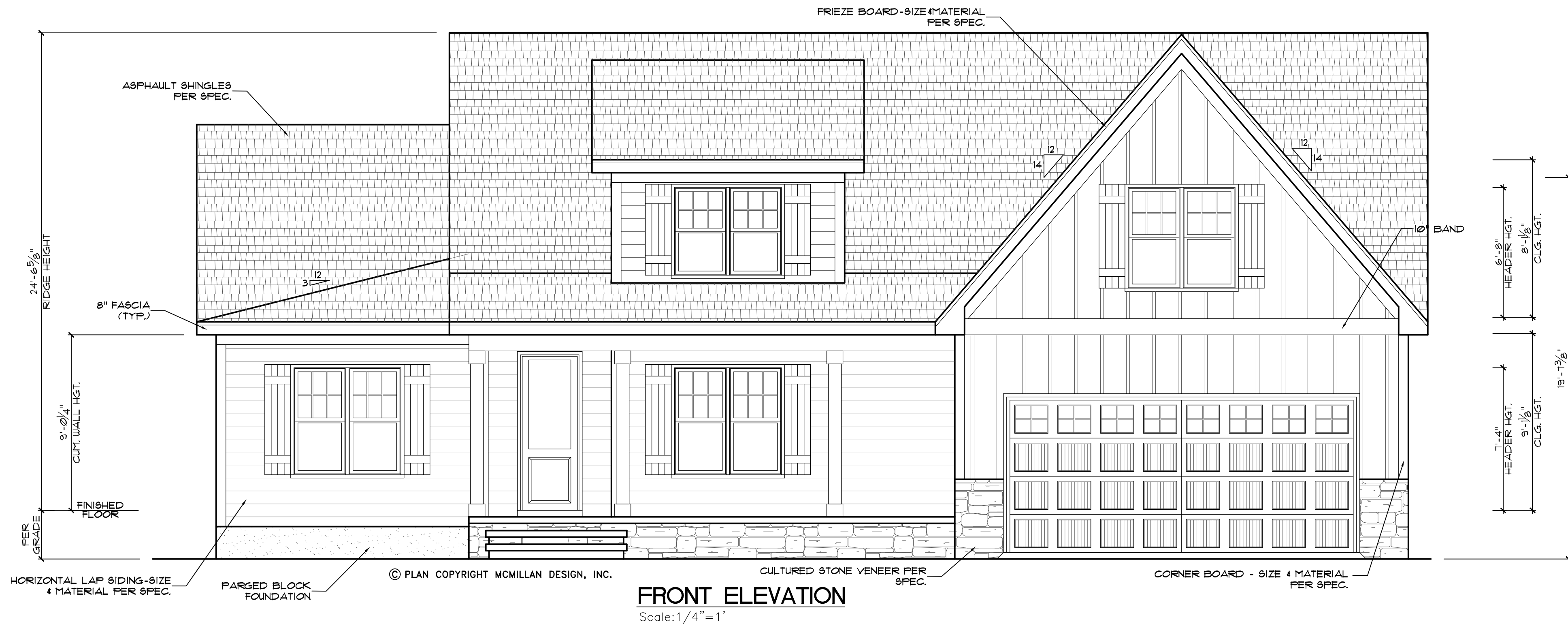




ELEVATION NOTES

BUILDING CODES:
THIS PLAN HAS BEEN DESIGNED UNDER THE NC BUILDING CODES, 2018 RESIDENTIAL EDITION.

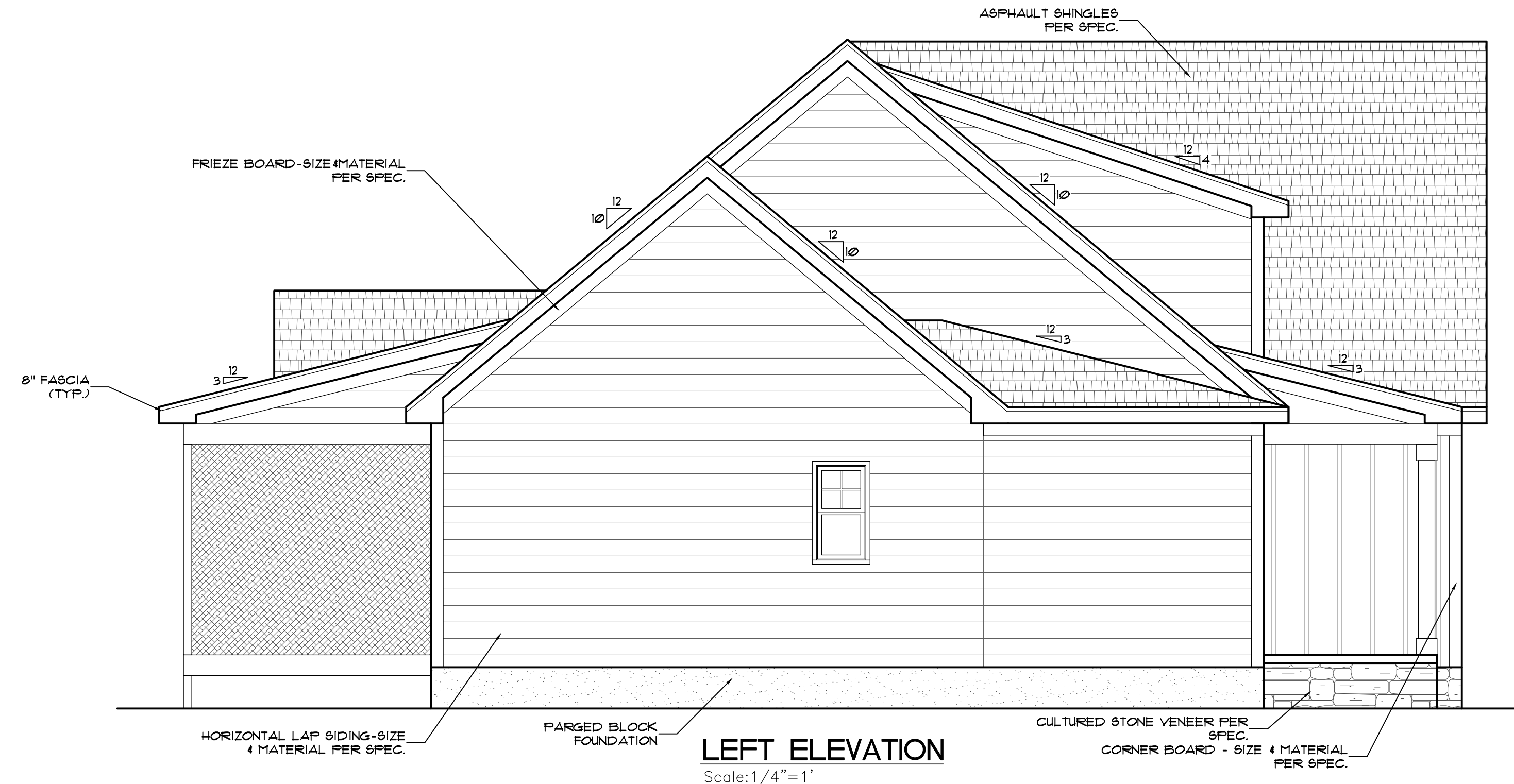
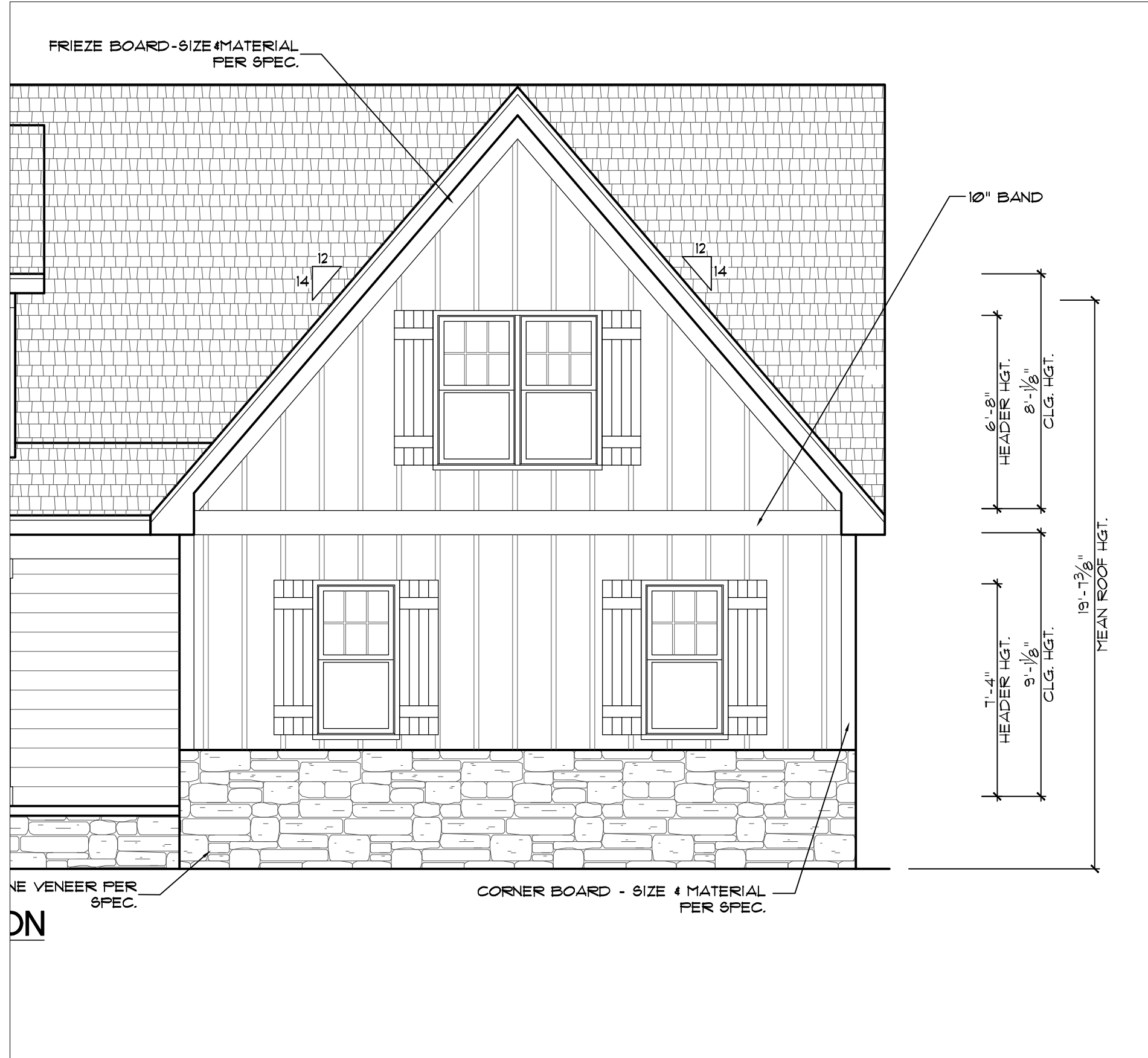
ROOFING:
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R305.11.

VENTING CALCULATIONS:

CRAWLSPACE:
THE MIN. NET FREE AREA OF CRAWL VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE AREA.
1835 SQ. FT. CRAWL SPACE AREA / 150 = 12.2 SQ. FT. NET FREE AREA REQUIRED
MAY BE REDUCED BY 50% W/ VAPOR BARRIER

ATTIC:
2111 SQ. FT. OF ATTIC / 300 = 9.1 SQ. FT. OF INLET AND OUTLET
VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS.

