



SUMMARY

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NC 27596

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10/23/2025

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This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney.

2.1.1 Driveway

DRIVEWAY - CRACKS

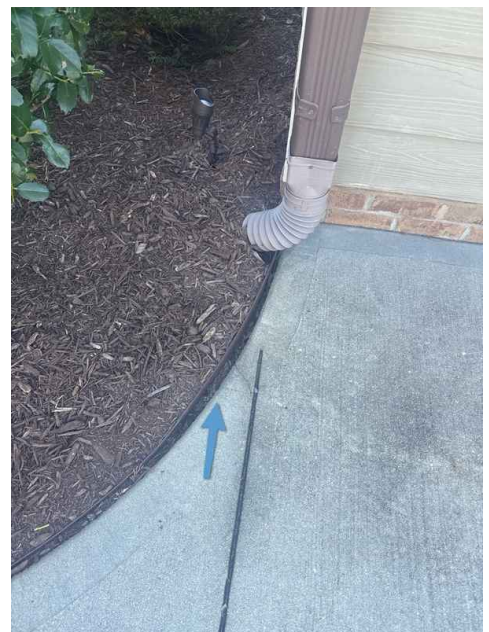


Maintenance/Minor/Monitor

Cracks observed and should be sealed with an appropriate sealant to help prevent further damage.

Recommendation

Contact a qualified professional.



Front Right Exterior

2.4.1 Weatherhoods and Vents

LOOSE WEATHERHOOD



Maintenance/Minor/Monitor

Dryer vent weatherhood is not secured to the exterior of the home and can fall off. This can allow animals to enter the vent and create an obstruction which is a fire hazard. Recommend cleaning the vent duct and securing the vent by a general repair specialist.

Recommendation

Contact a qualified handyman.



Rear Exterior

2.5.1 Exterior Doors

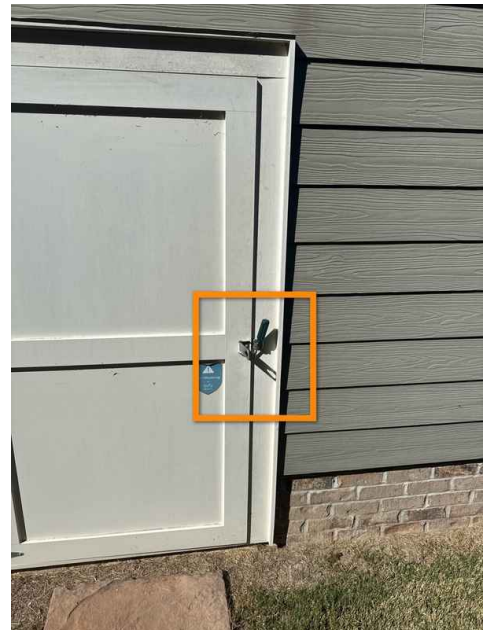
DOOR STICKS/RUBS

 Recommendation

Door sticks and can be difficult to open and close or may rub paint off the jamb. Recommend repair by a general repair specialist.

Recommendation

Contact a qualified professional.



Crawlspace

2.5.2 Exterior Doors

STAINS - MONITOR

 Maintenance/Minor/Monitor

Stains noted around the door. Tested dry on the day of inspection, but recommend monitoring and consult with a qualified contractor if elevated moisture or damage is noted.

Recommendation

Recommend monitoring.



