

FILED Dec 09, 2024 02:05 pm

BOOK 01454

PAGE 0956 THRU0958

INSTRUMENT # 03987

RECORDING \$26.00

EXCISE TAX \$230.00

FILED

VANCE

COUNTY NC

CASSANDRA D. NEAL

REGISTER

OF DEEDS

GZM

This certifies that there are no delinquent ad valorem real estate taxes, which the Vance County Tax Collector is charged with collecting, that are a lien on:

Pin Number: 0028 03014; 0091 06032; 0082 03013

This is not a certification that this Vance County Tax Department Pin Number matches this Deed description.

Nathan Camm

Vance County Tax Office

Date: 12-09-2024

Excise Tax\$230.00

Recording Time, Book and Page

Tax Parcel No. 0028 03014; 0091 06032; 0082 03013

Mail after recording to: 109 W. Montgomery Street, Henderson, NC 27536

This instrument was prepared by JONATHAN S. CARE, Attorney At Law, P.A., A licensed North Carolina attorney, (ji)

Brief description for the Index

Maple St, Southerland St, S. Clearview Dr, Henderson, NC

NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this 9th day of **December 2024** by and between

GRANTOR

DOUGLAS FALKNER REAL ESTATE,
LLC, A NC Limited Liability Company

109 E. Spring Street
Henderson, NC 27536

GRANTEE

NC HOUSING DEPARTMENT, LLC, A NC
Limited Liability Company

PO Box 1191
Henderson, NC 27536

Enter in appropriate block for each party: name, address, and if appropriate, character of entity, e.q. corporation or partnership

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in, **Henderson** Township, **Vance** County, North Carolina and more particularly described as follows:

Tract 1: 1034 Maple Street, Henderson, NC; Tax Parcel No. 0028 03014

BEGIN at a stake on the South side of Maple Street, J. N. Coghill's corner 100 feet from an iron corner intersection of Lehman Street with Maple Street, run thence South $77-1/4^\circ$ East 50 feet; thence South $2-1/2^\circ$ West 150 feet; thence North $77-1/4^\circ$ West 50 feet to a point in J.N. Coghill line; thence North $2-1/2^\circ$ East 150 feet to the place of beginning on Maple Street.

Tract 2: 749 Southerland Street, Henderson, NC; Tax Parcel No. 0091 06032

Begin at Allen's corner on the North edge of Southerland Street being the corner of Lot No. 25 of the N. Wyche property, run thence N. 2 W. $160 \frac{2}{5}$ feet to a stake the Elijah Wimbush lot; thence S. 88 E. 50 feet to a stake; thence S. 2 W. $161 \frac{2}{5}$ feet to a stake in Southerland Street; thence along said Street N. 88 W. 50 feet to the place of beginning, being Lot No. 27 of the Wyche property.

Tract 3: 1854 S. Clearview Drive, Henderson, NC; Tax Parcel No. 0082 03013

BEING Lot 4, Block B, as appears on plat entitled "Plat of Property Owned by R.A. Southerland" as prepared by W.C. Fuller, Engineer, dated August 15, 1955, as appears in Plat Book "I", Page 61 in the office of the Register of Deeds of Vance County.

*** Notice per NCGS §105-317.2: This property is not the primary residence of the Grantor.**

The property herein above described was acquired by Grantor by instrument recorded in Deed Book 1279, Page 1009 (Tract 1), Deed Book 1141, Page 124 (Tract 2), and Deed Book 1298, Page 120 (Tract 3), Vance County Registry.

A map showing the above-described property is recorded in Plat Book "I", Page 61 (Tract 3), Vance County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

- a. Existing restrictions, covenants, easements, rights of way for roadways and public utilities of record.
- b. City of Henderson and Vance County Ad Valorem Taxes for 2024 et seq. years.
- c. City of Henderson Zoning.
- d. Building setbacks, rights of way and all other matters as appear on Plat Book "I", Page 61 (Tract 3), Vance County Registry.

IN WITNESS WHEREOF, the Parties hereto have executed this document as of the date first set forth above.

**DOUGLAS FALKNER REAL ESTATE, LLC, A North
Carolina Limited Liability Company**

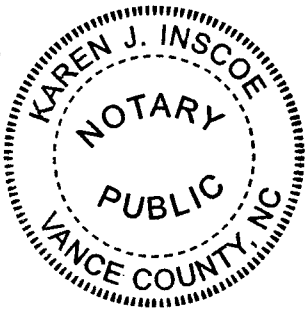
BY *Douglas A. Falkner* (SEAL)
Douglas A. Falkner, Member/Manager

State of North Carolina
County of Vance

I, a Notary Public of said County and State, certify that Douglas A. Falkner, personally came before me this day and acknowledged that he is Member/Manager of Douglas Falkner Real Estate, LLC, A North Carolina Limited Liability Company, and that he as Member/Manager, being authorized to do so, executed the foregoing Deed on behalf of the North Carolina Limited Liability Company.

Witness my hand and official seal, this the 9th day of December 2024.

(Notary Seal)



Karen J. Inscoe
Notary Public
Print Notary Name: Karen J. Inscoe
My commission Expires: 07/26/2029