FRONT ELEVATION
Scale: 1/4" = 1'



LEFT ELEVATION
Scale: 1/4" = 1'

Brandywine Homes
Pilot Ridge
Lot #57

FRONT & LEFT ELEVATIONS

REVISIONS	
NUMBER	DATE
1	12.17.2024

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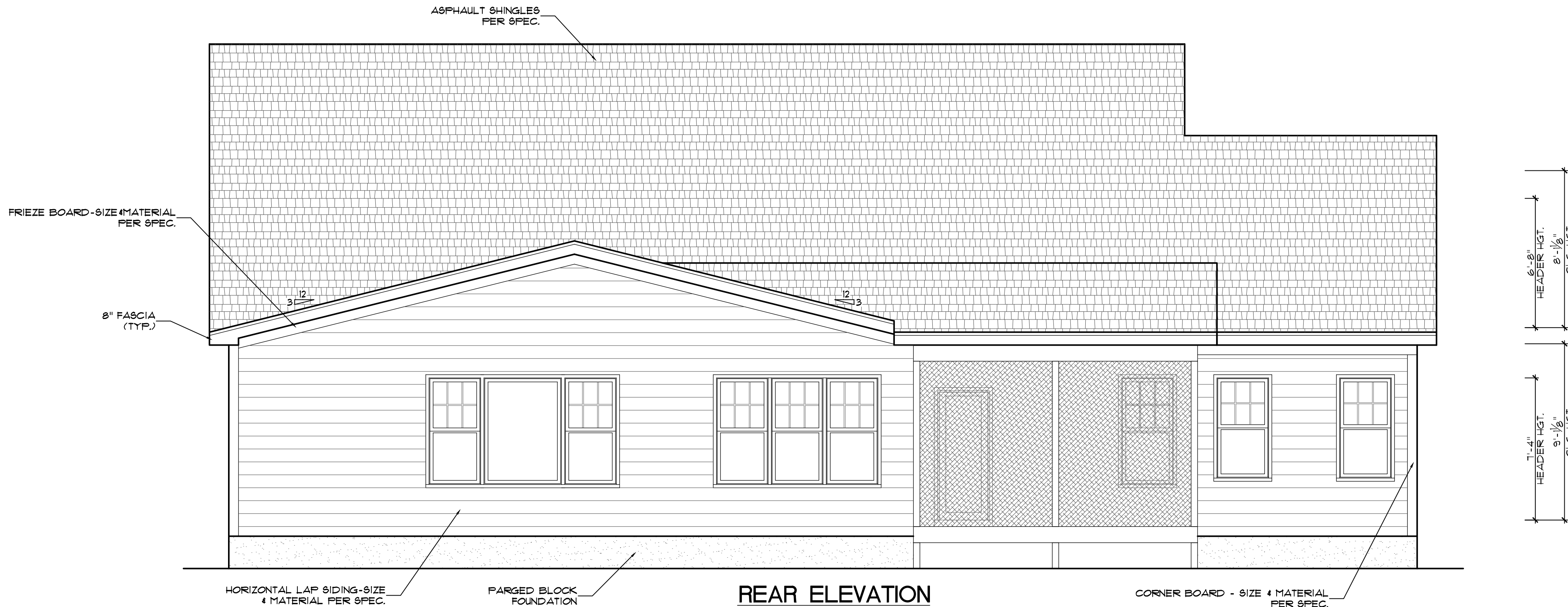
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Plan Number
M042-24

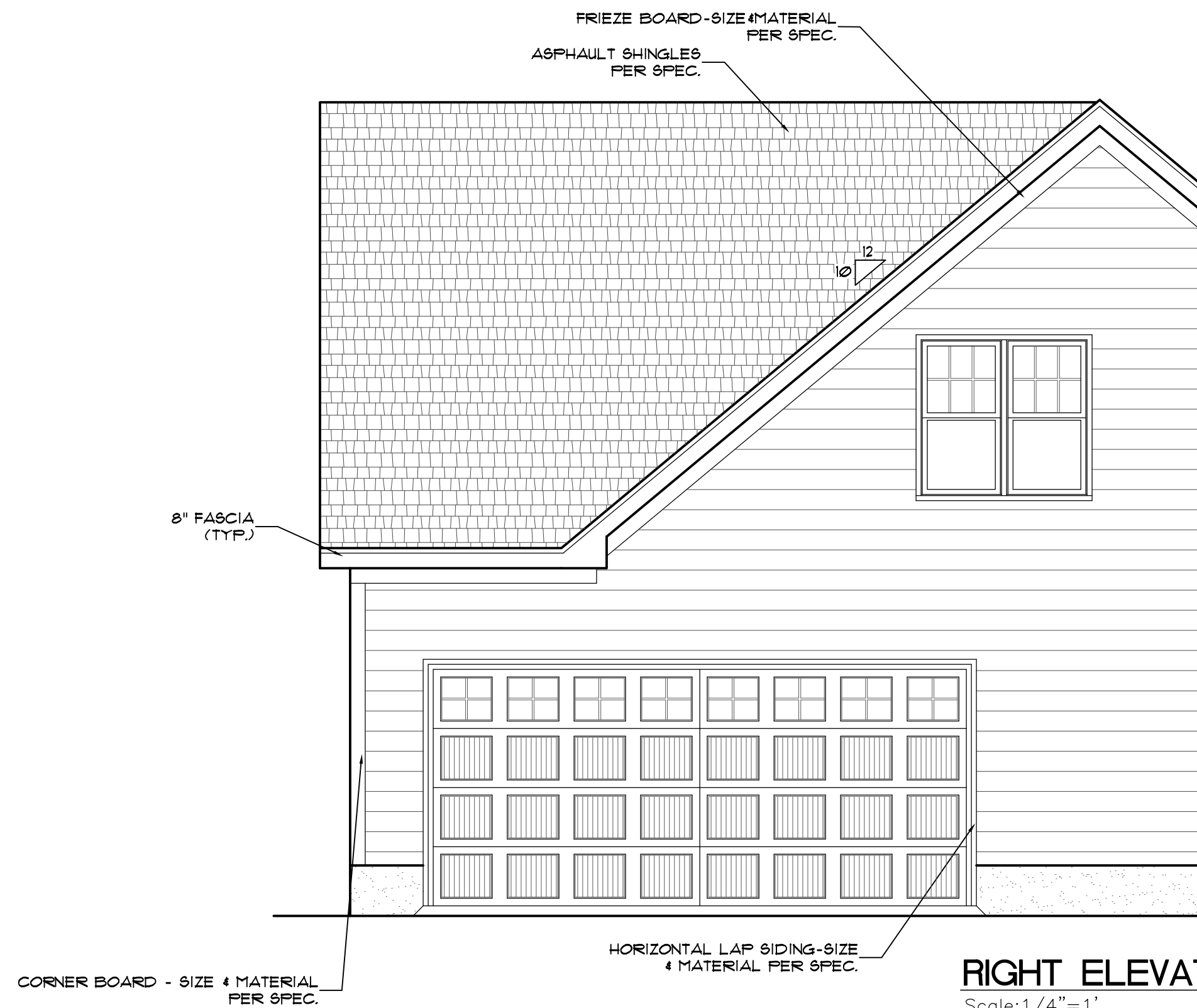
Sheet No. **A1**

Drawn By: **MMc.**

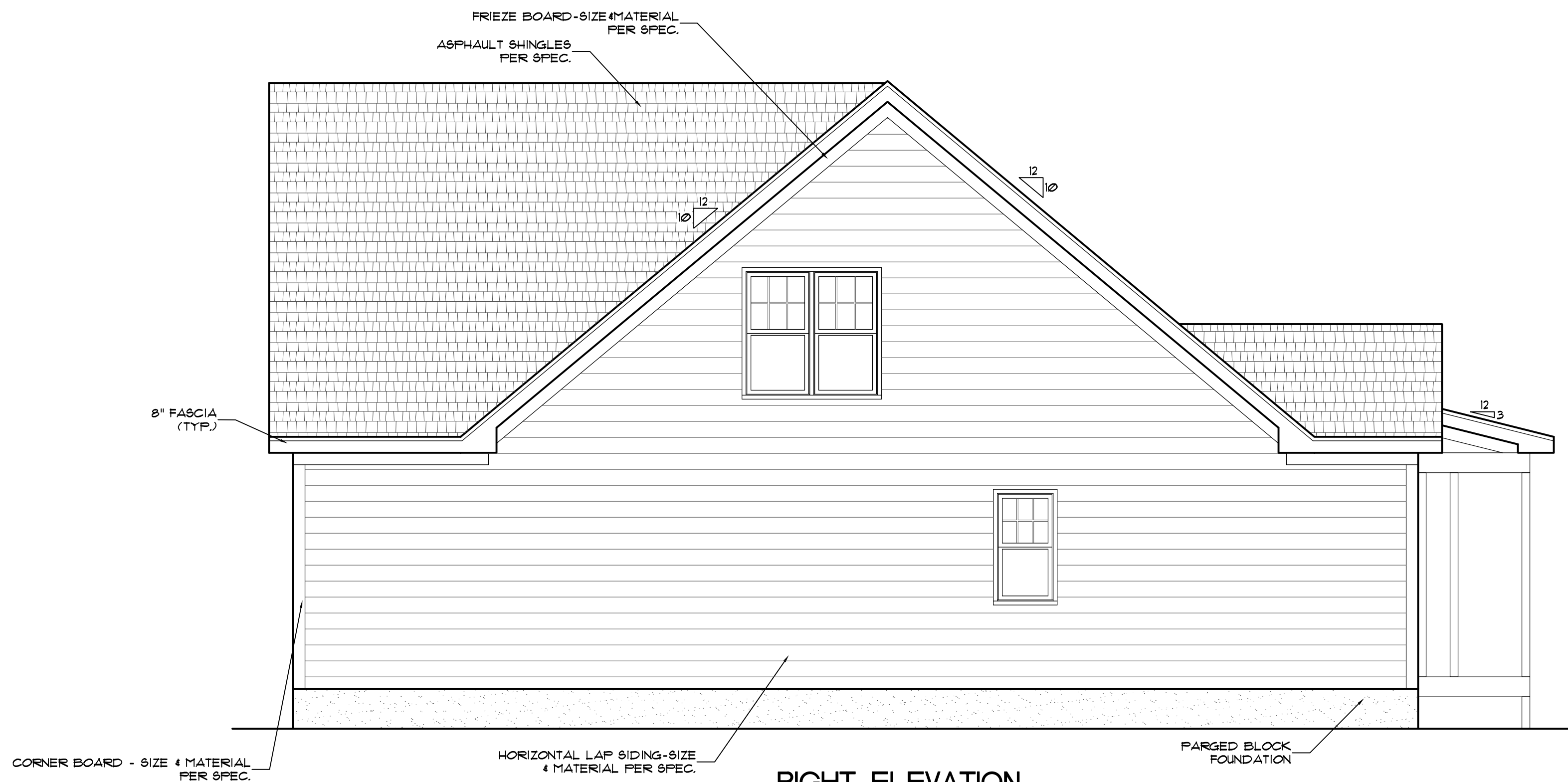
Date: **01.21.2025**



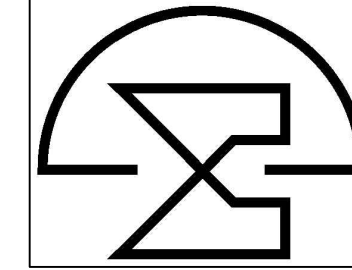
REAR ELEVATION
Scale: 1/4" = 1'



RIGHT ELEVATION
Scale: 1/4" = 1'



RIGHT ELEVATION
Scale: 1/4" = 1'



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Brandywine Homes
Pilot Ridge
Lot #57

