

[illegible]

SCALE: 1/8" = 1'-0"  
(WITH STAIR OPTION TO  
OPTIONAL 2ND FLOOR)

PER TABLE N1102.12 (R402.12)  
R-VALUES SHOWN ARE MINIMUMS  
U-FACTORS & SHGC SHOWN ARE MAXIMUMS

R-VALUES SHOWN ARE MINIMUMS  
U-FACTORS & SHGC SHOWN ARE MAXIMUMS

NOTE:  
PROVIDE REQUIRED FALL  
PROTECTION WHEN BOTTOM OF  
CLEAR WINDOW OPENING IS  
GREATER THAN 7' ABOVE  
EXTERIOR GRADE AND LESS  
THAN 24" ABOVE FIN FLOOR.  
PER SECTION R312.2 OF 2018  
I.R.C. / N.C. RESIDENTIAL CODE

**NOTE:** DECK / PORCH CONSTRUCTION AND BRACING REQUIREMENTS PER APPENDIX H OF THE 2018 I.R.C. / N.C. RESIDENTIAL CODE

**NOTE:**  
PROVIDE GARAGE DUELLING  
SEPARATION PER TABLE R302.6  
OF THE 2018 NC RESIDENTIAL  
CODE

**GENERAL NOTES**

WALLS:  
ALL WALLS ARE DRAIN 4" THICK UNO.  
ALL DIMENSIONS ARE TO FINISH UNO.  
REFER TO ELEVATION PAGE(S) FOR PLATE/CEILING HEIGHTS FOR EACH FLOOR WINDOW HGT.

REFER TO ELEVATION PAGE(S)  
FOR WINDOW HEADER HEIGHTS  
FOR EACH FLOOR

NOTE:  
WINDOW HEADER HEIGHTS, IF  
NOTED ON FLOOR PLANS, TAKE  
PRECEDENCE OVER HEIGHTS  
NOTED ON ELEVATION PAGE(S).

**SMOKE DETECTORS:**  
LOCATION AND NUMBER OF  
DETECTORS SHALL CONFORM  
TO NEG. SD SMOKE DETECTOR

**EGRE89:** ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO SECTION R310 OF THE I.B.C. BLDG. CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CHOSEN WINDOWS MEET EGRESS REQUIREMENTS. PROVIDES PRESSURE RATINGS & ROUGH OPENING DIMENSIONS & MANUFACTURERS VARY.

**ATTIC ACCESS:**  
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE. (IF WALK-UP ATTIC IS NOT INCLUDED)

FLOOR AREA: CW AND FLR OPT: 17111  
HEATED SQ. FT. : 4193  
UNFIN. STOR. / OPT. FIN. REC. RM. :

|                |      |
|----------------|------|
| GARAGE *       | 4749 |
| FRONT PORCH =  | 719  |
| DECK / PATIO * | 1659 |

PLAN / PROJECT NAME:

|                                         |                       |                    |                  |                   |                 |                            |               |
|-----------------------------------------|-----------------------|--------------------|------------------|-------------------|-----------------|----------------------------|---------------|
| PROJECT FOR:<br>CHAMBERLAIN HOTELS, LLC | SUBDIVISION:<br>MULTI | LOT NO. :<br>MULTI | COUNTY:<br>MULTI | NOVEMBER 25, 2024 | DHBD - A1111-GL | FIRST FLOOR (STAIR OPTION) | PAGE<br>A-2.2 |
|-----------------------------------------|-----------------------|--------------------|------------------|-------------------|-----------------|----------------------------|---------------|



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NAME \_\_\_\_\_



d /



SECRET

CHAMBERLAIN HOMES, LLC

SUBDIVISION:

LOT NO. : 11

|       |        |
|-------|--------|
| 25790 | 147714 |
|-------|--------|

MULTI-COUNT:

NOVEMBER 25, 2024

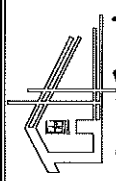
DHB-D-ATL-GL

FIRST FLOOR (STAIR OPTION)

PAGE 2

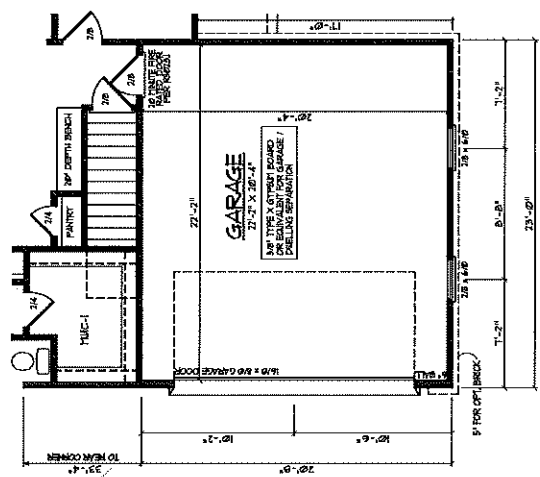
77-1111

Contractor shall verify all conditions and dimensions prior to construction. Any errors or omissions shall be reported to the designer for correction or justification. Once construction commences, the contractor shall assume all liability. Dimensions govern over scale, codes govern over dimensions.

