

1. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

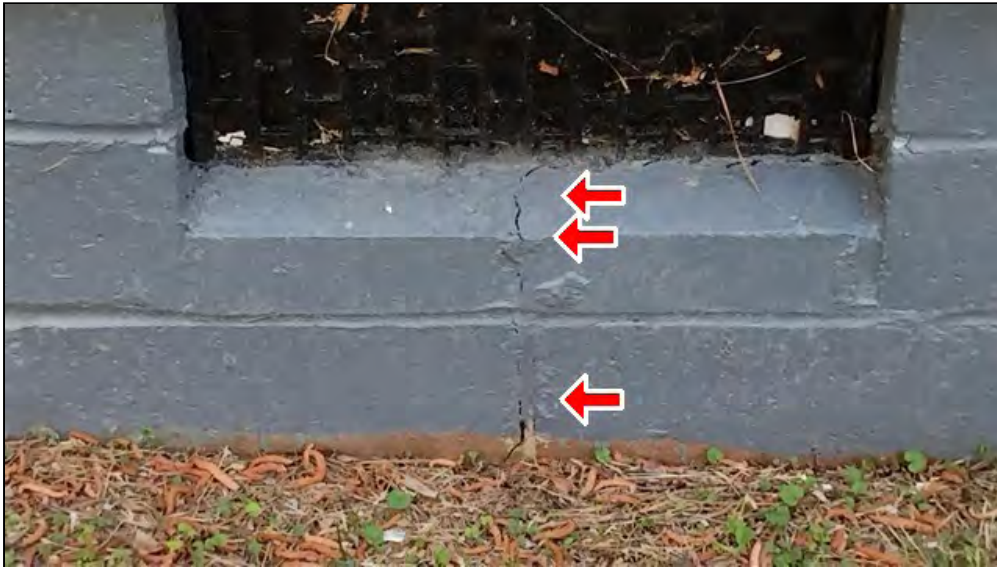
Foundation: Masonry Brick and Block / CMU's	Floor Structure: Wood joists Wood beams	Wall Structure: Wall structure is inaccessible in all areas
Columns or Piers: Masonry block Steel screw jacks	Ceiling Structure: Not visible	Roof Structure: Engineered wood trusses Sheathing
Storage Available: None	Method used to observe Crawl Space: Crawled	Crawl Space Floor: Dirt

Items

- 1.0 Foundations, Basement and Crawl space (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)
- Comments: Repair or Replace
- (1) The painted block foundation has cracks noted in various areas under 1/4" wide. Cracks under 1/4" wide with no visible displacement are considered common cracking by the engineering department of North Carolina. These cracks need to have the gaps sealed and evaluated on a regular basis for further movement or damage and needs general repairs by a qualified mason to seal all areas.



1.0 Item 1(Picture) Common cracks in the mortar joints



1.0 Item 2(Picture) Common cracks noted in the foundation at the foundation vents

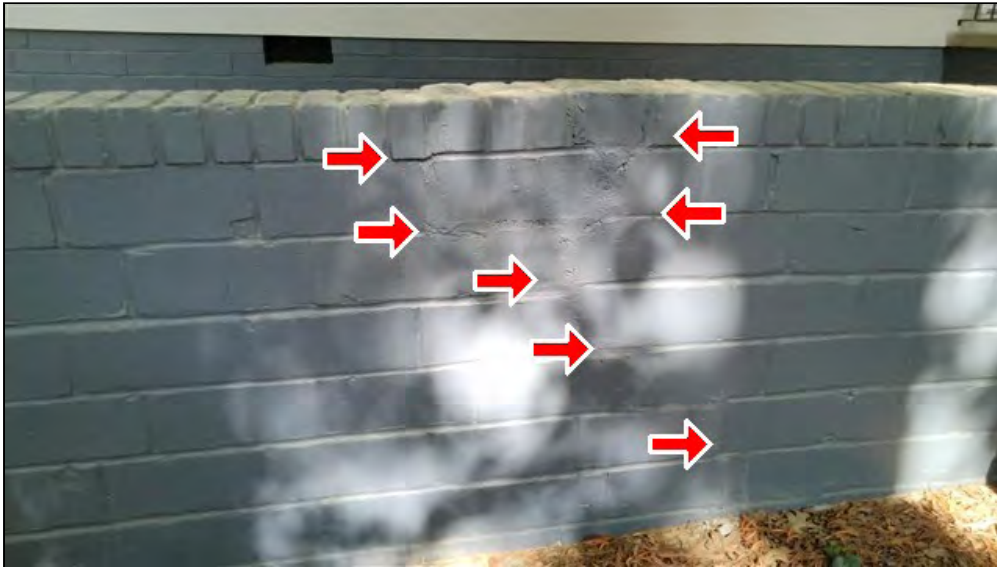


1.0 Item 3(Picture) Common cracks noted in the foundation at the foundation vents

(2) The foundation walls at the carport area of the home has cracks noted that may have structural implications with through brick cracks, long cracks, and needs to be reviewed and repaired under the guidance of a licensed structural engineer or a licensed general contractor specializing in foundation structural repairs. A clear structural letter and warranty should be received from the company performing the work.



1.0 Item 4(Picture) Up heaving in the carport foundation wall



1.0 Item 5(Picture) Structural cracking with improper repairs performed



1.0 Item 6(Picture) A very large pine tree is growing against the foundation and the tree roots are causing damaged to the foundation



1.0 Item 7(Picture) Structural cracks in the carport foundation wall next to the large tree



1.0 Item 8(Picture) Structural cracking noted in the homes foundation wall next to the carport concrete slab

(3) This home has white efflorescence (powder substance) on the block wall which indicates moisture is in contact with the masonry. This does not necessarily indicate that intrusion will occur. It is recommend checking the gutters and the downspout drain lines for proper operation. Also, a water proofing paint could be applied to the interior side of the block if necessary. Efflorescence is found on many homes without water intrusion occurring inside the home. However, it should alert you to the possibility that future steps may be needed.



1.0 Item 9(Picture) Whited efflorescence on the foundation walls in the crawlspace

(4) The carport foundation is leaning, and the metal piers are bowing out and this is a structural concern, and this wall and piers need evaluation with all repairs performed by a licensed general contractor or engineer to offer proper support. A list of repairs with a letter of warranty should be received on all repairs



1.0 Item 10(Picture) Heaving foundation wall



1.0 Item 11(Picture) Leaning and heaving carport foundation wall



1.0 Item 12(Picture) Leaning foundation wall

1.1 Columns or Piers

Comments: Repair or Replace

The metal jack stands used for primary / secondary support do not utilize the proper sized concrete footers and needs functional footers in place. The jacks are not allowed for primary support and have no functional footers / supports in place and needs to be made functional by a licensed general contractor.



1.1 Item 1(Picture) Metal stand pier with no or improper footers

1.2 Floors (Structural)

Comments: Repair or Replace

(1) The floor framing in the crawlspace has deterioration and fungus growth from radiant moisture and this can be a health concern and this crawlspace and floor framing needs to be evaluated and probed for concealed damage with proper repairs performed by a licensed general contractor and all areas made functional and safe.



1.2 Item 1(Picture) The floor framing has fungal growth with some deterioration noted



1.2 Item 2(Picture) Fungal growth noted



1.2 Item 3(Picture) Fungus growth on the floor joists



1.2 Item 4(Picture) Deteriorated floor sheathing and fungal growth



1.2 Item 5(Picture) Deteriorated floor joist noted



1.2 Item 6(Picture) Areas under the bathroom has been replaced in the past



1.2 Item 7(Picture) Fungal growth on the floor sheathing



1.2 Item 8(Picture) Deteriorated sheathing noted



1.2 Item 9(Picture) Fungal growth with deterioration noted

(2) Repairs have been made in the crawlspace under the bathroom and these repairs were not done using proper building techniques (floor joists are not supported to the ends) This can cause uneven floors and possible failure. These repairs need to be reviewed by a licensed general contractor and all areas make functional



1.2 Item 10(Picture) The new floor joist is nailed to the deteriorated joist and is not supported to the ends

1.3 Crawl Space Door

Comments: Inspected

1.4 Crawl Space / Basement Drain

Comments: Repair or Replace

The sump pump in the crawlspace is not functional and this pump is required to get water out of the crawlspace. This pump needs to be replaced and made functional by a licensed general contractor.