Sheet Title:
REAR & RIGHT ELEVATIONS

REVISIONS	
NUMBER	DATE
1	12.17.2024

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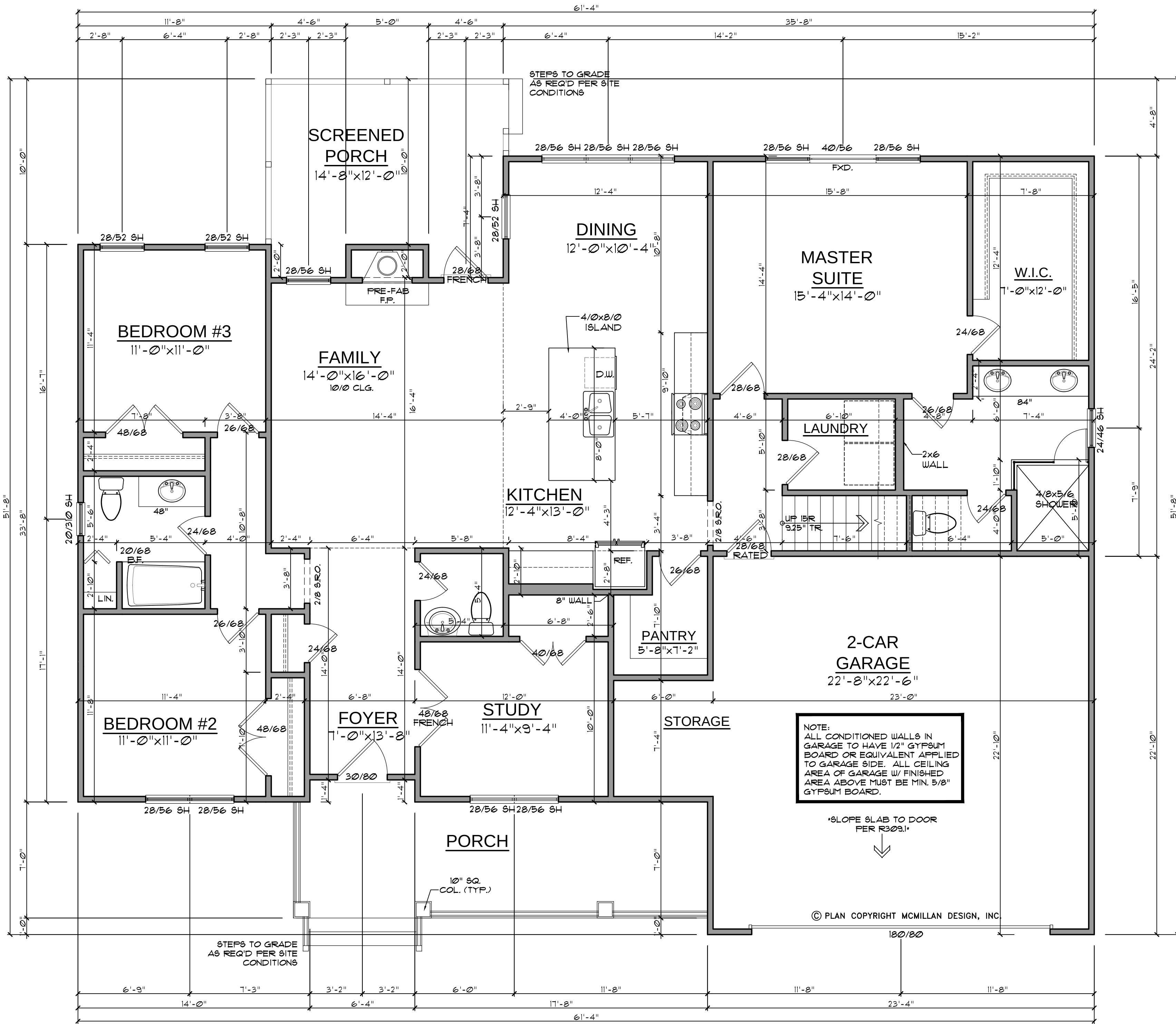
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Plan Number
M042-24

Sheet No. **A2**

Drawn By: **MMc.**

Date: **01.21.2025**



GENERAL NOTES

WALLS:
ALL WALLS ARE DRAWN 4" THICK UNO.
ANGLED WALL ARE DRAWN 645" UNO.

SMOKE DETECTORS:
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

EGRESS:
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO R-310 OF THE N.C. BLDG. CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CHOSEN WINDOWS MEET EGRESS REQUIREMENTS AS MANUFACTURERS VARY.

ATTIC ACCESS:
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.

WALL/CEILING HGT.
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE.
KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTRA 2" FOR FURRING (IN HEATED SPACES) FOR INSULATION THE WALL HEIGHT REFERS TO THE HGT. FROM THE FLOOR DECKING TO THE BOTTOM OF THE FURRING.

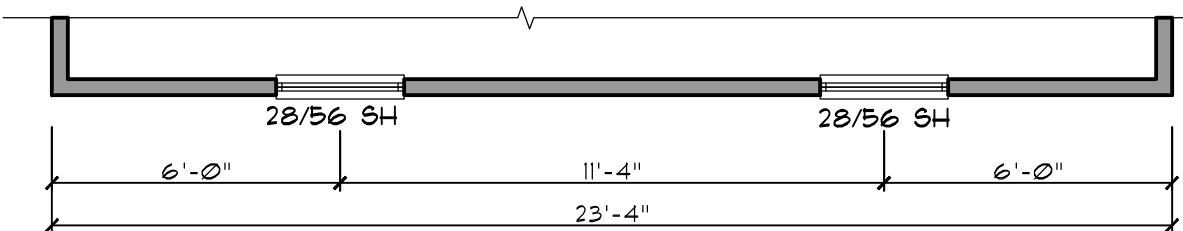
Heated Square Footage	
First Floor	1,835
Second Floor	422
	2,257

Unheated	
Front Porch	184
Garage	579
Screened Porch	173
Walk-in Storage	704
	1,640

Unheated - Options & Storage	
Future Craft Room	272
	272

FIRST FLOOR

SCALE: 1/4" = 1'



Brandywine Homes
Pilot Ridge
Lot #57

SHEET TITLE:
FIRST FLOOR PLAN

REVISIONS	
NUMBER	DATE
1	12.17.2024

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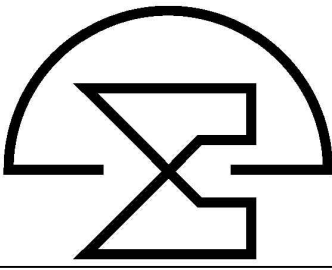
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M042-24

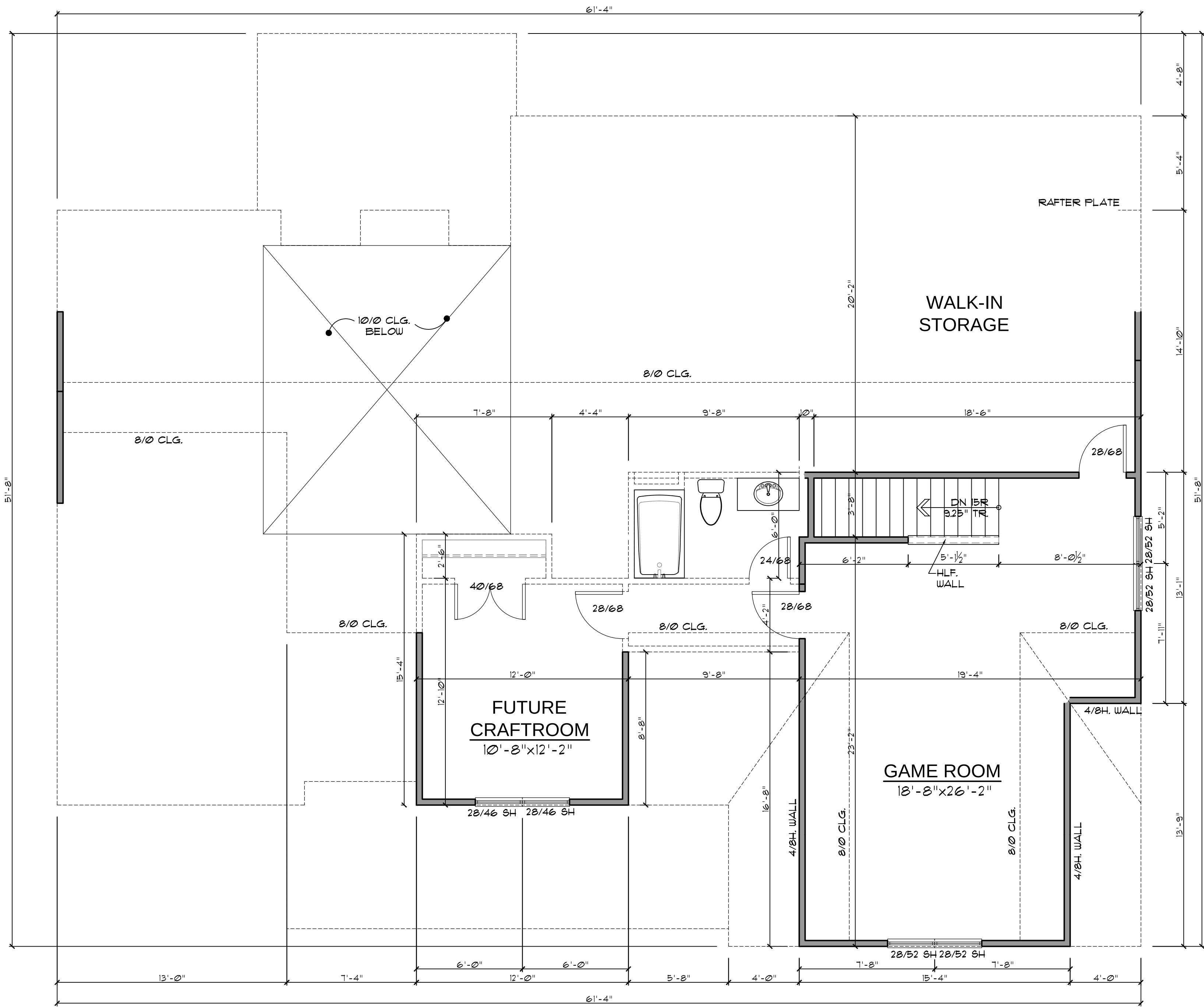
Sheet No. **A3**

Drawn By: **MMC.**

Date: **01.21.2025**



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GENERAL NOTES

WALLS:
ALL WALLS ARE DRAWN 4" THICK UNO.
ANGLED WALL ARE DRAWN #45° UNO.

SMOKE DETECTORS:
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

EGRESS:
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO R-310 OF THE N.C. BLDG. CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CHOSEN WINDOWS MEET EGRESS REQUIREMENTS AS MANUFACTURERS VARY.

ATTIC ACCESS:
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.

WALL/CEILING HGT:
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE.
KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTRA 2" FOR FURRING (IN HEATED SPACES) FOR INSULATION. THE WALL HEIGHT REFERS TO THE HGT. FROM THE FLOOR DECKING TO THE BOTTOM OF THE FURRING.