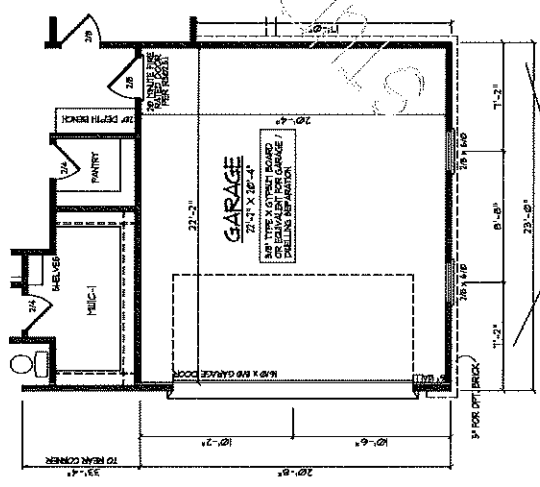


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ALL ELEVATIONS  
W/ STAIRS TO 2ND FLOOR  
SIDE-LOAD GARAGE OPTION  
SCALE 1/8" = 1'-0"



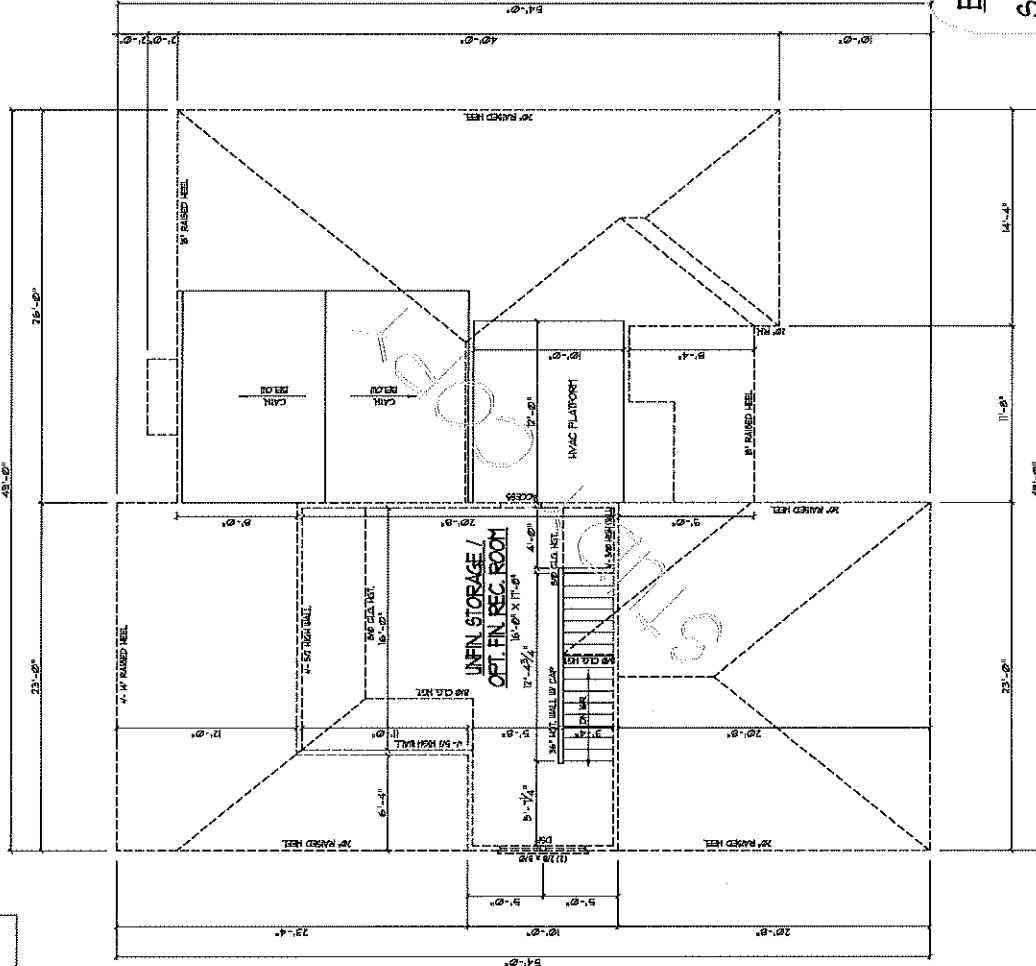
ALL ELEVATIONS  
SIDE-LOAD GARAGE OPTION  
SCALE 1/8" = 1'-0"

COLORADO

PLAN / PROJECT NAME:

|                         |                       |
|-------------------------|-----------------------|
| PROJECT FOR:            | CHAMBERLAN HOMES, LLC |
| SUBDIVISION:            | MULTI                 |
| LOT NO.:                | MULTI                 |
| COUNTY:                 | MULTI                 |
| NOVEMBER 25, 2024       |                       |
| D-HBD-A111-GL           |                       |
| SIDE LOAD GARAGE OPTION |                       |
| PAGE                    | A-2.3                 |

Contractor shall verify all conditions and dimensions prior to construction. Any errors or omissions shall be reported to the designer for correction or justification. Once construction commences, the contractor shall assume all liability. Dimensions govern over scale.



ELEVATION "A"  
OPTIONAL  
SECOND FLOOR  
SCALE: 1/8" = 1'-0"



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PLAN / PROJECT NAME:

PROJECT FOR:  
CHAMBERLAIN HOMES, LLC

SUBDIVISION:  
MULTI

LOT NO.:  
MULTI

COUNTY:  
MULTI

NOVEMBER 25, 2024

DHBD-AT111-GL

SECOND FLOOR "A"

PAGE  
A-3.1