1.5 Walls (Structural)

Comments: Not Inspected

The wall framing is inaccessible in all areas due to drywall and exterior wall coverings in place and no representations are made of any wall construction.

1.6 Ceilings (Structural)

Comments: Not Inspected

The ceiling structure is inaccessible due to ceiling drywall coverings and insulation and no representations are made of these areas.

1.7 Entry to the Attic Areas

Comments: Inspected

1.8 Roof Structure and Attic

Comments: Repair or Replace

The roof sheathing in the rear exterior storage room has deterioration noted from active / past roof leakage and these areas of the roof sheathing needs proper repairs / replacement by a licensed general contractor and made functional.



1.8 Item 1(Picture) Deteriorated sheathing noted in the storage room

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

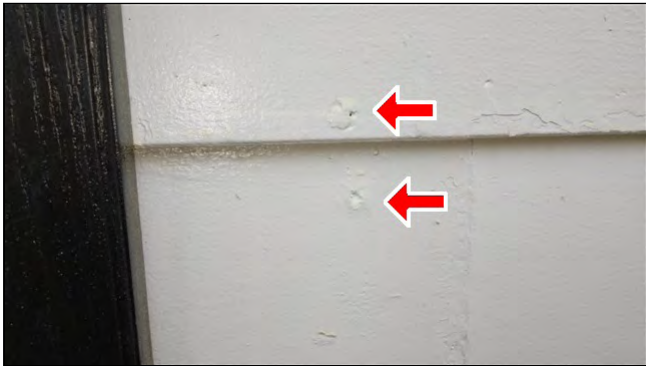
Styles & Materials

Siding Style: Lap	Siding Material: Hardboard siding	Exterior Entry Doors: Steel
Driveway and Walkways: Gravel	Front Porch Stoop: Concrete	

Items

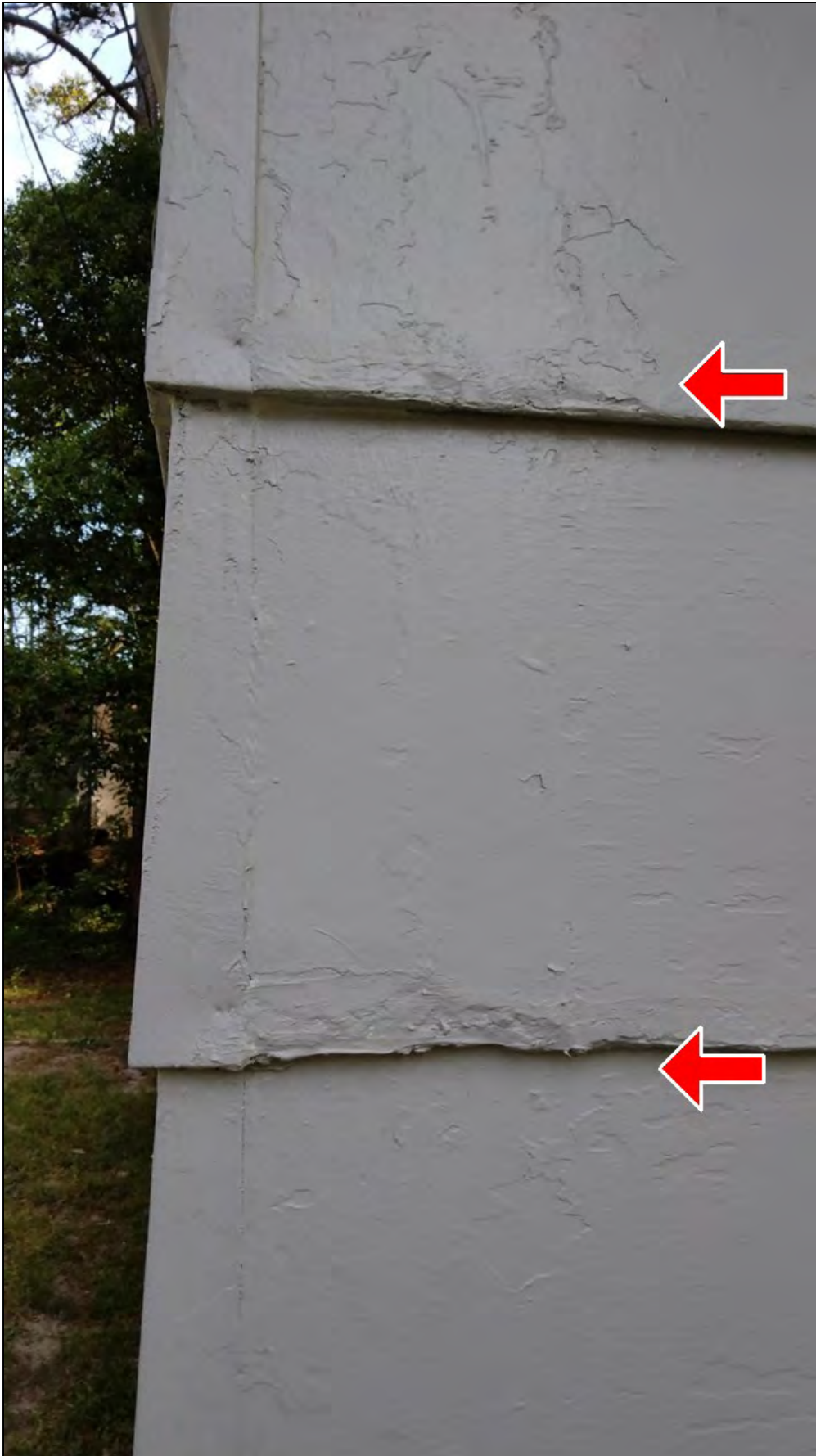
2.0 Wall Cladding and Flashing

Comments: Repair or Replace
(1) The hard board siding in multiple areas around the home has nails heads that have penetrated the outside skin of the siding, have areas that are swollen, and are damaged in these areas. All affected and damaged siding needs to be repaired / replaced by a by a siding contractor.



2.0 Item 1(Picture) Nail heads are sunk too deep in the siding

(2) The hard board siding has damage and deterioration noted in multiple areas around the home. The framing in affected areas need to be checked for obvious and / or concealed damage and all necessary repairs performed by a licensed general contractor.



2.0 Item 2(Picture)



2.0 Item 3(Picture) Damaged siding noted

(3) The hard board siding / veneer at the side of the home is loose and can be pulled loose and can allow moisture/ water penetration and further damage/deterioration in these areas. This siding should be repaired/replaced by a qualified siding contractor with all areas checked for concealed damage and all areas made functional.



2.0 Item 4(Picture) Loose siding. Moves to the touch

2.1 Eaves, Soffits, Fascias, & Rake Boards, Corner & Exterior Trim

Comments: Repair or Replace

(1) The soffits on the exterior of the home are not an exterior grade material. This material can be damaged by moisture and this soffit should be replaced and made functional by a licensed general contractor.



2.1 Item 1(Picture) Soffits are not a exterior grade material

(2) The front fascia trim board has damage noted from animals (Possible Woodpecker) or insects (Possible Bees) and this board needs proper repairs to prevent water seepage or damage. These areas need to have the animals or insects stopped and made functional by a qualified contractor.