SECOND FLOOR

SCALE: 1/4"=1'

Brandywine Homes
Pilot Ridge
Lot #57

SECOND
FLOOR PLAN

REVISIONS	
NUMBER	DATE
1	12.17.2024

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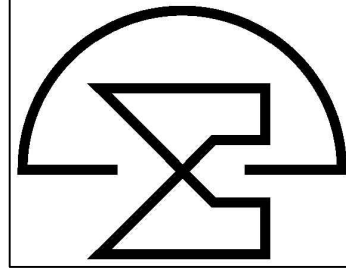
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Plan Number
M042-24

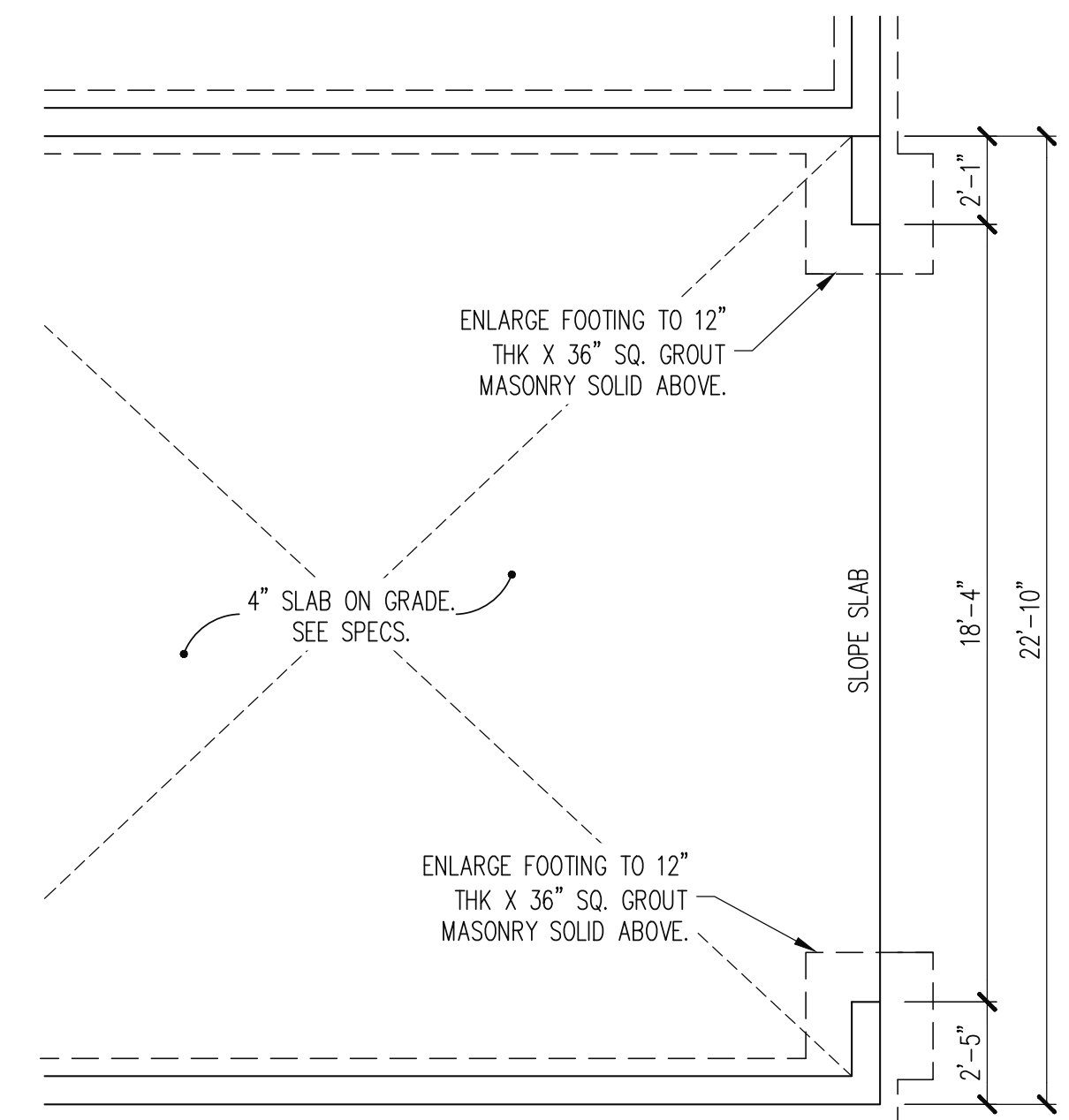
Sheet No. **A4**

Drawn By: **MMC.**

Date: **01.21.2025**



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CONSTRUCTION SPECIFICATIONS

INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS
SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODEPART 14: STUD SUPPORT FOR BEAMSPART 16.02: GENERAL WALL BRACING NOTES

PART 17: KING STUDS FOR EXTERIOR WALLS

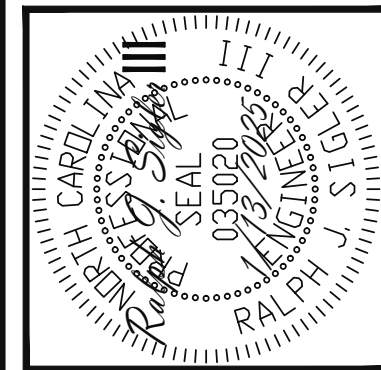
SEE DETAIL / CONSTRUCTION SPECIFICATIONS
SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

NOTES:
-HEIGHT AND BACKFILL LIMITATIONS FOR
FOUNDATION WALLS ARE TO BE GOVERNED
BY THE NCSBC, LATEST EDITION.
REINFORCEMENT AND GROUTING SHALL BE
DETERMINED BY FINAL SITE CONDITIONS.

-PLUMBING SHOWN FOR REFERENCE ONLY.
BUILDER VERIFY FINAL FIXTURE LOCATIONS
SIZES AND REQUIREMENTS PRIOR TO
INSTALLATION.

$$\underline{1/4'' = 1'-0''}$$

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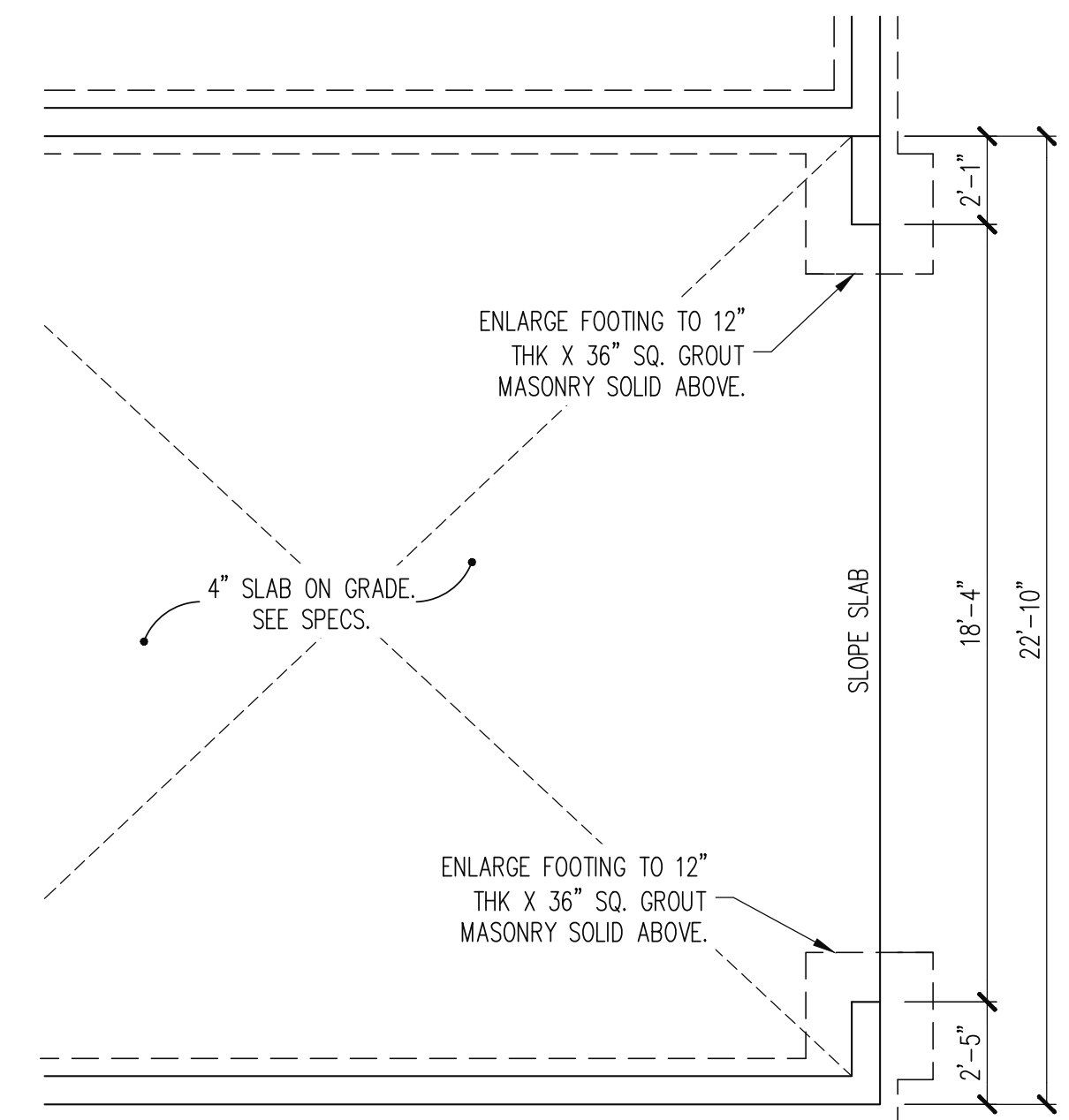
ASSOCIATES, P.A.

BRANDYWINE HOMES			
SCOPE:	STRUCTURAL ADDENDUM		
LOC:	57 PILOT RIDGE	REV #	REF PROJ # DATE

ENG:	RJS/ZCH
DATE:	1/13/2025

PROJECT NO.
24-21-345

SHEET NO.
S1
1 of 8



CONSTRUCTION SPECIFICATIONS

INSTANT REFERENCES

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SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: STUD SUPPORT FOR BEAMS

PART 16.02: GENERAL WALL BRACING NOTES

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS
SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTION:

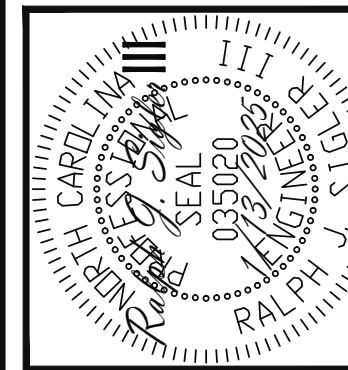
NOTES:

- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
- REINFORCEMENT AND GROUTING SHALL BE DETERMINED BY FINAL SITE CONDITIONS.
- BUILDER TO FIELD LOCATE CRAWLSPACE ACCESS OPENING WITH MINIMUM DIMENSION OF 18X24. DO NOT LOCATE ACCESS OPENING BELOW POINT LOADS FROM ABOVE WITHOUT ENGINEER APPROVAL.

FOUNDATION PLAN
CRAWL SPACE OPTION

$$\underline{1/4'' = 1'-0''}$$

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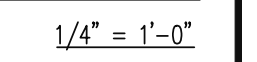
ASSOCIATES, P.A.

