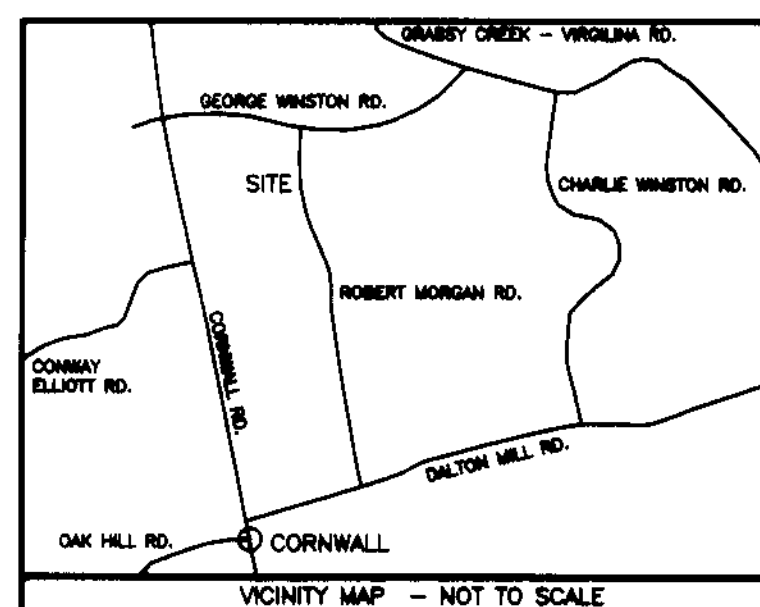




OWNER(S) CERTIFICATION
I hereby certify that I am (we are) the owner(s) of the property shown and described hereon which was conveyed to me by deed recorded in the Granville County Register of Deeds Office in Book 1480 Page 333, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building lines, and dedicate all alleys, walks, easements, parks, roads, streets and open spaces to the public or private use as noted. Further I (we) certify that the land as shown hereon is within the subdivision regulation jurisdiction of Granville County, North Carolina.

Alesia B. Ragland 9/16/13
Owner Date
Bryant L. Blackwell 9/16/13
Owner Date
Bryant L. Blackwell 9/16/13
Owner Date

State of North Carolina
County of GRANVILLE
I, LESLIE A. SMITH, Review Officer
of GRANVILLE County, certify
that the map or plat to which this
certification is affixed meets all
statutory requirements for recording.
9-17-13 Leslie A. Smith
Review Officer

REFERENCES
DEED BOOK 1480, PAGE 333
TRACT 3, PLAT BOOK 41, PAGE 96
TRACT 1 IS AN EXISTING LOT WITHIN TRACT 3 - PLAT BOOK 41, PAGE 96
TRACTS 2, 3, 4 AND 5 ARE NEWLY CREATED TRACTS OUT OF TRACT 3 - PLAT BOOK 41, PAGE 96
SEE ALSO DEED BOOK 108, PAGE 163 AND OTHER REFERENCES NOTED HEREON.

CERTIFICATION
I, Barry H. Oakes, do hereby certify that this map was drawn by me or under my direction and supervision from an actual field survey made by me or under my direction and supervision, from references noted hereon; that the ratio of precision as computed from latitudes and departures is 1:18,553, that the lines not actually surveyed are drawn as broken lines plotted from references noted hereon; that this map was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, seal and registration number this 10TH day of SEPTEMBER, 2013.

Barry H. Oakes
Barry H. Oakes, PLS L-3061

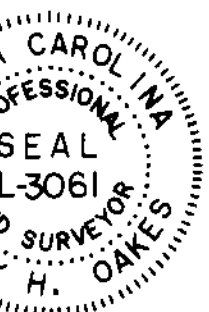
CERTIFICATION
I, Barry H. Oakes, certify to one or more of the following as indicated thus: ☒
a. This survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land;
b. This survey is located in such a portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land;
c. Any one of the following:
1. That the survey is of an existing parcel or parcels of land and does not create a new street or change an existing street.
2. That the survey is of an existing building or other structure, or natural feature, such as a watercourse; or
3. That the survey is a control survey.
d. That the survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exception to the definition of subdivision.
e. That the information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a) through (d) above.