Crawlspace door

2.9.1 Retaining walls

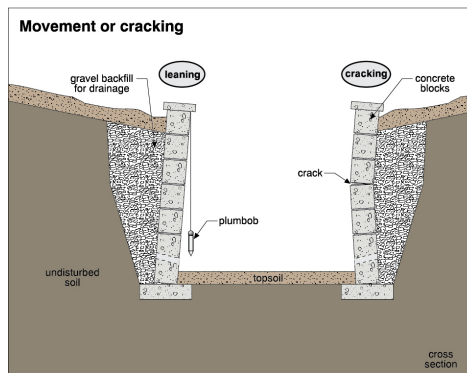
LEANING AND/OR CRACKING

**Recommendation**

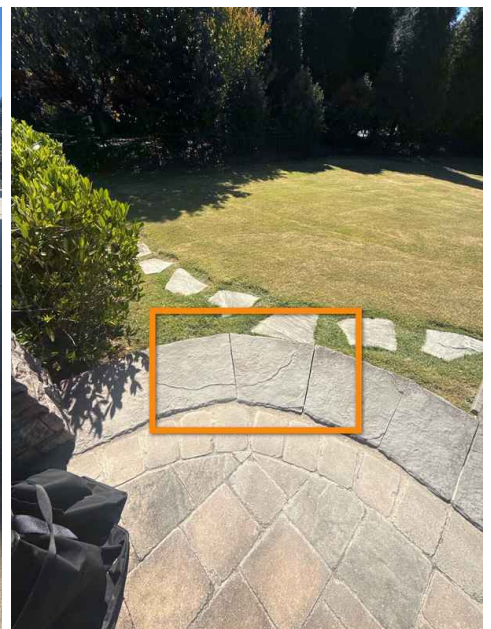
Retaining/landscaping wall is leaning and/or cracked which can lead to failure of the wall. Recommend a qualified contractor evaluate and repair. Typically a licensed structural engineer is recommended on walls more than 4 feet in height.

Recommendation

Contact a qualified professional.



Driveway



Rear patio



Front Left Exterior

2.9.2 Retaining walls

LOOSE BRICK/BLOCKS

**Recommendation**

Recommend repair of the loose brick/blocks to help prevent damage to the wall.

Recommendation

Contact a qualified professional.



Driveway

3.2.1 Trim

TRIM - LOOSE

**Maintenance/Minor/Monitor**

One or more pieces of trim/siding were loose, which could result in moisture intrusion and damage. Recommend properly securing the trim/siding by a qualified contractor.

Recommendation

Contact a qualified professional.



Front Right Exterior

3.2.2 Trim

PAINT/CAULKING

Maintenance/Minor/Monitor

Some areas noted on the exterior of the home that are not properly painted or sealed which could allow moisture penetration and cause damage. Recommend that all cladding/gaps/penetrations be properly maintained and sealed/painted by a qualified contractor.

Recommendation

Contact a qualified professional.



Front porch, Right



Right Exterior

3.5.1 Siding - Fiber Cement
SIDING CRACKED/LOOSE

Recommendation

There were areas where the siding was found to be cracked and/or loose. This condition could allow for excessive air passage, pest entry and hidden moisture damage to structural components. It is recommended that a licensed general contractor repair as needed. Photos are limited examples and do not depict all areas of damage.

Recommendation

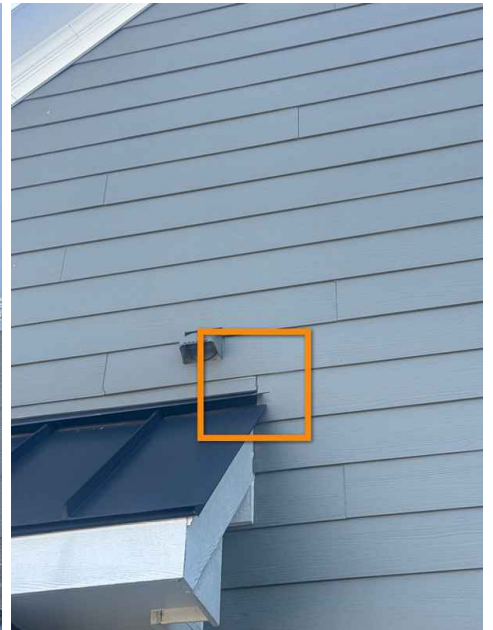
Contact a qualified general contractor.



Right Exterior



Right Exterior



Right Exterior



Rear Right Exterior



Middle Rear Exterior



Left Exterior



Left Exterior

3.6.1 Siding - Stone Veneer

NO VISIBLE WEEP SYSTEM

No visible weep system was noted at the tops of window and/or door openings. This condition may be conducive for water penetration. There was no evidence of staining or damage on the interior walls. Recommend monitoring this area, or contact a qualified siding, professional for further information if desired

Recommendation

Contact a qualified professional.