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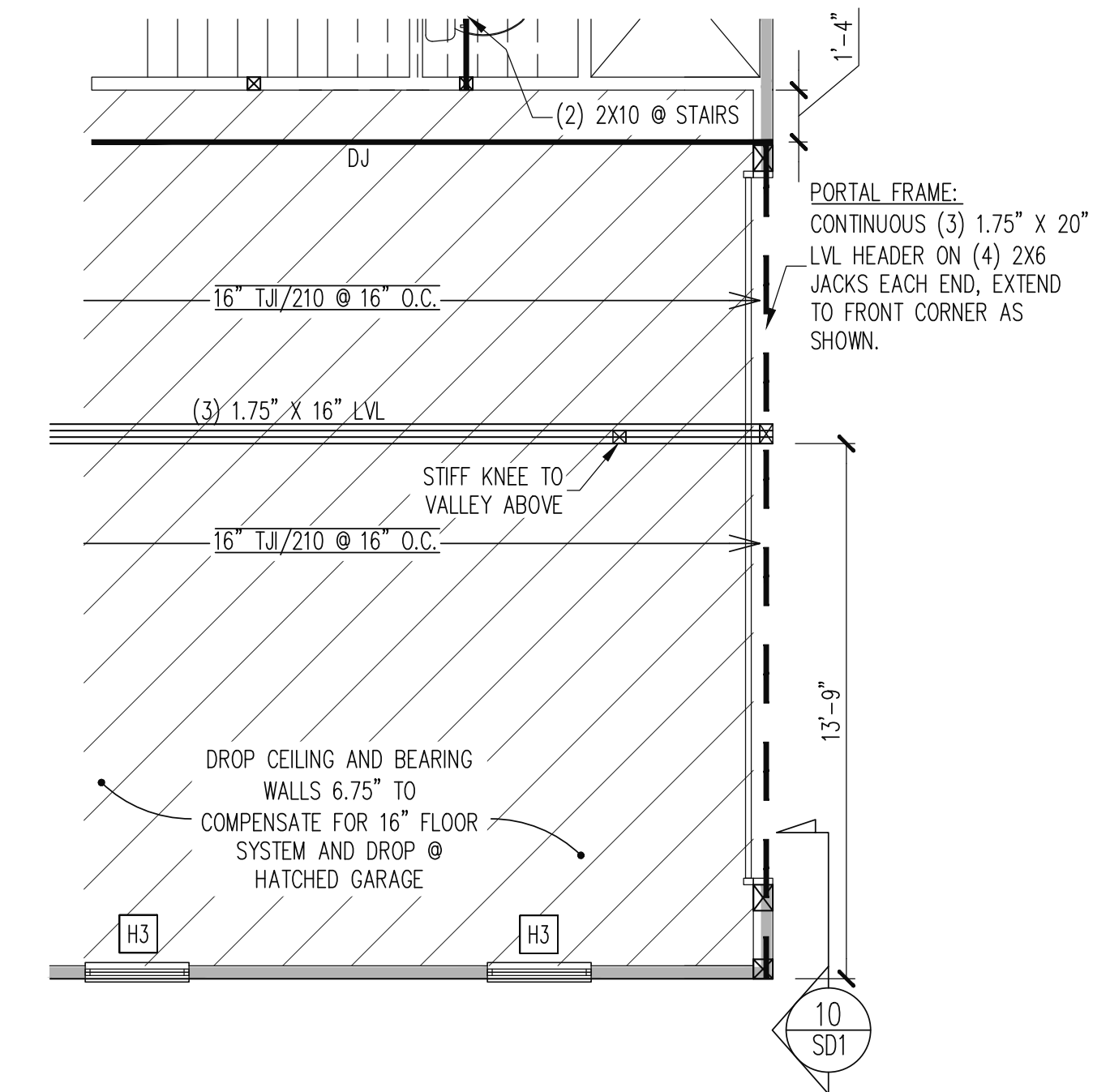
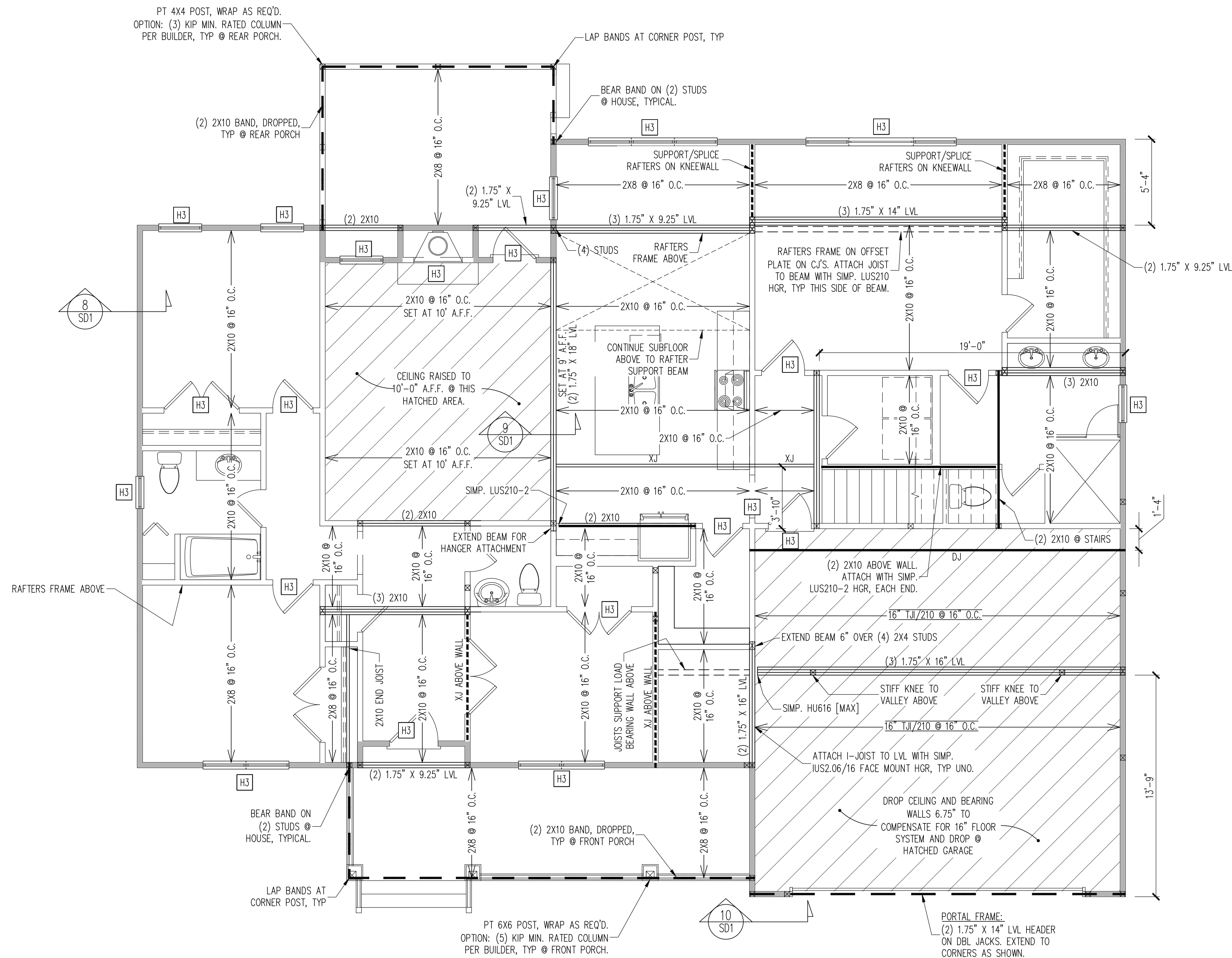
ENG:	RJS/ZCH
DATE:	1/13/2025

PROJECT NO.
24-21-345

SHEET NO.
S2
2 of 8



SHEET NO.
S3
3 of 8



SIDE ENTRY GARAGE OPTION
WALLS AND CEILING 1/4" = 1'-0"

WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:
PROVIDED CONTINUOUS SHEATHING = 223' MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

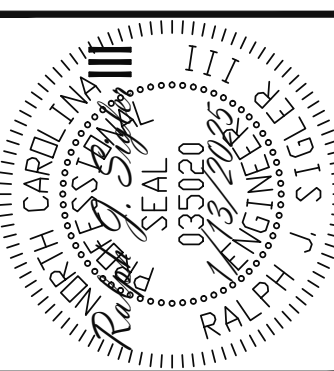
- H1 SINGLE 2X4 TURNED FLAT (A)
H2 (2) 2X4'S ON SINGLE JACKS (B)
H3 (2) 2X10'S ON SINGLE JACKS (C)
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5 (3) 2X10'S ON SINGLE JACKS
- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

1ST FLOOR FRAMING PLAN

WALLS AND CEILING 1/4" = 1'-0"

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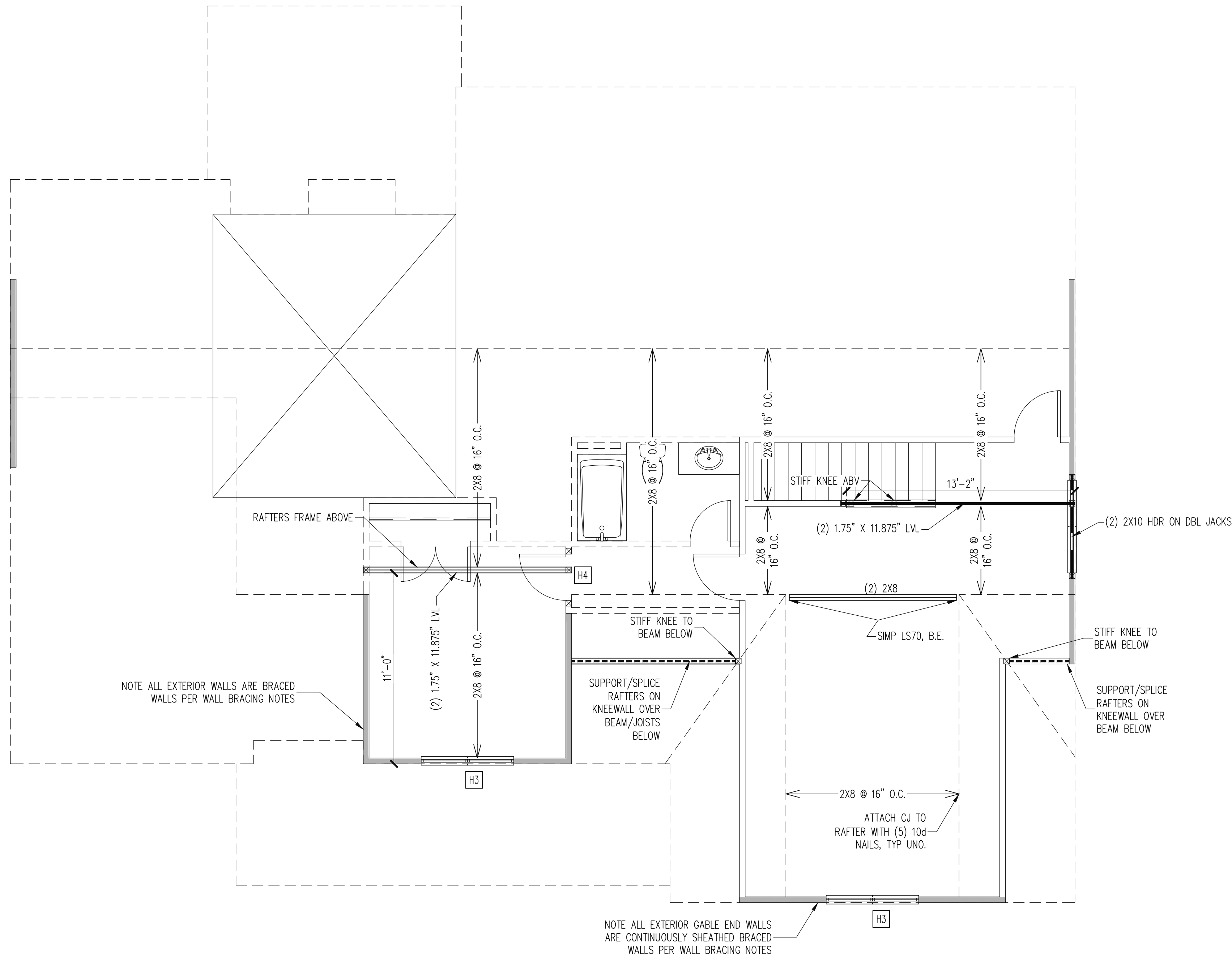
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BRANDYWINE HOMES	STRUCTURAL ADDENDUM		REV #	REF PROJ #	DATE
	SCOPE	LOC	57	PILOT RIDGE	

ENG: RJS/ZCH
DATE: 1/13/2025

PROJECT NO.
24-21-345

SHEET NO.
S4
4 of 8



WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:
PROVIDED CONTINUOUS SHEATHING = 76" MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

H1 SINGLE 2X4 TURNED FLAT (A)

H2 (2) 2X4'S ON SINGLE JACKS (B)

H3 (2) 2X10'S ON SINGLE JACKS (C)

H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS

H5 (3) 2X10'S ON SINGLE JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.