2.1 Item 2(Picture) Insect damage noted to the fascia boards

(3) The fascia / rake boards at the front right corner of the home have damage / deterioration noted. This area needs to be probed for concealed damage with the fascia boards repaired or replaced and all areas made functional by a licensed general contractor.



2.1 Item 3(Picture) Deterioration / damage noted

2.2 Paint and Calk Issues

Comments: Inspected

2.3 Exterior Doors and Windows

Comments: Inspected

2.4 Storm Doors and Windows (Exterior)

Comments: Inspected

2.5 Front Porch / Stoop

Comments: Repair or Replace

The metal under the front porch slab has heavy rust damage noted and this condition can cause settlement and damage to the front porch



2.5 Item 1(Picture) Heavy rust damage to the front porch support metal

2.6 Steps To The Building

Comments: Repair or Replace

The front steps have settled in areas and / or has pulled loose away from the porch, and are leaning and is a tripping or safety concern and these steps are in need of proper repairs and made functional by a licensed general contractor to prevent further damage.



2.6 Item 1(Picture) The front steps have settled

2.7 Driveways and Walkways

Comments: Inspected

2.8 Ground Coverings, Vegetation, & Trees (In relation to structure)

Comments: Repair or Replace

A large pine tree is growing against the foundation of the home and is causing damage and this tree should be evaluated for removal and all areas made functional by a qualified landscape contractor.



2.8 Item 1(Picture) A very large pine tree is growing against the foundation and the tree roots are causing damaged to the foundation

2.9 Grading, Drainage, Retaining Walls (With respect to their effect on the condition of the building)

Comments: Inspected

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Type or Style of Roof:	Roof Covering Materials:	Roof Observation Methods:
Gable	3 Tab Asphalt	From the Ground
Sky Light(s):		
None		

Items

3.0 Roof Coverings

Comments: Repair or Replace

The shingles installed over the flashing at the dormer over the garage and at the front of the house are loose and needs to be re-aligned and re-secured by a roofing professional and made functional.



3.0 Item 1(Picture) Lifter shingle over the flashing on he rear storage room

3.1 Roof Drainage Systems

Comments: Repair or Replace

No gutters are in place on the structure and is not a required component but is highly recommended for proper drainage of the roof and to direct water away from the structure and foundation and areas below the house.



3.1 Item 1(Picture) No gutters are on the home

3.2 Roof Penetrations (Plumming and Flue Boots)

Comments: Inspected

3.3 Accessible Flashings

Comments: Inspected

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Wall Material: Drywall	Ceiling Materials: Drywall	Floor Covering(s): Hardwood T&G Linoleum
Interior Doors: Hollow core	Window Types: Vinyl Thermal/Insulated Double-hung Tilt feature	Cabinetry: Wood
Countertop: Laminate		

Items

4.0 Ceilings

Comments: Repair or Replace
A damage ceiling tile was noted at the bathroom vent and this damage can get worse with time and this ceiling should be repaired or replaced and made functional by a qualified contractor.



4.0 Item 1(Picture) Damaged ceiling tile

4.1 Walls

Comments: Inspected

4.2 Floors

Comments: Repair or Replace

The hall floor has a raised area in the flooring noted. This can be from settlement, a missing pier shim, or the floor framing not being properly supported in this area and all accessible areas of the floor structure were functional.



4.2 Item 1(Picture) Raised area in the flooring

4.3 Counters and Cabinets (representative number)

Comments: Inspected

4.4 Doors (representative number)

Comments: Repair or Replace

(1) The interior doors in the home have holes noted that have improper repairs and these doors need to be repaired or replaced and made functional by a qualified contractor.

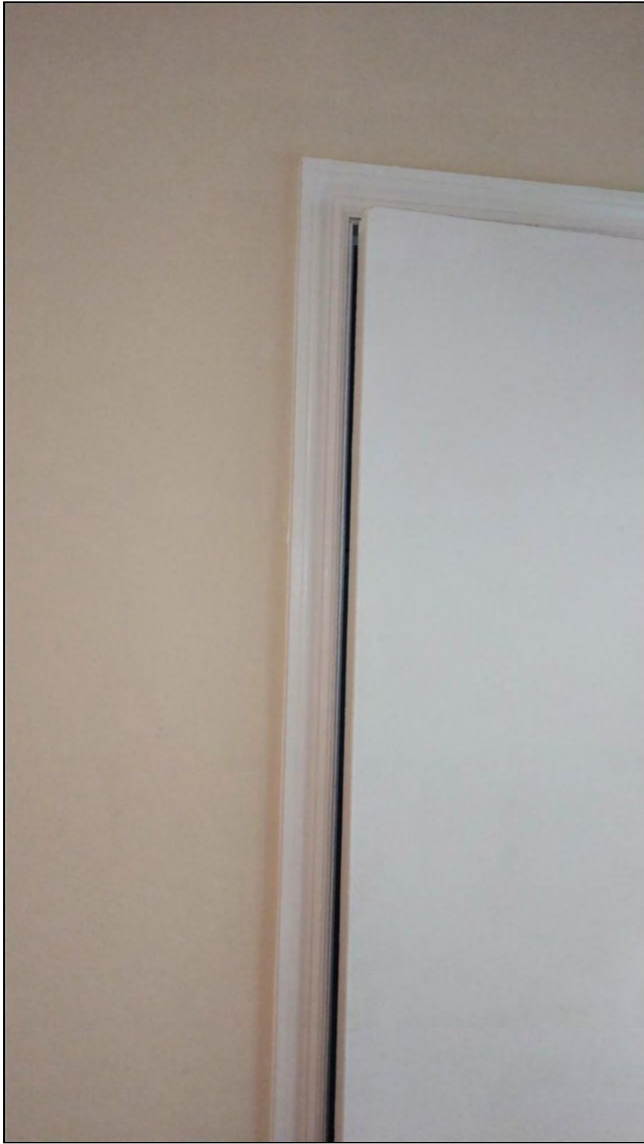


4.4 Item 1(Picture) Holes with improper repairs noted



4.4 Item 2(Picture) Holes with improper repairs noted

(2) The hall closet entry door is scraping the door frame when opening and closing, the door will not close in the opening from this scraping, and this door, frame, and / or framing needs adjustment / repair to work properly. This unit needs repairs by a licensed general contractor.



4.4 Item 3(Picture) The closet door is scrapping its frame

4.5 Windows (representative number)

Comments: Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Main Water Shut off: Not located	Water Source: Public	Water Filters: None
Plumbing Water Supply (into home): Poly Butylene	Plumbing Water Distribution (inside home): PEX POLY	Plumbing Waste: PVC Cast iron

Items

5.0 Main Water Shut-off Device & Main Water Line Entry

Comments: Not Inspected

The main water shut off for the home could not be located due to stored items in the home. Ask the current owner for the location before closing. If no shut off is discovered a functional shut off should be installed by a licensed plumbing contractor.

5.1 Plumbing Water Supply Distribution Piping, and Fixtures

Comments: Repair or Replace

Polybutylene Pipe. Recommended language for Polybutylene piping(PB): Polybutylene plumbing supply line (PB) are installed in this house as the main water and distribution supply line. PB was used as water distribution piping in many homes built from the mid 1980's until the mid 1990's. The piping and associated fittings have had a failure rate and subsequent leakage sufficient to have been the subject of several nationwide class action lawsuits. Copper and brass fittings used in later years seem to have reduced the failure rate, but the piping may still fail due to problems with poor installation, improper handling, or chemical reaction with the water supply. The main entry piping in this house has copper fittings. You may wish to have the plumbing system evaluated by a licensed plumbing contractor. Standards of Practice/ Rules / Interpretations Committee of the North Carolina Home Inspection Licensure Board.



