



**Advantage
Inspection**

4020-111 Wake Forest Rd. Raleigh, NC 27609 Ph# 919-850-2526

WELL COMPONENT EVALUATION

Date: September 9, 2025

Report for:

Inspection address: 270 Wiggins Rd, Louisburg, NC 27549

Realtor:

System Design:



The following photo log and inspection dissertation provide visual and procedural inspection information at the time of the inspection. Please skip to the conclusion in the report to see any repairs and/or suggestions that may be considered necessary.

PHOTO LOG:

Well head shown



Well head shown



Well head shown



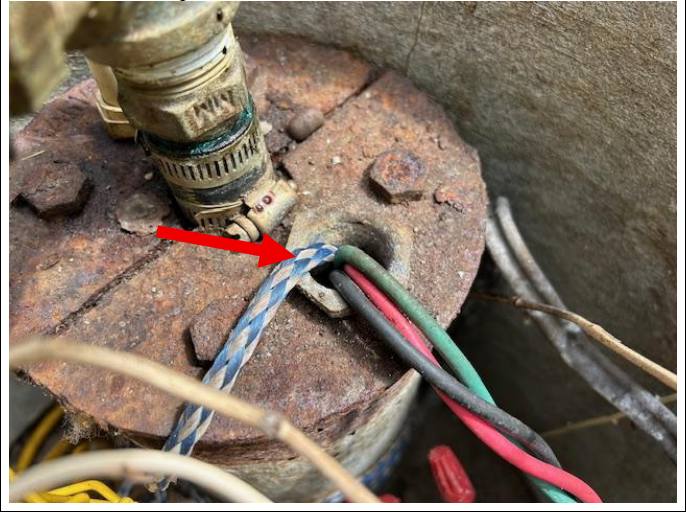
Electrical wires shown not properly sealed in junction box



Well head vent stack shown properly installed



Electical wire penetration shown not sealed



Leak noted at well head



Crack on well protective cover



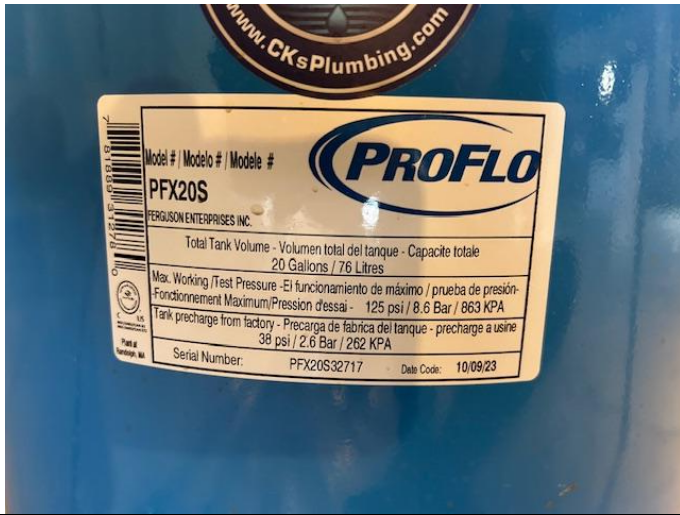
Crack on well protective cover



Pressure storage tank location shown in crawlspace



Pressure storage tank data plate shown



Pressure storage tank shut off vavle shown



Pressure storage tank contact relay shown



Pressure storage tank contact relay shown sealed



Pressure storage tank contact relay shown sealed



Pressure gauge shown



Shut off vavle shown



Supply line shown terminating through ground



Description.	Good	Comments	Fair	Poor
WELL HEAD		Well pump components were not visible to inspect. Operated properly.		
Casing	X		-	-
Venting	X		-	-
Electrical	-		-	X
Containment/Housing	-		X	-
HOLDING TANK				
Tank Housing	X		-	-
Contact Switch	X		-	-
Gauges	X		-	-
Pressure	X		-	-
Electrical (Disconnect)	X		-	-
Electrical	X		-	-
Support (base)	X		-	-
WELL PUMP	Not Visible		-	-
WELL DEPTH	No data plate			
WATER YEILD	No data plate			

PSI Pressure	30-50 PSI	-	-	-
--------------	-----------	---	---	---

Observations & Recommendations:

Adverse conditions were noted with the well water system at the time of the inspection (see the noted recommended items). Normal maintenance of a private well is necessary to keep all components in good working order.

Items Recommended for Repair:

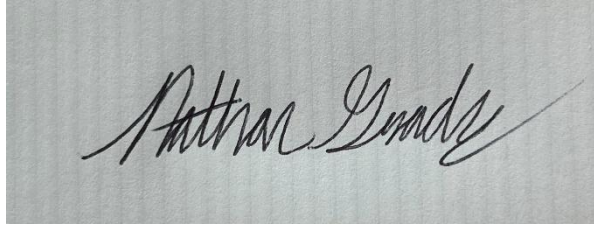
- ☐ The electrical wires at the well head were noted as not being confined inside of a junction box (see photo). Failing to enclose wellhead electrical wires in a junction box is a electrical and safety hazard. It is recommended that a qualified contractor further evaluate and make all necessary repairs.
- ☐ The electrical wire penetration at the well head was noted as not being properly sealed (see photo). It is recommended that a qualified contractor further evaluate and make all necessary repairs.
- ☐ The well head concrete protective cover was noted as damaged with cracks (see photo). It is recommended that a qualified contractor further evaluate and make all necessary repairs.
- ☐ A leak was noted/observed at the well head (see photo). Water was observed leaking at the fitting. It is recommended that a qualified contractor further evaluate and make all necessary repairs.

Conditions that may have hindered the inspection:

Well pump was not visible as the pump is submerged. Water lines from pump to home are underground.

The following maintenance suggestions should be considered:

- ☐ Minor deterioration at the bolt connections at the well head (See Photo) No evidence of leaking was observed at the time of the inspection, but the corrosion does verify the start of deterioration at this connection. Recommend all connection be monitored semi- annually for an increase in corrosion and/or loose connection/leak.
- ☐ Minor deterioration at the supply line connections at the well head (See Photo) No evidence of leaking was observed at the time of the inspection, but the corrosion does verify the start of deterioration at this connection. Recommend all connection be monitored semi- annually for an increase in corrosion and/or loose connection/leak.
- ☐ The EPA recommends sanitization of the well annually. This procedure can be found online at the EPA's homeowner's information on private well systems.



9/9/2025

NCOWCICB State License # 13044I

North Carolina Onsite Wastewater Contractor Inspector Certification Board

Disclaimer:

Because of the visual nature of this well inspection, it is not possible to inspect or report on physical conditions regarding the well pump, casing, lines, etc. that are below grade and not visible. The inspector can only address those areas that are readily accessible at the time of the inspection. This inspection is a "snapshot" of the well water system at the time of the inspection; it is designed to educate a buyer or seller about the system, not to replace the obligation of a home seller to disclose known defects.

Observations made may require speculation on the part of the inspector in the analysis of how the system has been provided for and what the expectations of the system may be. A well water system inspection is not a guarantee or warranty of the condition of the system; neither is it a guarantee that conditions will not change in the future. Advantage does not make any representation to the "life expectancy" of the tank or the system. Our inspection is based on a one-time field observation and recommendation.

We recommend that appropriately licensed professionals carry out all repairs. Your real estate contract may include this as a stipulation as well. We also recommend that the buyer retain all repair work orders, receipts, and guarantees for future reference.