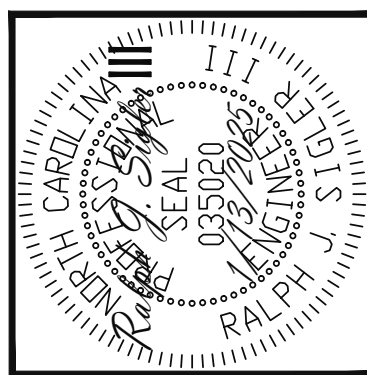
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.

(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

2ND FLOOR FRAMING PLAN
WALLS AND CEILING 1/4" = 1'-0"

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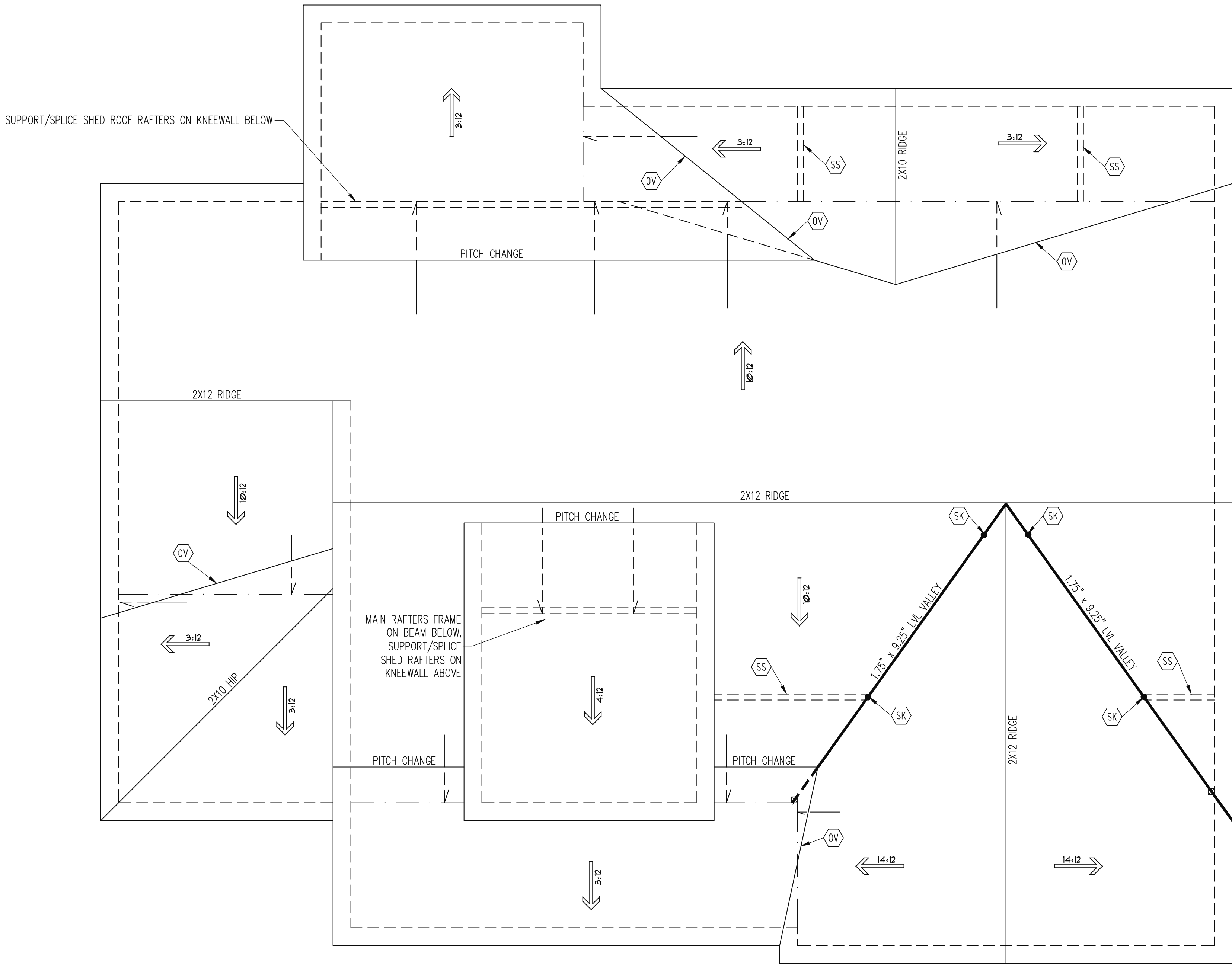
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SCOPE	BRANDYWINE HOMES	
	STRUCTURAL ADDENDUM	
LOC	REV #	REF PROJ #
	DATE	
57 PILOT RIDGE		

ENG: RJS/ZCH
DATE 1/13/2025

PROJECT NO.
24-21-345

SHEET NO.
S5
5 of 8



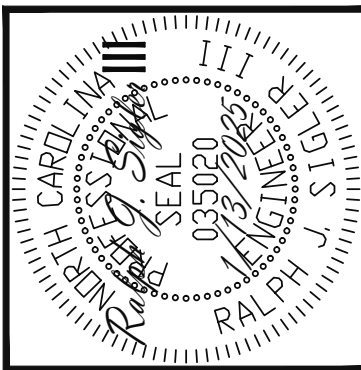
FRAMING NOTES	
ROOF ONLY	
-COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O.	
-COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.	
-ROOF PITCHES 10:12 TYP U.N.O.	
-VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.	

FRAMING SCHEDULE	
ROOF ONLY	
OV	OVERFRAME VALLEY (2X10 SLEEPER)
SK	DBL 2X4 STIFF KNEE
SS	SUPPORT/SPICE RAFTERS ON KNEEWALL BELOW

ROOF FRAMING PLAN

1/4" = 1'-0"