5.1 Item 1(Picture) Polybutylene Piping noted in the home



5.1 Item 2(Picture) Polybutylene piping noted

5.2 Hose Faucets / Sill Cocks

Comments: Repair or Replace

The hose faucet at the rear of the home is loose and needs to be properly secured. This can cause further damage to this unit, can allow leakage, and needs proper repairs by a licensed plumber and made functional.



5.2 Item 1(Picture) Loose hose bib noted

5.3 Washing Machine Connection

Comments: Not Inspected

The washing machine connections could not be evaluated due to no washing machine was in place. No representations are made of the connections and needs to be checked prior to use. All necessary repairs need to be performed by a qualified professional if problems exist.

5.4 Adequate Water Flow

Comments: Inspected

5.5 Plumbing Drain, Waste and Vent Systems Condition:

Comments: Inspected

5.6 Waste Plumbing Cleanouts

Comments: Repair or Replace

(1) The plumbing cleanouts in the side yard have not been trimmed to grade level and can allow these units to be damaged with lawn equipment. These cleanouts should be cut to grade level by a licensed plumber and made functional.



5.6 Item 1(Picture) Plumbing cleanout not trimmed

(2) The waster line where it leaves the home is exposed and can be damaged with lawn equipment and this line should be evaluated and made functional by a licensed plumbing contractor.



5.6 Item 2(Picture) Plumbing waste line is exposed in the yard

5.7 Sump Pumps, Waste Pumping Systems, Septic Systems

The existing sump pump uses an extension cord and should have its own GFCI outlet. All sump pumps should have its own GFCI and not be run on an extension cord. These electrical issues are considered a hazard until repaired. It is recommend a qualified licensed electrical contractor evaluated and make necessary repairs with all areas made functional.



5.7 Item 1(Picture) Sump pump is not powered by a GFCI for protection

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Water Heater

Styles & Materials

Water Heater Manufacture: Whirlpool	Water Heater Capacity: 40 Gallon	Water Heater Cover Removed: No
Water Heater Tested: No	Water Heater Power Source: Gas (quick recovery)	Water Heater Location: Main Level Closet
Water Heater Protection: Built In		

Items

6.0 Photo of Water Heater

Comments: Inspected



6.0 Item 1(Picture) The water heater

6.1 Water Heater Model #

Comments: Inspected

Model # 40T6-34NG400

DESIGN
CERTIFIED®

AUTOMATIC STORAGE WATER HEATER

ANSI Z21.10.1-CSA 4.1-2013

MODEL NUMBER	CAPACITY US GAL	
40T6-34NG 400	40.0	NA

INPUT BTU/HR	RECOVERY US GAL/HR	SERIAL NUMBER
34000	35.72	153610196

GAS PRESSURES IN W.C.			MAX WORKING PRESSURE PSI
MANIFOLD	MAX INLET	MIN INLET	
4.00	10.50	5.00	150

US/CRAFTMASTER WATER HEATER COMPANY
1100 EAST FAIRVIEW AVENUE
JOHNSON CITY, TN 37601
1700

Model Number 40T6-34NG 400

Serial Number

6.1 Item 1(Picture) The water heater Mfg. label

6.2 Water Heater Mfg. Date

Comments: Not Present

6.3 Water Heater Systems, Controls, Hoses, Vents, Compacity Adequacy

Comments: Not Inspected

The gas was off to the home and the gas water heater could not be tested and no representations are made of these areas.

6.4 Water Heater Fuel Supply and Main Shut off

Comments: Inspected

6.5 Water Heater Safety Protection and PRV Extention

Comments: Not Present

No pressure relief extension is in place on the pressure relief valve and is a significant safety concern if the relief valve opens with someone or something close by. This extension should end within six (6) inches of the ground to work properly and needs to be made functional by a licensed plumbing contractor.

6.6 Expantion Tank

Comments: Not Present

No expansion tank is in place on the water supply system but was not required when the home was constructed. This is highly recommended as an upgrade and will be required when replacing the water heater or pressure regulator valve in the house. All repairs to be made by a licensed plumbing contractor.

7. Bathrooms

Styles & Materials

Tub Type:

Tub standard size

Items

7.0 Toilets

Comments: Repair or Replace

The bathroom toilet is loose from the floor / moves side to side, is not properly secured at the lower base with the bolts. The wax ring seal needs to be checked for leaks and replaced if needed, and the commode re-secured to floor. Check for concealed damage during repairs and repairs to be performed by a licensed plumber.

7.1 Bathroom Sinks

Comments: Inspected

7.2 Shower and Tub Enclosures

Comments: Inspected

8. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Electrical Service Conductors:	Main Panelboard Capacity:	Panel Type:
Overhead service	220 Volt	Circuit breakers
	100 AMP	
Branch wire 15 and 20 AMP:	Wiring Methods:	Main Electrical Panel Location:
Copper	Romex	Laundry Room
Was the Panel Cover Removed:	Locations of Smoke Detectors:	
Yes	In The Hall Outside The Bedrooms	

Items

8.0 Service Entrance Conductors

Comments: Inspected

8.1 Electrical Service Grounding

Comments: Inspected

8.2 Photo of Main

Comments: Inspected



8.2 Item 1(Picture) The main electrical panel

8.3 Main Panelboard Enclosures, Service Equipment, Overcurrent Devices, Panelboard Amperage and Voltage

Comments: Inspected

8.4 Sub Panels, Branch Circuit Conductors, Distribution Overcurrent Devices and Compatibility of their Amperage and Voltage

Comments: Inspected

8.5 Junction Boxes, Wire Splices, Wiring Components,

Comments: Repair or Replace

Wire splices were made inside junction / receptacle / or switch boxes at the sump pump but not limited to this area have no covers and leaves exposed wires in these areas. These areas are a safety concern and the splices need to be made in a junction box and / or made functional by a licensed electrician.



8.5 Item 1(Picture) Receptacle cover missing

8.6 Light Fixtures, Ceiling Fans, and Switches (Observed from a representative number)

Comments: Inspected

8.7 Receptacles Polarity and Grounding and Condition

Comments: Inspected

8.8 Operation of GFCI (Ground Fault Circuit Interrupters)

Comments: Repair or Replace

(1) The GFCI in the laundry room would not trip properly, is a safety and electrical concern and this receptacle needs repair or replacement by a licensed electrician and made functional.



8.8 Item 1(Picture) The GFCI at the laundry areas is not functional

8.9 Gas Line CSST Grounding

Comments: Not Present

8.10 Door Bell

Comments: Not Present

No door bell or door knocker is in place and the front entry while not required should have a functional knocker or door bell installed as needed

8.11 Arc Detectors
Comments: Not Present

8.12 Smoke Detectors
Comments: Inspected

8.13 Carbon Monoxide Detectors
Comments: Inspected

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Central Air Conditioning System

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

AC Unit Brand: Lennox	Cooling Equipment Type: Gas Pack Unit	AC Unit Tested: Yes
Cooling Equipment Energy Source: Gas with Electric Controls	AC Condenser Location: Rear of Home	Number of AC Only Units: One
Condensation Tube Type: Gravity Fed	Unit Conditions These Areas: Main Level	Breaker Size: Unknown
Main Disconnect: Located near the unit	Was the Cover Removed to the Condenser Unit: No	

Items

9.0 Photo of the AC unit
Comments: Inspected



9.0 Item 1(Picture) The gas package unit

9.1 Manufacturer Model Number
Comments: Inspected

Model # LRP14GE30-72P-2A



- 9.1 Item 1(Picture) Package unit Mfg. label
- 9.2 Manufacturer's Date Listed On The Unit
Comments: Not Present
- 9.3 Cooling and Air Handler Equipment Condition
Comments: Not Inspected
The gas package unit was not tested due to the the gas being off to the home and no representations are made of these areas.
- 9.4 Normal Operating Controls, Register Air Flow & The Presence of Installed Cooling Source in Each Room
Comments: Inspected
- 9.5 Condensation Tube Condition
Comments: Inspected

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Heating Systems

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Heat System Brand:	Heat Type:	Heating Unit Tested:
LENNOX	Heat Pump Forced Air (also provides cool air)	No
Energy / Fuel Source:	Heating Unit Location:	Number of Heat Systems (excluding wood):
Natural gas	Rear of Home	One
Location This Unit Conditions:	Ductwork:	Furnace Flues - Material Type:
Main Level	Insulated	Metal Flue for Gas Pack

Filter Type:Disposable

Filter Location:In the Returns

Was The Heating Unit Cover Removed:No

Items

10.0 Photo of Heating Unit

Comments: Inspected



10.0 Item 1(Picture)

10.1 Manufacturer Model Number

Comments: Inspected

Model # LRP14GE30-072P-2A



10.1 Item 1(Picture) The package unit Mfg label

10.2 Manufactured Date

Comments: Not Present

10.3 Heating Equipment Inspected and condition

Comments: Repair or Replace

(1) The metal at the rear of the package unit is holding water and is rusting and this can damage the unit and this installation should be evaluated and made functional by a licensed HVAC contractor.