I hereby certify that the subdivision as depicted hereon has been granted final approval pursuant to the Granville County Subdivision Regulations

9-17-13
Land Development Administrator

- LEGEND**
- EIP Existing Iron Pipe
 - IPS Iron Pipe or Pin Set
 - EIS Existing Iron Spike
 - NIS New Iron Spike
 - R/W Right-of-Way
 - EPK Existing PK Nail
 - PKS New PK Nail
 - ECM Exist. Concrete Mon.
 - PP Power Pole
 - CP Computed Point
 - MBL Minimum Building Line
 - ES Existing Steel Spindle
 - OHUL Overhead Utility Line
 - EN Existing Nail
 - EMN Existing Magnetic Nail
 - MNS Magnetic Nail Set
 - SSMH Sanitary Sewer Manhole
 - ST.SDI Storm Sewer Drop Inlet
 - RCP Reinforced Concrete Pipe
 - L.M. Line Marker
 - PROPERTY LINE
 - CENTERLINE
 - RIGHT-OF-WAY

Barry H. Oakes Surveying, P.A.
6850 Sidney Cottrell Road
P.O. Box 2059
Oxford, North Carolina 27565
Tel. # (919) 693-3260
Email: bhoopa@gmail.com
C-1581

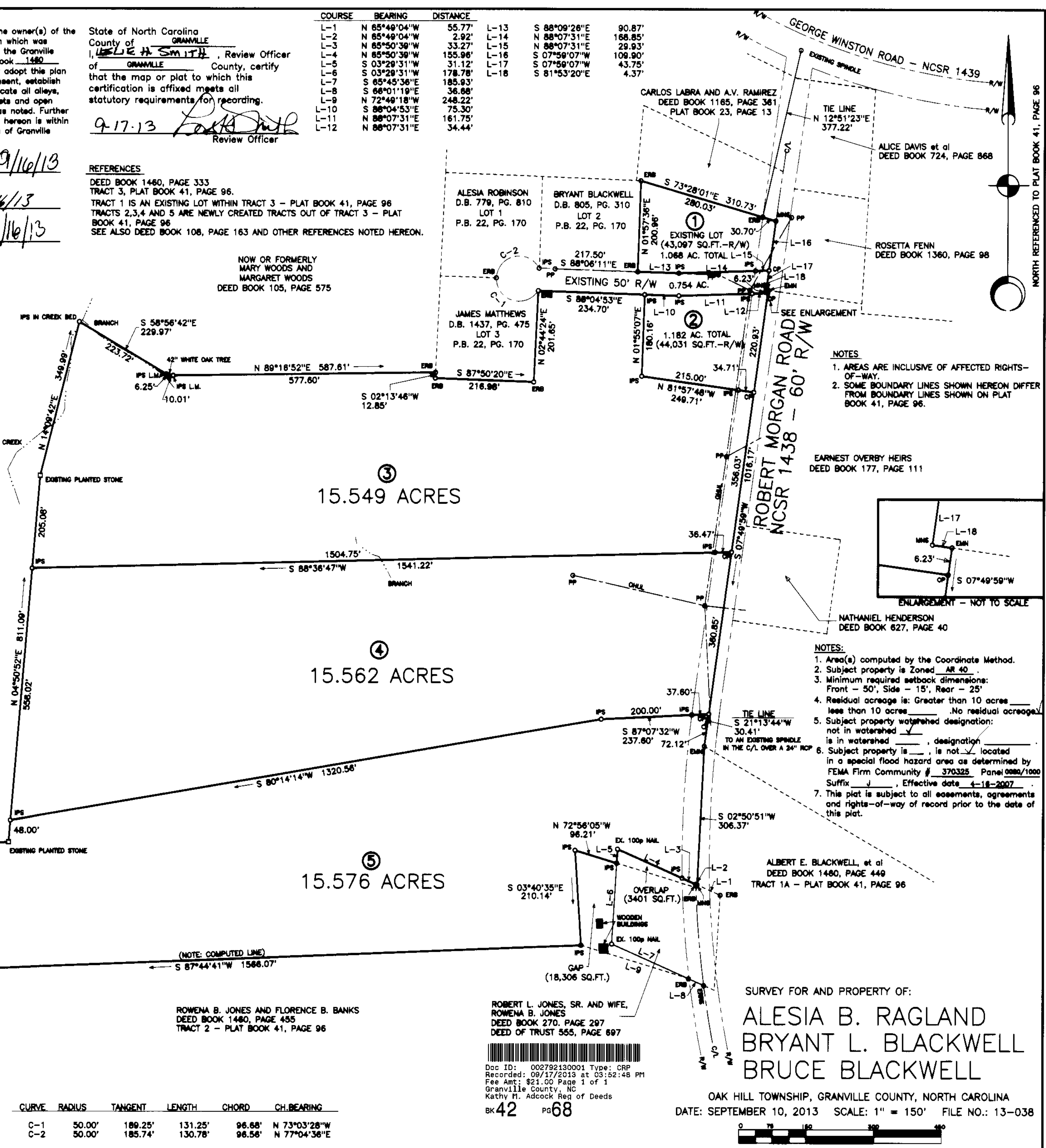


NOW OR FORMERLY
MARY WOODS AND
MARGARET WOODS
DEED BOOK 105, PAGE 575

NOW OR FORMERLY
MARY WOODS AND
MARGARET WOODS
DEED BOOK 105, PAGE 575

ROWENA B. JONES AND FLORENCE B. BANKS
DEED BOOK 1480, PAGE 455
TRACT 2 - PLAT BOOK 41, PAGE 96

ROBERT L. JONES, SR. AND WIFE,
ROWENA B. JONES
DEED BOOK 270, PAGE 297
DEED OF TRUST 555, PAGE 697



NOTES