Recommendation



Left Exterior

4.2.1 Railings

HANDRAIL NOT PRESENT

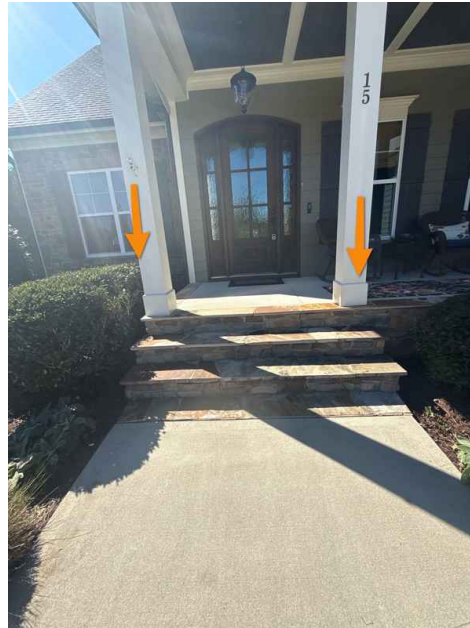
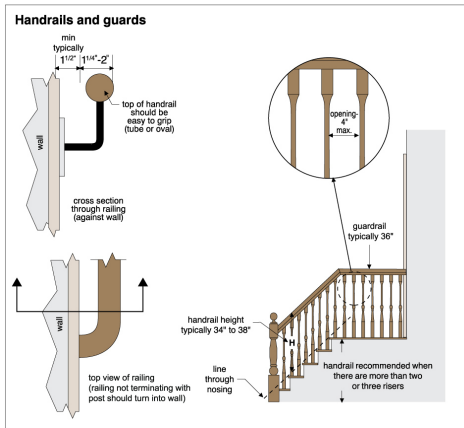
Handrail is not present on the steps that meets modern standards. Although this may not have been required when the home was built, handrails are recommended where there are four or more risers. This could be a trip hazard and recommend considering the installation of a graspable handrail by a qualified contractor that meets modern standards for increased safety.

Recommendation

Contact a qualified professional.



Recommendation



Front Stairway

4.4.1 Porches

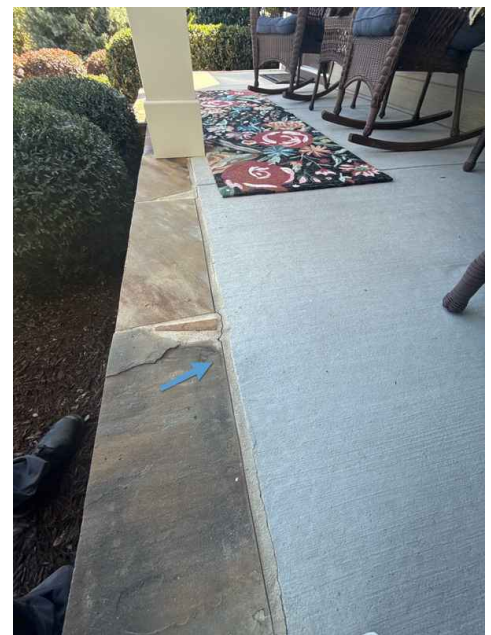
DETERIORATED MORTAR

Maintenance/Minor/Monitor

Damaged/missing mortar observed on the porch/steps. Exposure to moisture will eventually deteriorate some mortar. Recommend repointing of joints by a qualified contractor to help prevent future damage.

Recommendation

Contact a qualified masonry professional.



Front porch

5.1.1 Coverings

ROOF UNDULATIONS/UNEVEN AREAS

Recommendation

Undulations/uneven areas were observed at areas of the roof when viewed from the exterior. This is a support and movement concern. Recommend review and repairs by a qualified roofing contractor.

Recommendation

Contact a qualified roofing professional.



Front Right, Garage

5.1.2 Coverings

IRREGULAR SHINGLE PATTERN

Recommendation

Irregular shingle pattern noted in areas of the roof. This can cause damaged, or loose shingles, which may result in hidden damage. Recommend consulting with a roofing contractor for evaluation and repairs as deemed necessary.

Recommendation

Contact a qualified professional.



Front Right Roof

5.3.1 Drainage Systems

DOWNSPOUT/GUTTER - LOOSE

Recommendation

Gutter/downspouts are not securely installed which could result in improper drainage and moisture issues. Recommend properly securing and verifying proper drainage by a qualified contractor.

Recommendation

Contact a qualified gutter contractor



Rear Left

6.7.1 Food Disposer

DISPOSAL ON SEPTIC SYSTEM

Maintenance/Minor/Monitor

There is a food disposal noted under the kitchen sink, and it was observed. This house is on a septic system. Food disposals are not recommended on septic systems, and may cause damage to the system. Recommend exercising caution when using the sink drain, and client can have the disposal removed by a plumbing contractor at their discretion.

Recommendation

Recommend monitoring.



Kitchen

7.4.1 Doors

DOOR STICKS/RUBS Recommendation

Door sticks and can be difficult to open and close or may cause damage. Recommend repair by a general repair specialist.

Recommendation

Contact a qualified professional.



2nd Floor Bathroom

7.13.1 Fireplaces

FIREPLACE FAN NOISE Maintenance/Minor/Monitor

The fireplace fan did not turn on after the logs were lit for some time. Recommend further evaluation by a qualified fireplace contractor.