10.3 Item 1(Picture) Metal holding water and rusting

(2) The gas was off to the home and the gas heat and water heater could not be tested or inspected and no representations are made of these areas.



10.3 Item 2(Picture) The gas is off to the home

10.4 Heating System Flues and Vents

Comments: Inspected

10.5 Normal Operating Controls & Automatic Safety Controls

Comments: Inspected

10.6 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

10.7 Presence of Installed Heat Source in Each Room

Comments: Inspected

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

11. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:	Attic Ventilation:	Bathroom Ventilation:
Blown	Gable vents Ridge vents	Fan and Window
Dryer Power Source:	Floor System Insulation:	
220 Electric	NONE	

Items

11.0 Attic Insulation & Ventilation (Insulation Type, Vents, Fans and Thermostatic Controls)

Comments: Inspected

11.1 Foundation Ventilation & Flooring Insulation

Comments: Repair or Replace

Flooring insulation has been removed and there is no flooring insulation installed and this floor system needs insulation installed and all areas made functional by a qualified insulation contractor.



11.1 Item 1(Picture) Missing flooring insulation

11.2 Vapor Retarders (in Crawlspace or basement)

Comments: Inspected



11.2 Item 1(Picture) Plastic vapor barrier

11.3 Venting Systems (Whole House Fan)

Comments: Not Present

11.4 Bathroom Ventilation

Comments: Inspected

11.5 Dryer & Other Appliances, Fresh Air Returns & Ventilation

Comments: Not Inspected

No dryer was in place at the time of inspection and no representations are made of the dryer fresh air returns

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

12. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Dishwasher Brand:	Disposer Brand:	Exhaust/Range hood:
NONE	NONE	NONE
Range/Oven:	Built in Microwave:	Trash Compactors:
GENERAL ELECTRIC	NONE	NONE
Other Appliances:		

Items

12.0 Photo Of The Kitchen

Comments: Inspected



12.0 Item 1(Picture) The kitchen

12.1 Dishwasher

Comments: Not Present

12.2 Ranges/Ovens/Cooktops

Comments: Inspected

12.3 Microwave Cooking Equipment

Comments: Not Present

12.4 Range Hood (s) or Down Drafts

Comments: Not Present

12.5 Food Waste Disposer

Comments: Not Present

12.6 Kitchen Sink and Sprayer

Comments: Repair or Replace

The kitchen sink sprayer is missing the weight on the sprayer line that helps pull the sprayer back into its mount when not in use and this sprayer needs to be made functional by a qualified contractor.



12.6 Item 1(Picture) Missing sprayers weight

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary



Inspect Co. L.L.C.

919-270-9982

inspectco@outlook.com

294 Sunset Lane

Henderson NC 27537

Customer

Jada Butwell

Address

320 Zollicoffer Ave

Henderson NC 27536

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

"This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney."

The summary page must describe any system or component of the home that does not function as intended, allowing for normal wear and tear that does not prevent the system or component from functioning as intended. The summary page must also describe any system or component that appears not to function as intended, based upon documented tangible evidence, and that requires either subsequent examination or further investigation by a specialist. The summary page may describe any system or component that poses a safety concern.

1. Structural Components

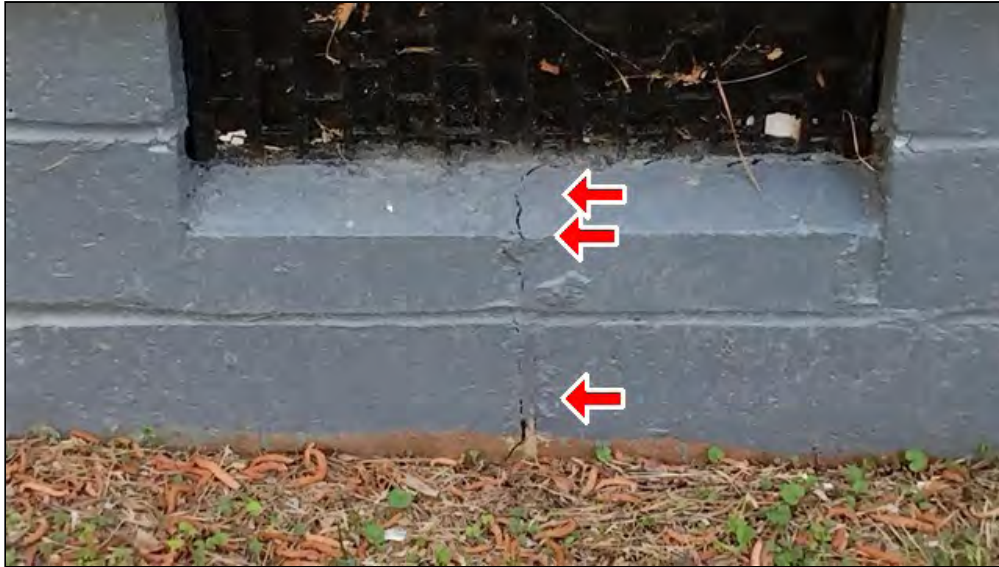
1.0 Foundations, Basement and Crawl space (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Repair or Replace

(1) The painted block foundation has cracks noted in various areas under 1/4" wide. Cracks under 1/4" wide with no visible displacement are considered common cracking by the engineering department of North Carolina. These cracks need to have the gaps sealed and evaluated on a regular basis for further movement or damage and needs general repairs by a qualified mason to seal all areas.



1.0 Item 1(Picture) Common cracks in the mortar joints



1.0 Item 2(Picture) Common cracks noted in the foundation at the foundation vents

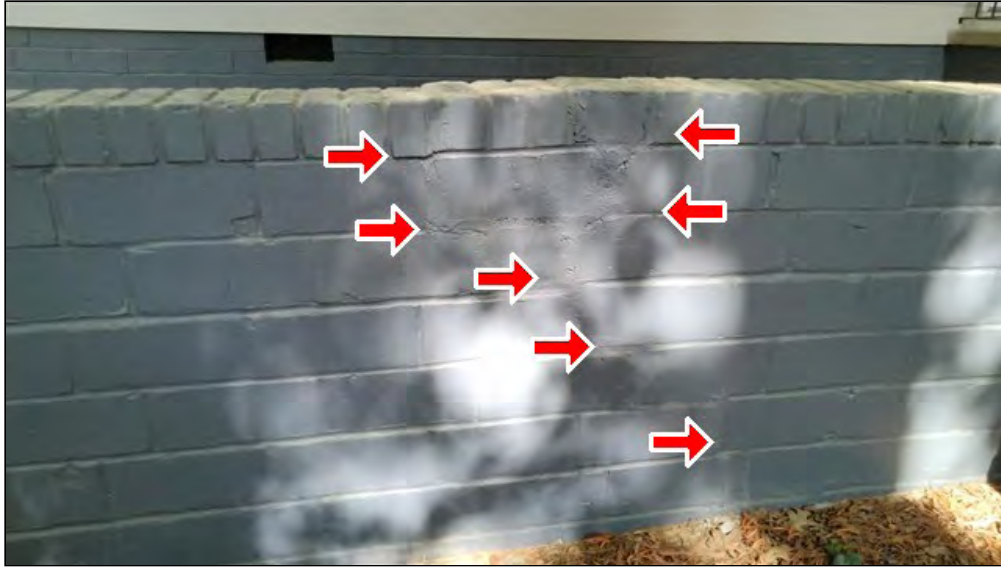


1.0 Item 3(Picture) Common cracks noted in the foundation at the foundation vents

(2) The foundation walls at the carport area of the home has cracks noted that may have structural implications with through brick cracks, long cracks, and needs to be reviewed and repaired under the guidance of a licensed structural engineer or a licensed general contractor specializing in foundation structural repairs. A clear structural letter and warranty should be received from the company performing the work.