1. AREAS ARE INCLUSIVE OF AFFECTED RIGHTS-OF-WAY.
2. SOME BOUNDARY LINES SHOWN HEREON DIFFER FROM BOUNDARY LINES SHOWN ON PLAT BOOK 41, PAGE 96.

EARNST OVERBY HEIRS
DEED BOOK 177, PAGE 111

NOTES:
1. Area(s) computed by the Coordinate Method.
2. Subject property is Zoned AR 40.
3. Minimum required setback dimensions: Front - 50', Side - 15', Rear - 25'.
4. Residual acreage is: Greater than 10 acres less than 10 acres. No residual acreage.
5. Subject property watershed designation: not in watershed. is in watershed, designation.
6. Subject property is, is not located in a special flood hazard area as determined by FEMA Firm Community # 370325 Panel 0889/1000 Suffix J, Effective date 4-18-2007.
7. This plat is subject to all easements, agreements and rights-of-way of record prior to the date of this plat.

SURVEY FOR AND PROPERTY OF:
ALESIA B. RAGLAND
BRYANT L. BLACKWELL
BRUCE BLACKWELL

OAK HILL TOWNSHIP, GRANVILLE COUNTY, NORTH CAROLINA
DATE: SEPTEMBER 10, 2013 SCALE: 1" = 150' FILE NO.: 13-038

Doc ID: 002792130001 Type: CRP
Recorded: 09/17/2013 at 03:52:48 PM
Fee Amt: \$21.00 Page 1 of 1
Granville County, NC
Kathy M. Adcock Reg. of Deeds
BK 42 PG 68

CURVE	RADIUS	TANGENT	LENGTH	CHORD	CH. BEARING
C-1	50.00'	189.25'	131.25'	96.68'	N 73°03'28"W
C-2	50.00'	185.74'	130.78'	96.56'	N 77°04'38"E