Recommendation

Contact a qualified professional.



Living Room

8.3.1 Bathroom

BATHROOM FAN VENTS INTO ATTIC

**Recommendation**

Bathroom fan vents into the attic, which can cause elevated moisture. Recommend a qualified contractor properly install exhaust fan to terminate to the exterior.

Recommendation

Contact a qualified professional.



2nd Floor Bathroom

8.4.1 Roof Framing

DAMAGED/MODIFIED TRUSS

**Recommendation**

A truss was observed to be modified and/or damaged. A truss should not be modified without an engineering letter and recommend asking for any available engineering records. If the truss was not repaired per an engineer's instructions then recommend repair of the truss per a professional engineers direction and repairs should be performed by a qualified contractor.

Recommendation

Contact a qualified professional.



Rear Left Attic

8.4.2 Roof Framing

SHELVING ON TRUSSES



Shelving was observed to be installed on the trusses in the attic. Trusses are an engineered product and designed to carry a specific load. Adding shelving to the trusses can increase the load and cause a support concern. Recommend removing shelving or having shelving removed by a qualified handyman.

Recommendation

Contact a handyman or DIY project



Attic entry



Middle Attic

10.2.1 Main Panel

BROKEN LATCH



Maintenance/Minor/Monitor

The latch on the cover panel is damaged and recommend repair by an electrical contractor so that the door will stay closed as intended.

Recommendation

Contact a qualified electrical contractor.



Right Exterior

10.3.1 Sub Panel

MULTIWIRE BRANCH CIRCUIT



Maintenance/Minor/Monitor

Although it may not have been required when the home was built, recommend that breaker handle ties be installed on the multi wire branch circuits by an electrical contractor for increased safety.

Recommendation

Contact a qualified electrical contractor.



Garage

11.1.1 Equipment

EVIDENCE OF PAST AND/OR PRESENT LEAK



Recommendation

Rust or corrosion observed which is evidence of a past and/or present leak in the system that can cause moisture damage. Recommend asking the homeowner for any available service records and further evaluation of the HVAC system by an HVAC contractor.

Recommendation

Contact a qualified heating and cooling contractor



Crawlspace Middle Rear

15.8.1 Sinks and Drains

STOPPER NOT PROPERLY INSTALLED

Maintenance/Minor/Monitor

The drain stopper did operate properly. This is a function concern. Recommend repair/adjustment of the drain stopper so that it will open and close as intended to allow for proper filling and draining of the basin.

Recommendation

Contact a qualified handyman.



Master Bathroom

16.2.1 Moisture Barrier

STAINING ON VAPOR BARRIER

Recommendation

Moisture stains were observed on top of the vapor barrier during the crawlspace inspection. This is evidence of past or present water intrusion. Persistent moisture in a crawlspace can lead to wood rot, mold growth, and damage. Recommend evaluation by a qualified professional and repairs made as necessary.

Recommendation

Contact a qualified professional.



Front Right Crawlspace

16.6.1 Foundation

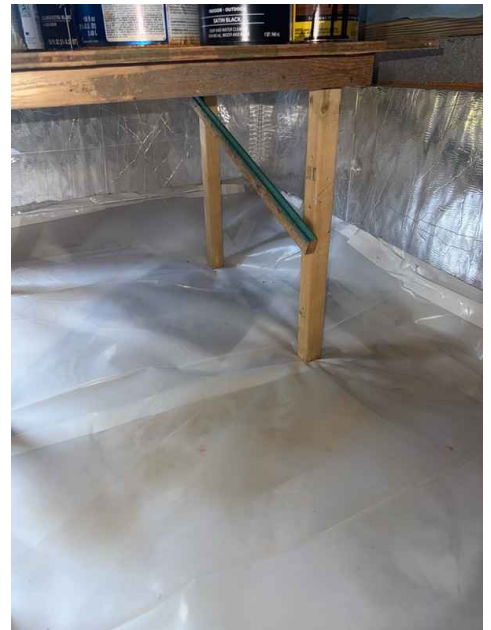
FOUNDATION DRAIN NOT PRESENT

Recommendation

There is no gravity drain present in the low point of the crawlspace. Modern practices for crawlspace encapsulation include a drain, or pump to help water escape the crawlspace in the event of significant leaks or water intrusion. Recommend the installation of the crawlspace drain by a qualified professional.

Recommendation

Contact a qualified professional.



Rear Left Crawlspace