1.0 Item 4(Picture) Up heaving in the carport foundation wall



1.0 Item 5(Picture) Structural cracking with improper repairs performed



1.0 Item 6(Picture) A very large pine tree is growing against the foundation and the tree roots are causing damaged to the foundation



1.0 Item 7(Picture) Structural cracks in the carport foundation wall next to the large tree



1.0 Item 8(Picture) Structural cracking noted in the homes foundation wall next to the carport concrete slab

(3) This home has white efflorescence (powder substance) on the block wall which indicates moisture is in contact with the masonry. This does not necessarily indicate that intrusion will occur. It is recommend checking the gutters and the downspout drain lines for proper operation. Also, a water proofing paint could be applied to the interior side of the block if necessary. Efflorescence is found on many homes without water intrusion occurring inside the home. However, it should alert you to the possibility that future steps may be needed.



1.0 Item 9(Picture) Whited efflorescence on the foundation walls in the crawlspace

(4) The carport foundation is leaning, and the metal piers are bowing out and this is a structural concern, and this wall and piers need evaluation with all repairs performed by a licensed general contractor or engineer to offer proper support. A list of repairs with a letter of warranty should be received on all repairs



1.0 Item 10(Picture) Heaving foundation wall



1.0 Item 11(Picture) Leaning and heaving carport foundation wall



1.0 Item 12(Picture) Leaning foundation wall

1.1 Columns or Piers

Repair or Replace

The metal jack stands used for primary / secondary support do not utilize the proper sized concrete footers and needs functional footers in place. The jacks are not allowed for primary support and have no functional footers / supports in place and needs to be made functional by a licensed general contractor.



1.1 Item 1(Picture) Metal stand pier with no or improper footers

1.2 Floors (Structural)

Repair or Replace

(1) The floor framing in the crawlspace has deterioration and fungus growth from radiant moisture and this can be a health concern and this crawlspace and floor framing needs to be evaluated and probed for concealed damage with proper repairs performed by a licensed general contractor and all areas made functional and safe.



1.2 Item 1(Picture) The floor framing has fungal growth with some deterioration noted



1.2 Item 2(Picture) Fungal growth noted



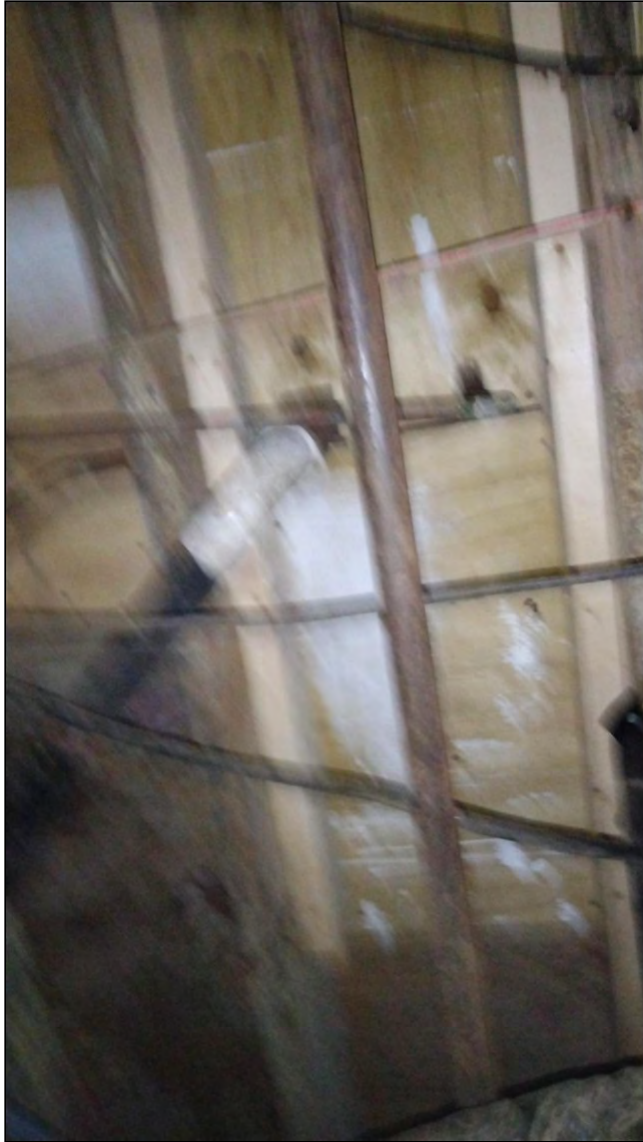
1.2 Item 3(Picture) Fungus growth on the floor joists



1.2 Item 4(Picture) Deteriorated floor sheathing and fungal growth



1.2 Item 5(Picture) Deteriorated floor joist noted



1.2 Item 6(Picture) Areas under the bathroom has been replaced in the past



1.2 Item 7(Picture) Fungal growth on the floor sheathing



1.2 Item 8(Picture) Deteriorated sheathing noted



1.2 Item 9(Picture) Fungal growth with deterioration noted

(2) Repairs have been made in the crawlspace under the bathroom and these repairs were not done using proper building techniques (floor joists are not supported to the ends) This can cause uneven floors and possible failure. These repairs need to be reviewed by a licensed general contractor and all areas make functional



1.2 Item 10(Picture) The new floor joist is nailed to the deteriorated joist and is not supported to the ends

1.4 Crawl Space / Basement Drain**Repair or Replace**

The sump pump in the crawlspace is not functional and this pump is required to get water out of the crawlspace. This pump needs to be replaced and made functional by a licensed general contractor.

1.8 Roof Structure and Attic**Repair or Replace**

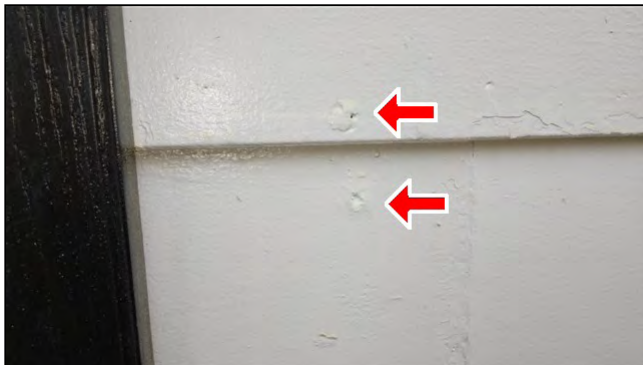
The roof sheathing in the rear exterior storage room has deterioration noted from active / past roof leakage and these areas of the roof sheathing needs proper repairs / replacement by a licensed general contractor and made functional.



