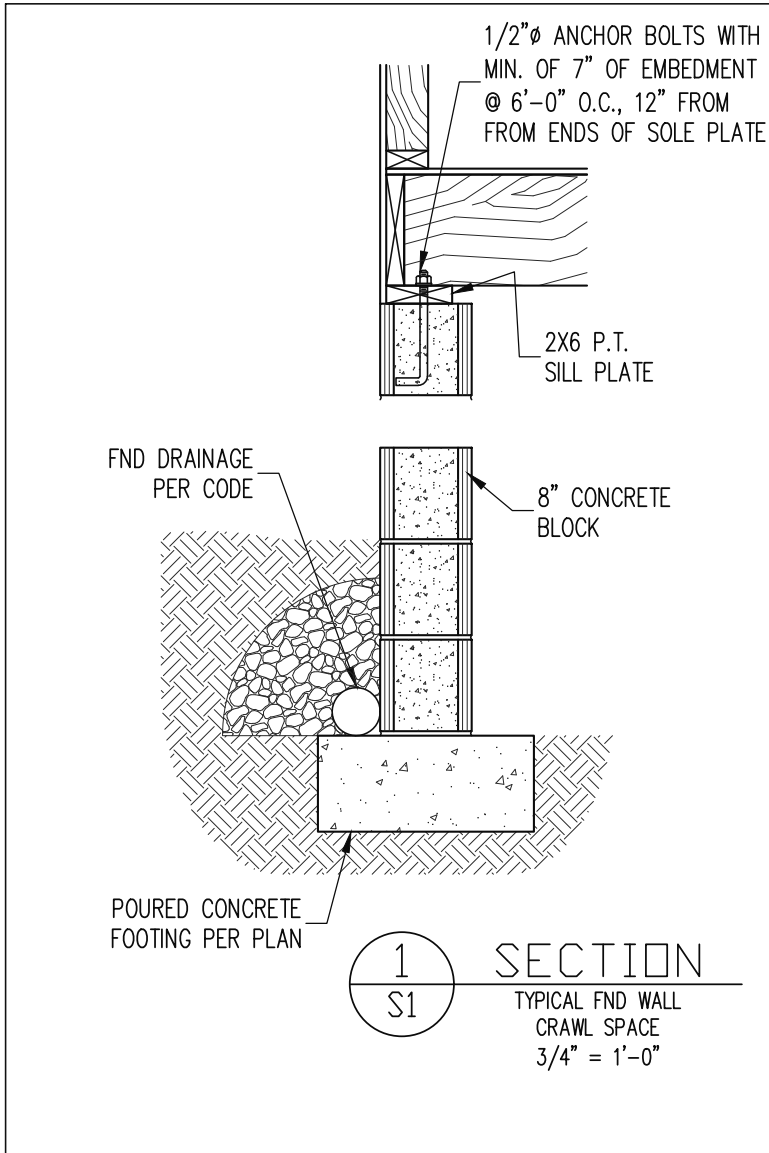
PROJECT NO.

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SHEET NO.

S4

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LILIUM HOMES			
SCOPE:	STRUCTURAL ADDENDUM		
LOC:	169 LAKE ROYAL	REV #	REF PROJ #
			DATE

ENG: NBG/CR
DATE: 5/26/2023

PLAN
M094-23

PROJECT NO.
23-21-118

SHEET NO.
SD1
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