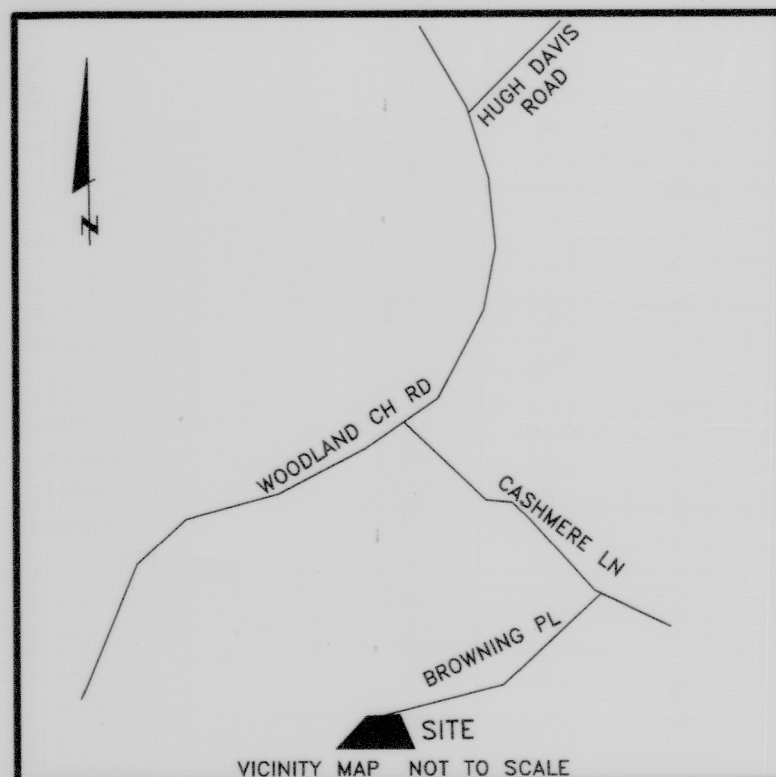




I, JACK R. THOMASON, certify that this plat was drawn under my supervision from (an actual survey made under my supervision)(deed description recorded in Book 1847, page 352 etc.) (other), that the ratio of precision as calculated by latitude and departures is 1/10,000, that the boundaries not surveyed are shown as broken lines plotted from information found in Book 52, page 21; that this plat was prepared in accordance with the G.S. 47-30 as amended. Witness my original signature, registration number and seal this 13 day of MARCH, A.D. 2023.

○ a. This survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.

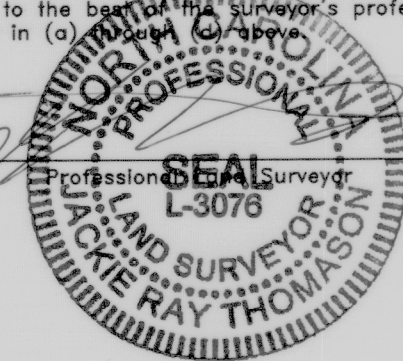
○ b. This survey is located in a portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land.

○ c. Any one of the following:

1. That the survey is of an existing parcel or parcels of land and does not create a new street or change an existing street;
2. That the survey is of an existing building or other structure, or natural feature, such as a watercourse; or
3. That the survey is a control survey.

✗ d. This survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exception to the definition of subdivision.

○ e. The information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a), (b), (c), or (d) above.



I HEREBY CERTIFY THAT THE PROPERTY SHOWN AND DESCRIBED ON THIS SUBDIVISION PLAT FOR RECORDATION, QUALIFIES AS AN EXCEPTION TO THE PROVISIONS OF THE SUBDIVISION REGULATIONS OF GRANVILLE COUNTY, NORTH CAROLINA, UNDER THIS SECTION TITLED:

Recombination

Ben Boh 4-10-23
LAND DEVELOPMENT ADMINISTRATOR DATE
GRANVILLE COUNTY, NORTH CAROLINA

REVIEW OFFICER CERTIFICATE
GRANVILLE COUNTY, NORTH CAROLINA
I, Eric R. Dole Review Officer of
Granville County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording for which the review officer has responsibility as provided by law.
Eric R. Dole 04/10/23
Review Officer Date of Certification
GRANVILLE COUNTY LAND RECORDS/GIS

Stormwater Maintenance and Access Easement Notes

- 1) The owner is responsible for maintaining the permanent engineered stormwater control labeled "Stormwater Maintenance and Access Easement" as directed by the government office having jurisdiction for watershed protection.
- 2) This property is located in a stormwater management protection area and/or public water supply watershed, development restrictions apply.
- 3) The Government office having jurisdiction for watershed protection and their assigns will have the right to access the engineered stormwater control structure labeled as "Stormwater Maintenance and Access Easement" for inspections and maintenance enforcement.
- 4) Refer to Stormwater Facility Agreement and Covenants recorded in Deed Book 1913, page 160 of the Granville County Registry.

Stream Buffer Note

Clearing vegetation within 30 feet of the top of the stream bank (30' Zone 1 Buffer) is prohibited. Impervious surfaces are not allowed within the 50-foot buffer. Contact Granville County prior to any land disturbance within the buffer.

I HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON WHICH WAS CONVEYED TO US BY DEED RECORDED IN THE GRANVILLE COUNTY REGISTERED OF DEEDS OFFICE IN BOOK 1789 PAGE 707, AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT. FURTHER, WE HEREBY CERTIFY THAT THE LAND AS SHOWN HEREON IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF GRANVILLE COUNTY, NORTH CAROLINA.

William O. Smith 4/6/2023
OWNER(S) DATE
as General Partner for
Churchill Associates, G.P.

CURVES				
Id	Radius	Arc Length	Chord	Ch Bear
C1	25.00'	21.02'	20.41'	N 74°11'37" E
C2	50.00'	89.31'	77.90'	S 78°43'59" E
C3	325.00'	56.82'	56.75'	S 86°43'14" E

REFERENCES:

GRANVILLE COUNTY
DB 1847 PG 352
PB 52 PG 21
PB 51 PG 79
PB 50 PG 91

MAPN 182400909234 (LOT 6 & LOT 7)
RECORD NO. 60655

ZONE CLUSTER AR-40

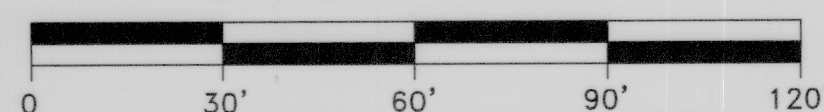
SETBACKS:
STREET - 25'
SIDE - 6/15'
REAR - 30'

NOTES:

EIP - EXISTING IRON PIPE
NIP - NEW IRON PIPE
EPK - EXISTING PK NAIL
CM - CONCRETE MONUMENT

THIS PROPERTY IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

SCALE 1"=30'



OWNER:
CHURCHILL ASSOCIATES, G.P.
10931 STRICKLAND ROAD, STE 111
RALEIGH, NC 27615

**EXEMPT PLAT OF RECOMBINATION FOR
LOT 6 AND LOT 7 THE RETREAT at MERRIWEATHER
BRASSFIELD TOWNSHIP, GRANVILLE COUNTY, NC**

JACK R. THOMASON, PLS
4969 US HWY 401 SOUTH
YOUNGSVILLE, NC 27596
PH#: 919-556-3307
DATE: MARCH 13, 2023