1.8 Item 1(Picture) Deteriorated sheathing noted in the storage room

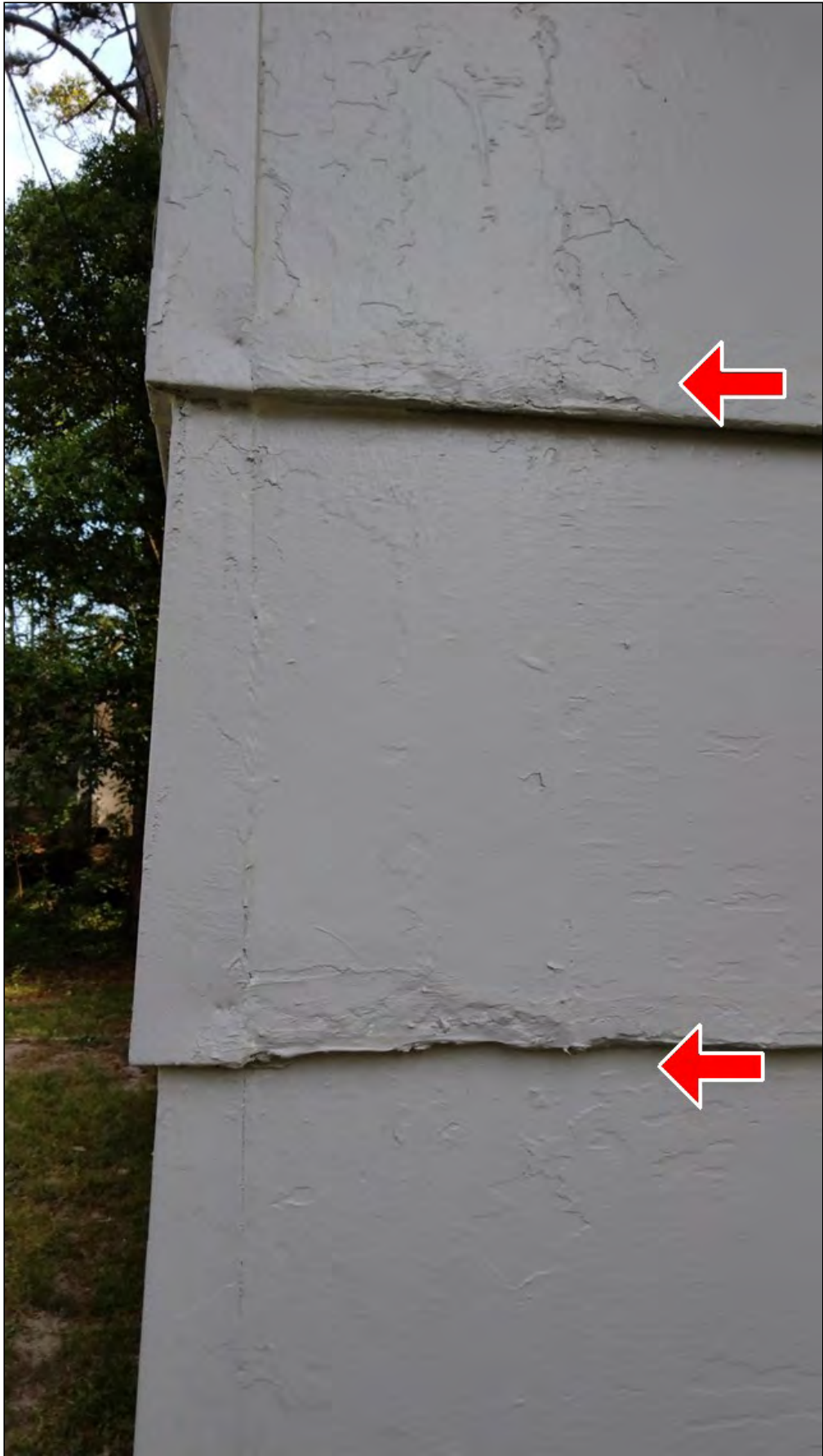
2. Exterior**2.0 Wall Cladding and Flashing****Repair or Replace**

(1) The hard board siding in multiple areas around the home has nails heads that have penetrated the outside skin of the siding, have areas that are swollen, and are damaged in these areas. All affected and damaged siding needs to be repaired / replaced by a siding contractor.



2.0 Item 1(Picture) Nail heads are sunk too deep in the siding

(2) The hard board siding has damage and deterioration noted in multiple areas around the home. The framing in affected areas need to be checked for obvious and / or concealed damage and all necessary repairs performed by a licensed general contractor.



2.0 Item 2(Picture)



2.0 Item 3(Picture) Damaged siding noted

(3) The hard board siding / veneer at the side of the home is loose and can be pulled loose and can allow moisture/ water penetration and further damage/deterioration in these areas. This siding should be repaired/replaced by a qualified siding contractor with all areas checked for concealed damage and all areas made functional.



2.0 Item 4(Picture) Loose siding. Moves to the touch

2.1 Eaves, Soffits, Fascias, & Rake Boards, Corner & Exterior Trim

Repair or Replace

(1) The soffits on the exterior of the home are not an exterior grade material. This material can be damaged by moisture and this soffit should be replaced and made functional by a licensed general contractor.



2.1 Item 1(Picture) Soffits are not a exterior grade material

(2) The front fascia trim board has damage noted from animals (Possible Woodpecker) or insects (Possible Bees) and this board needs proper repairs to prevent water seepage or damage. These areas needs to have the animals or insects stopped and made functional by a qualified contractor.



2.1 Item 2(Picture) Insect damage noted to the fascia boards

(3) The fascia / rake boards at the front right corner of the home has damage / deterioration noted. This area needs to be probed for concealed damage with the fascia boards repaired or replaced and all areas made functional by a licensed general contractor.



2.1 Item 3(Picture) Deterioration / damage noted

2.5 Front Porch / Stoop

Repair or Replace

The metal under the front porch slab has heavy rust damage noted and this condition can cause settlement and damage to the front porch



2.5 Item 1(Picture) Heavy rust damage to the front porch support metal

2.6 Steps To The Building

Repair or Replace

The front steps have settled in areas and / or has pulled loose away from the porch, and are leaning and is a tripping or safety concern and these steps are in need of proper repairs and made functional by a licensed general contractor to prevent further damage.



2.6 Item 1(Picture) The front steps have settled

2.8 Ground Coverings, Vegetation, & Trees (In relation to structure)

Repair or Replace

A large pine tree is growing against the foundation of the home and is causing damage and this tree should be evaluated for removal and all areas made functional by a qualified landscape contractor.



2.8 Item 1(Picture) A very large pine tree is growing against the foundation and the tree roots are causing damaged to the foundation

3. Roofing

3.0 Roof Coverings

Repair or Replace

The shingles installed over the flashing at the dormer over the garage and at the front of the house are loose and needs to be re-aligned and re-secured by a roofing professional and made functional.



3.0 Item 1(Picture) Lifter shingle over the flashing on he rear storage room

3.1 Roof Drainage Systems

Repair or Replace

No gutters are in place on the structure and is not a required component but is highly recommended for proper drainage of the roof and to direct water away from the structure and foundation and areas below the house.



3.1 Item 1(Picture) No gutters are on the home

4. Interiors

4.0 Ceilings

Repair or Replace

A damage ceiling tile was noted at the bathroom vent and this damage can get worse with time and this ceiling should be repaired or replaced and made functional by a qualified contractor.



4.0 Item 1(Picture) Damaged ceiling tile

4.2 Floors

Repair or Replace

The hall floor has a raised area in the flooring noted. This can be from settlement, a missing pier shim, or the floor framing not being properly supported in this area and all accessible areas of the floor structure were functional.



4.2 Item 1(Picture) Raised area in the flooring

4.4 Doors (representative number)

Repair or Replace

(1) The interior doors in the home have holes noted that have improper repairs and these doors need to be repaired or replaced and made functional by a qualified contractor.