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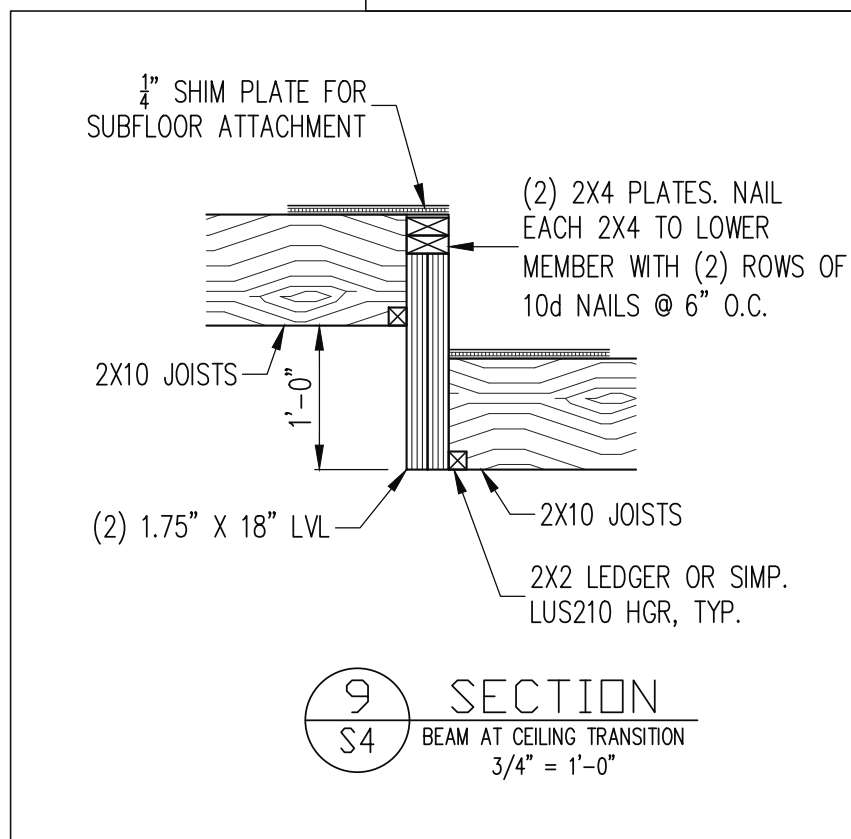
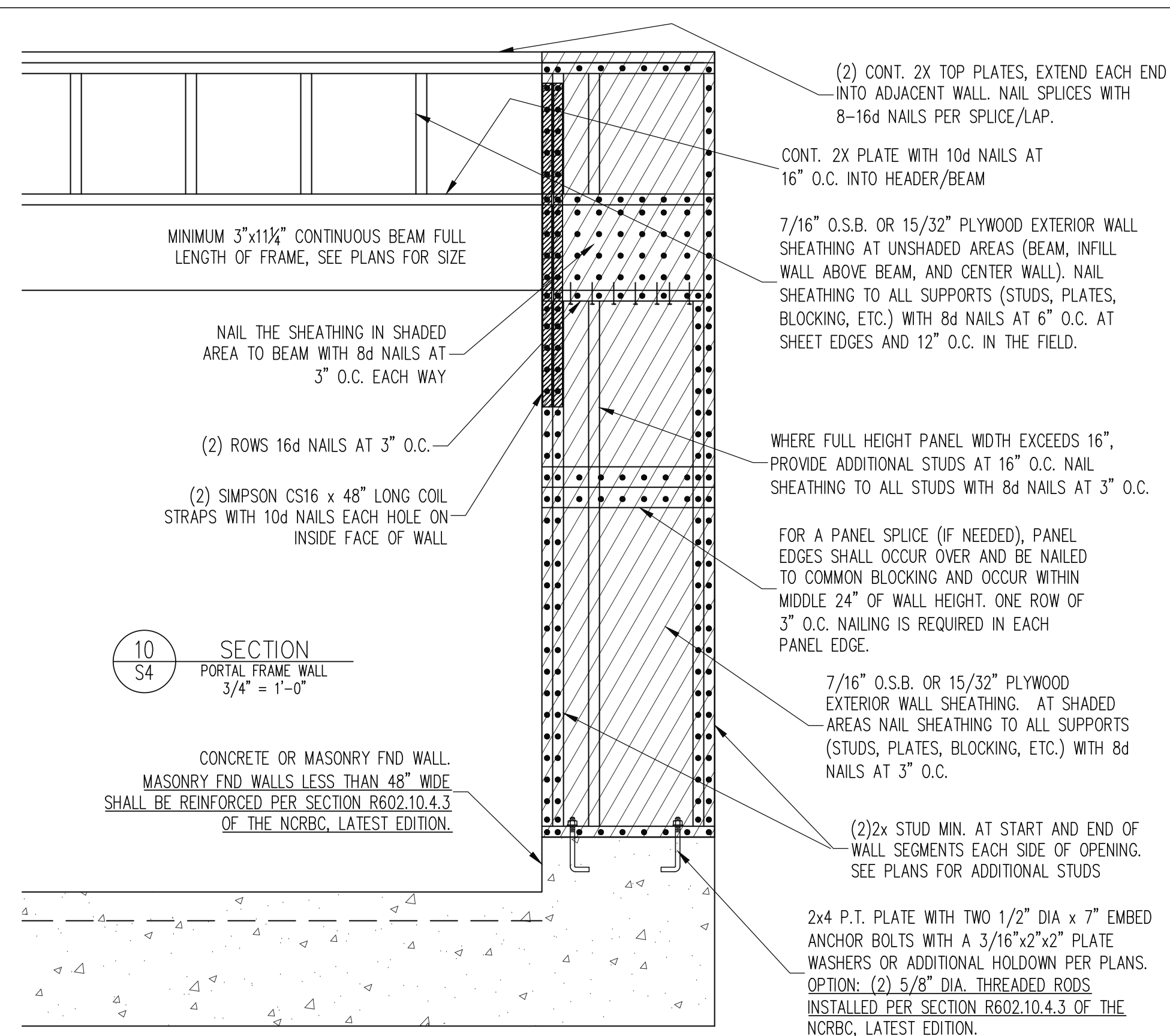
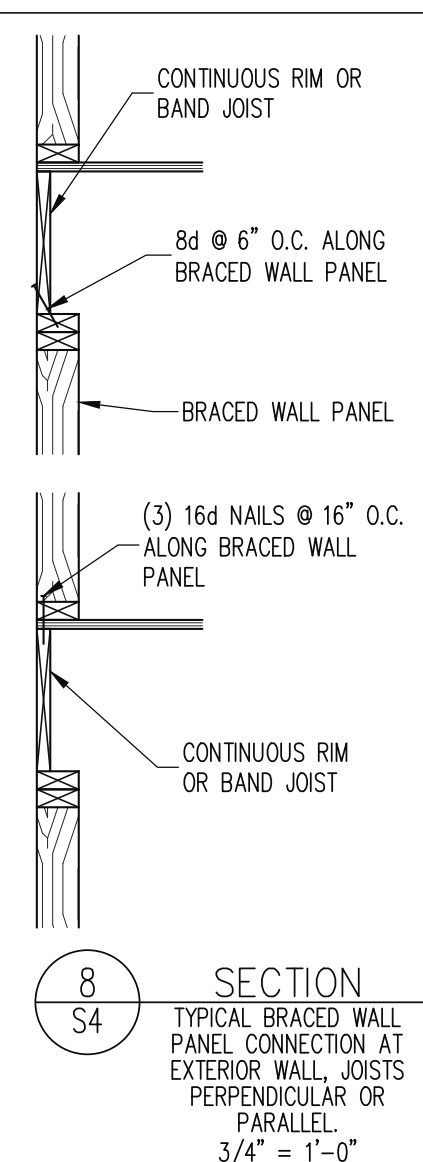
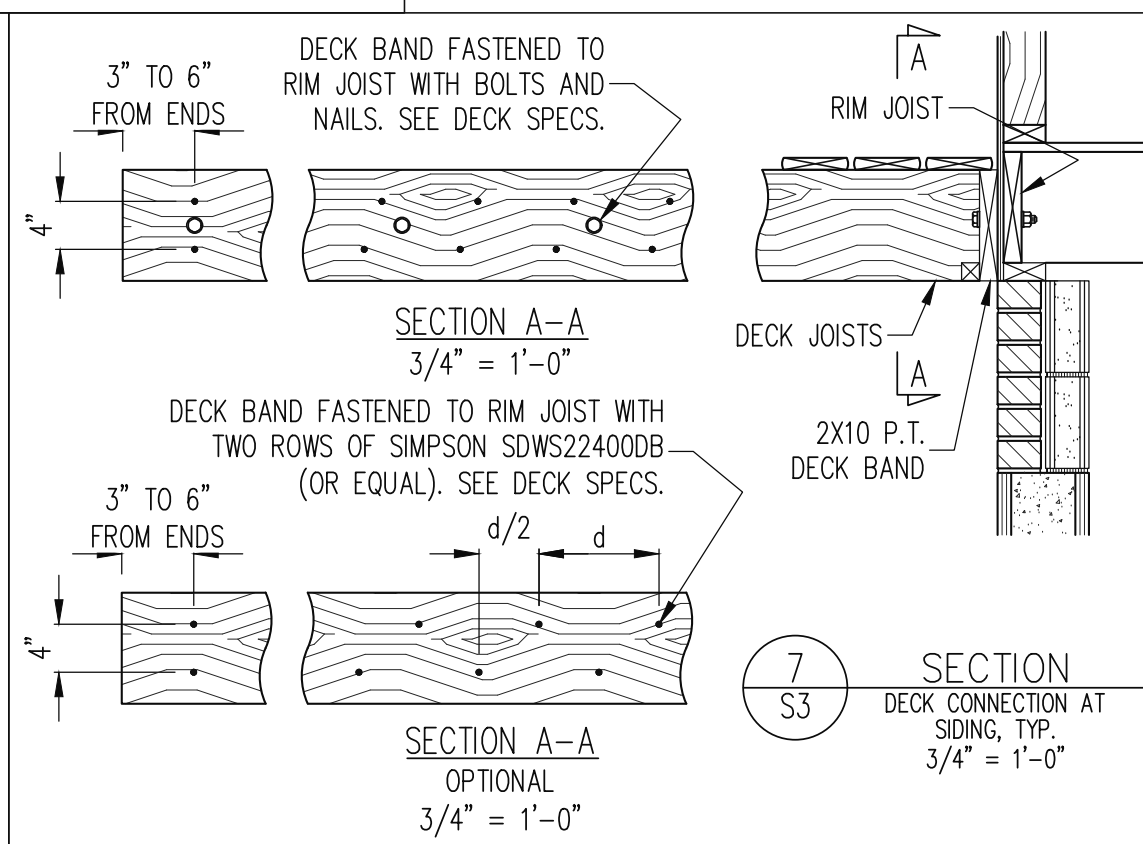
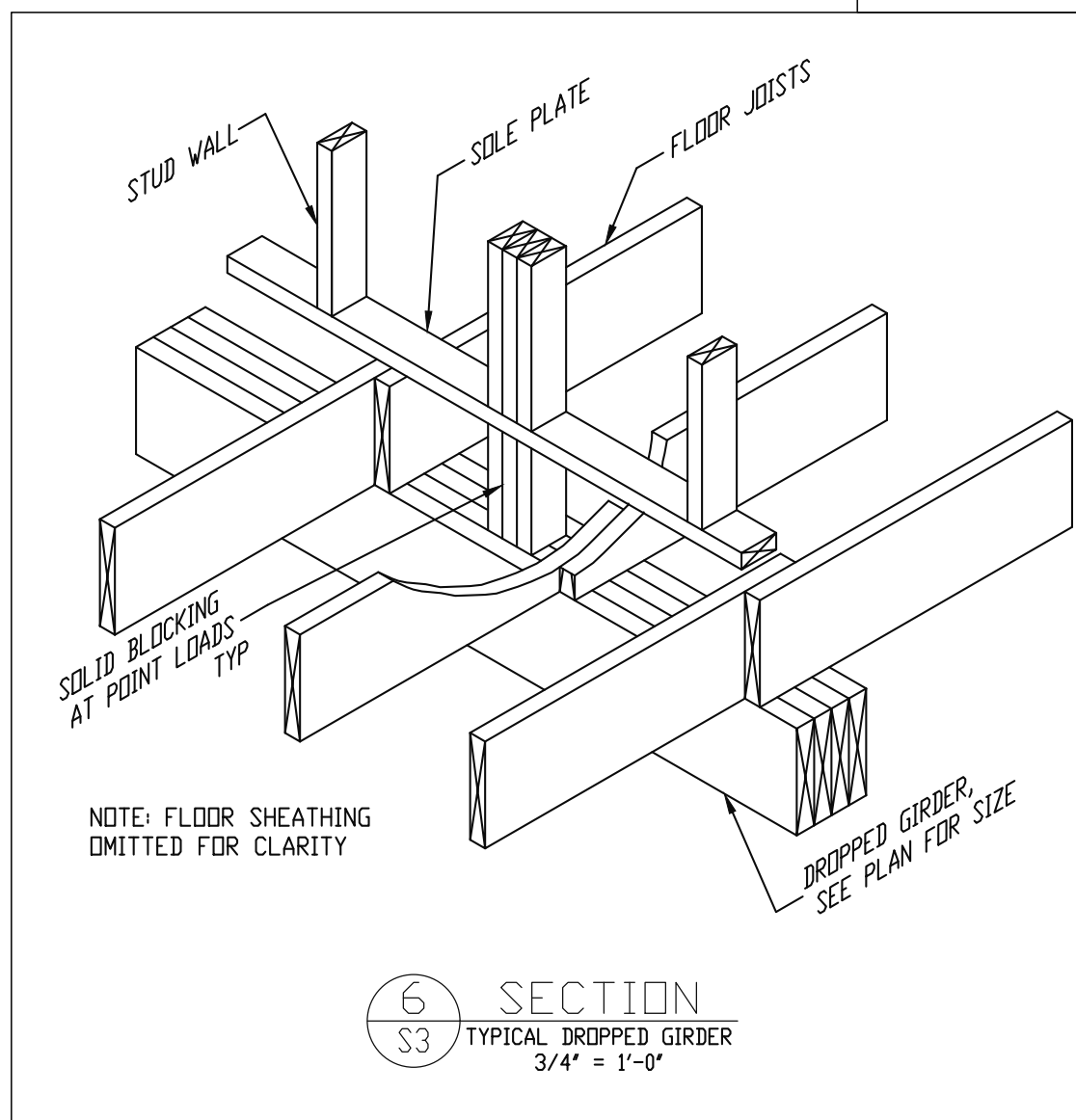
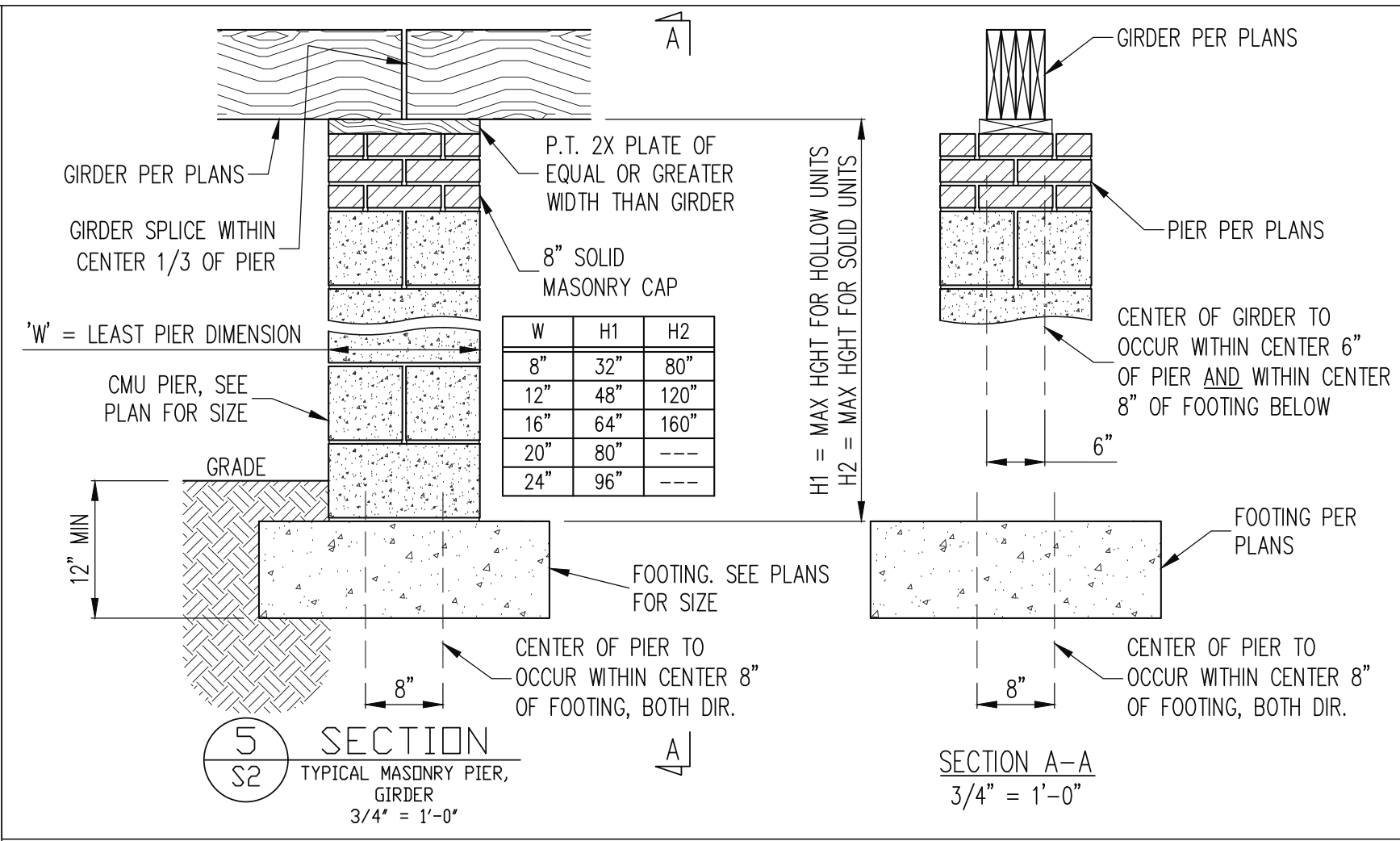
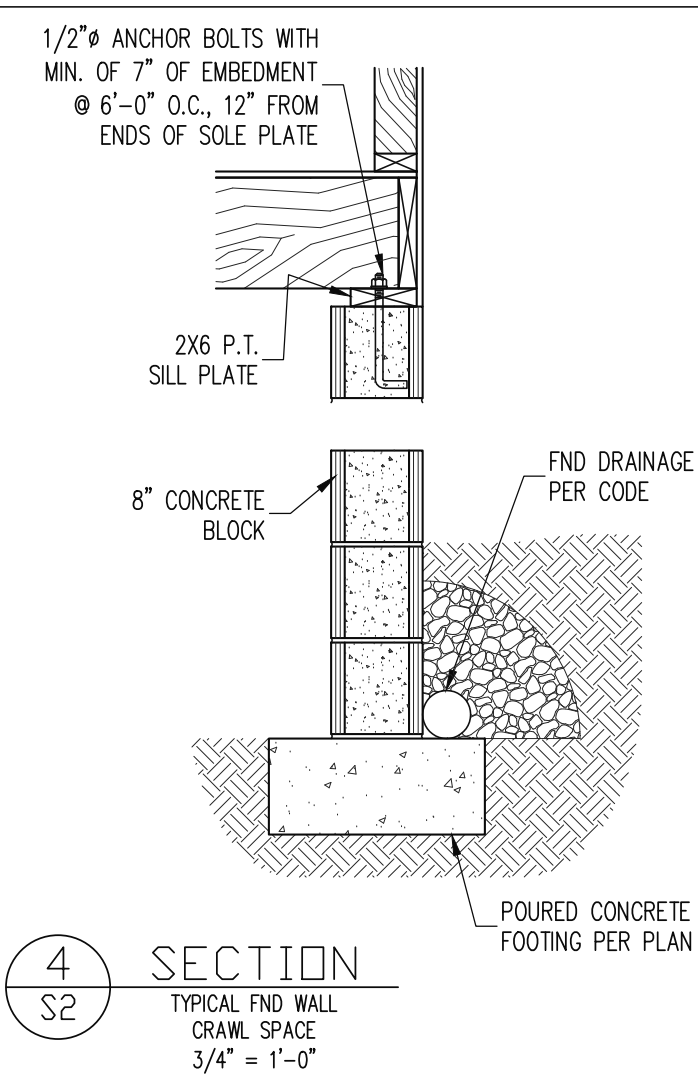
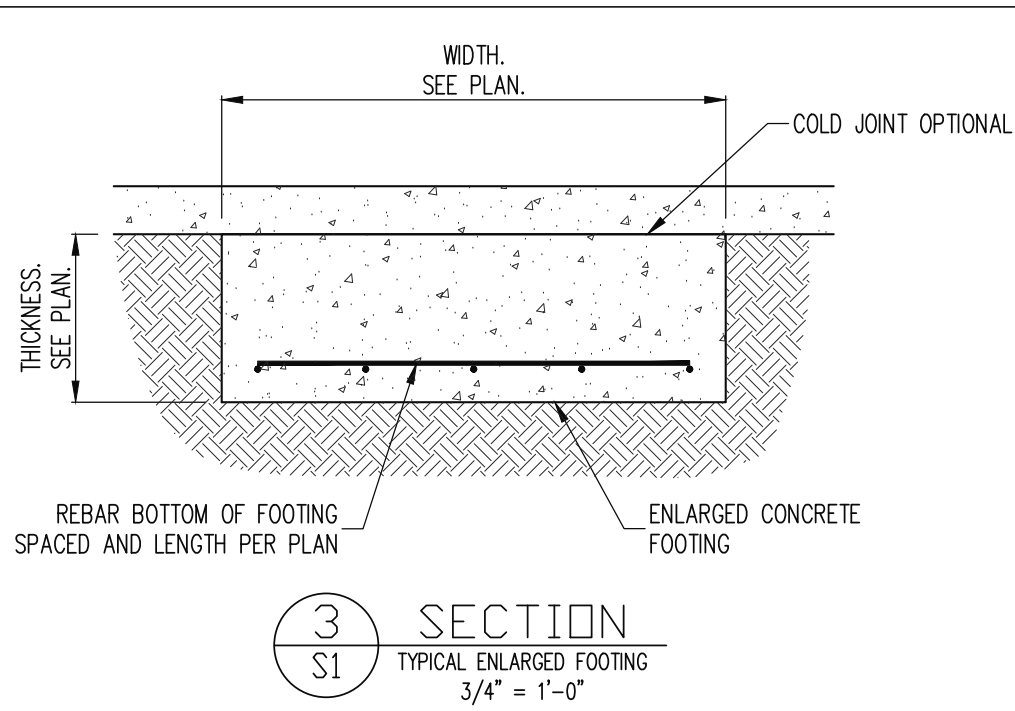
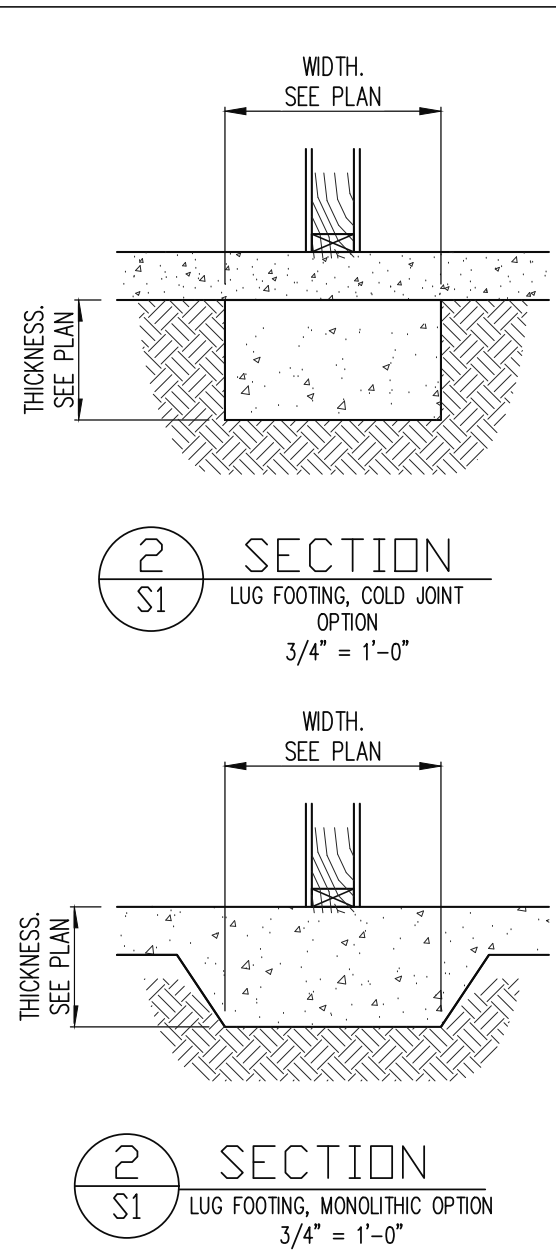
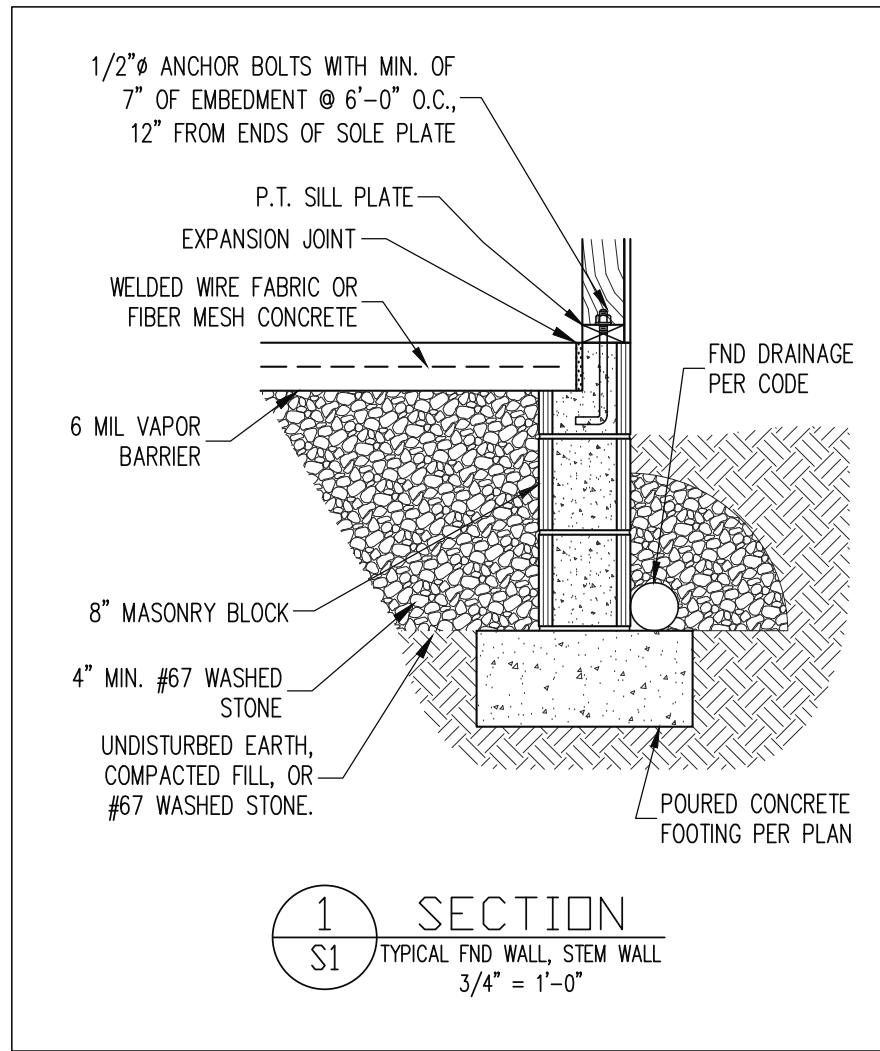
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BRANDYWINE HOMES	
STRUCTURAL ADDENDUM	
SCOPE	REV # REF PROJ # DATE
LOC: 57 PILOT RIDGE	

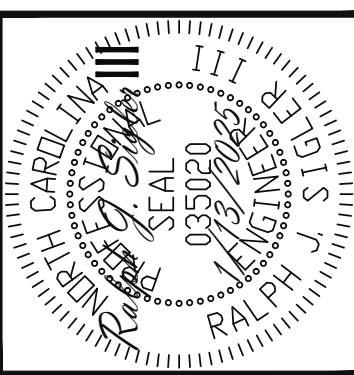
ENG: RJS/ZCH
DATE 1/13/2025

PROJECT NO.
24-21-345

SHEET NO.
S6
6 of 8



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	BRANDYWINE HOMES			
SCOPE:	STRUCTURAL ADDENDUM			
LOC:	57 PILOT RIDGE	REV #	REF PROJ #	DATE

ENG: RJS/ZCH
DATE: 1/13/2025

PROJECT NO.
24-21-345

SHEET NO.
SD1
7 of 8