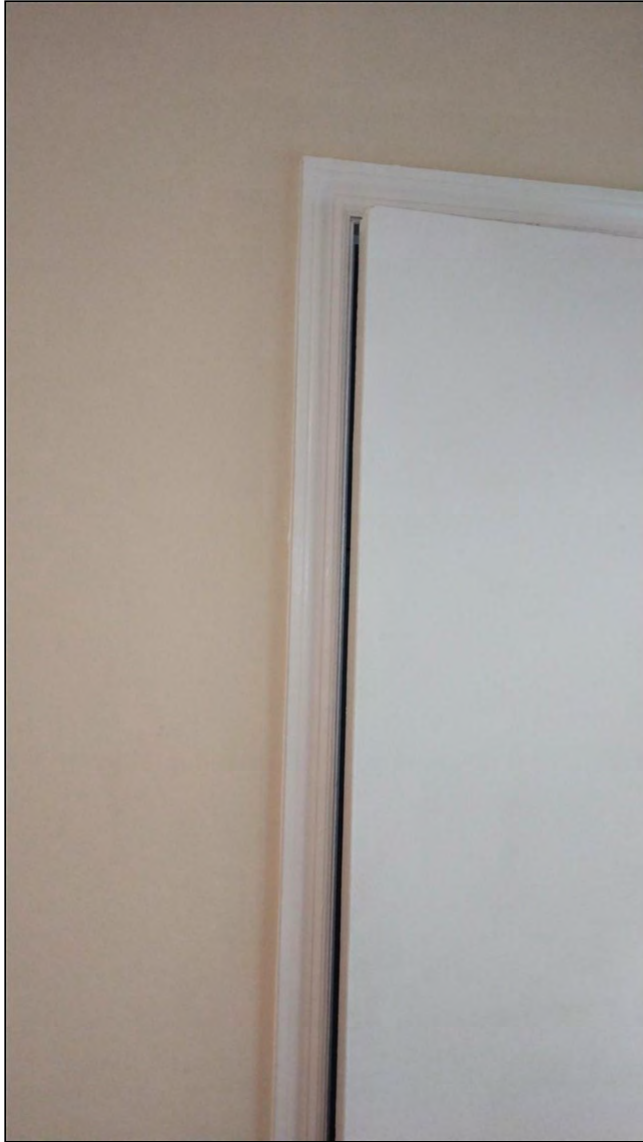


4.4 Item 1(Picture) Holes with improper repairs noted



4.4 Item 2(Picture) Holes with improper repairs noted

(2) The hall closet entry door is scraping the door frame when opening and closing, the door will not close in the opening from this scraping, and this door, frame, and / or framing needs adjustment / repair to work properly. This unit needs repairs by a licensed general contractor.



4.4 Item 3(Picture) The closet door is scrapping its frame

5. Plumbing System

5.0 Main Water Shut-off Device & Main Water Line Entry

Not Inspected

The main water shut off for the home could not be located due to stored items in the home. Ask the current owner for the location before closing. If no shut off is discovered a functional shut off should be installed by a licensed plumbing contractor.

5.1 Plumbing Water Supply Distribution Piping, and Fixtures

Repair or Replace

Polybutylene Pipe. Recommended language for Polybutylene piping(PB): Polybutylene plumbing supply line (PB) are installed in this house as the main water and distribution supply line. PB was used as water distribution piping in many homes built from the mid 1980's until the mid 1990's. The piping and associated fittings have had a failure rate and subsequent leakage sufficient to have been the subject of several nationwide class action lawsuits. Copper and brass fittings used in later years seem to have reduced the failure rate, but the piping may still fail due to problems with poor installation, improper handling, or chemical reaction with the water supply. The main entry piping in this house has copper fittings. You may wish to have the plumbing system evaluated by a licensed

plumbing contractor. Standards of Practice/ Rules / Interpretations Committee of the North Carolina Home Inspection Licensure Board.



5.1 Item 1(Picture) Polybutylene Piping noted in the home



5.1 Item 2(Picture) Polybutylene piping noted

5.2 Hose Faucets / Sill Cocks

Repair or Replace

The hose faucet at the rear of the home is loose and needs to be properly secured. This can cause further damage to this unit, can allow leakage, and needs proper repairs by a licensed plumber and made functional.



5.2 Item 1(Picture) Loose hose bib noted

5.3 Washing Machine Connection

Not Inspected

The washing machine connections could not be evaluated due to no washing machine was in place. No representations are made of the connections and needs to be checked prior to use. All necessary repairs need to be performed by a qualified professional if problems exist.

5.6 Waste Plumbing Cleanouts

Repair or Replace

(1) The plumbing cleanouts in the side yard have not been trimmed to grade level and can allow these units to be damaged with lawn equipment. These cleanouts should be cut to grade level by a licensed plumber and made functional.



5.6 Item 1(Picture) Plumbing cleanout not trimmed

(2) The waster line where it leaves the home is exposed and can be damaged with lawn equipment and this line should be evaluated and made functional by a licensed plumbing contractor.



5.6 Item 2(Picture) Plumbing waste line is exposed in the yard

5.7 Sump Pumps, Waste Pumping Systems, Septic Systems

The existing sump pump uses an extension cord and should have its own GFCI outlet. All sump pumps should have its own GFCI and not be run on an extension cord. These electrical issues are considered a hazard until repaired. It is recommend a qualified licensed electrical contractor evaluated and make necessary repairs with all areas made functional.



5.7 Item 1(Picture) Sump pump is not powered by a GFCI for protection

7. Bathrooms

7.0 Toilets

Repair or Replace

The bathroom toilet is loose from the floor / moves side to side, is not properly secured at the lower base with the bolts. The wax ring seal needs to be checked for leaks and replaced if needed, and the commode re-secured to floor. Check for concealed damage during repairs and repairs to be performed by a licensed plumber.

8. Electrical System

8.5 Junction Boxes, Wire Splices, Wiring Components,

Repair or Replace

Wire splices were made inside junction / receptacle / or switch boxes at the sump pump but not limited to this area have no covers and leaves exposed wires in these areas. These areas are a safety concerns and the splices needs to be made in a junction box and / or made functional by a licensed electrician.



8.5 Item 1(Picture) Receptacle cover missing

8.8 Operation of GFCI (Ground Fault Circuit Interrupters)

Repair or Replace

(1) The GFCI in the laundry room would not trip properly, is a safety and electrical concern and this receptacle needs repair or replacement by a licensed electrician and made functional.



8.8 Item 1(Picture) The GFCI at the laundry areas is not functional

(2)

8.10 Door Bell

Not Present

No door bell or door knocker is in place and the front entry while not required should have a functional knocker or door bell installed as needed

10. Heating Systems

10.3 Heating Equipment Inspected and condition

Repair or Replace

(1) The metal at the rear of the package unit is holding water and is rusting and this can damage the unit and this installation should be evaluated and made functional by a licensed HVAC contractor.



10.3 Item 1(Picture) Metal holding water and rusting

(2) The gas was off to the home and the gas heat and water heater could not be tested or inspected and no representations are made of these areas.



10.3 Item 2(Picture) The gas is off to the home

11. Insulation and Ventilation

11.1 Foundation Ventilation & Flooring Insulation

Repair or Replace

Flooring insulation has been removed and there is no flooring insulation installed and this floor system needs insulation installed and all areas made functional by a qualified insulation contractor.



11.1 Item 1(Picture) Missing flooring insulation

12. Built-In Kitchen Appliances

12.6 Kitchen Sink and Sprayer

Repair or Replace

The kitchen sink sprayer is missing the weight on the sprayer line that helps pull the sprayer back into its mount when not in use and this sprayer needs to be made functional by a qualified contractor.



12.6 Item 1(Picture) Missing sprayers weight

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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