

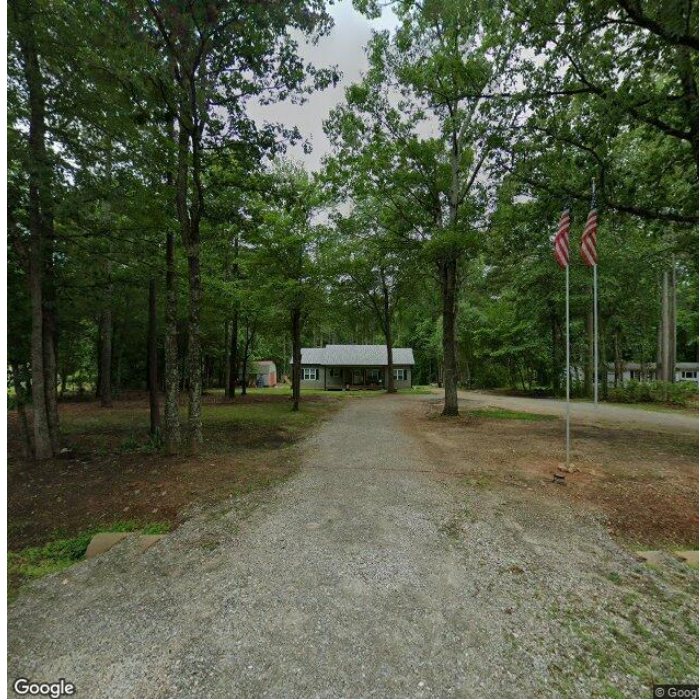


ROB WERNEKEN HOME INSPECTION SERVICES, LLC

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RESIDENTIAL REPORT

4082 Old Franklinton Rd
Franklinton, NC 27525

Kristen Wilder

JANUARY 14, 2025



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This report was prepared for the exclusive use of the client named above. This report remains the property of the inspector and or inspection company and can not be transferred or sold. Acceptance and or use of the inspection report binds the client to the terms of the Home Inspection Contract.

SUMMARY

"This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney."

- ⊖ 2.2.1 Exterior - Siding, Flashing & Trim: Vinyl Siding Cracked
- ⊖ 2.2.2 Exterior - Siding, Flashing & Trim: Kick-out Flashing-missing
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- ⊖ 11.1.1 Built-in Appliances - Dishwasher: Dishwasher Door Hinges

1: INTRODUCTION

Information

Occupancy
Furnished

Temperature (approximate)
43 Fahrenheit (F)

Weather Conditions
Clear

Type of Building
Single Family, Detached

2: EXTERIOR

Information

General: Inspection Method Crawlspace Access	Siding, Flashing & Trim: Siding/Trim Material Vinyl	Decks, Balconies, Porches & Steps: Appurtenance Front Porch
Decks, Balconies, Porches & Steps: Material Composite, Wood	Walkways, Patios & Driveways: Driveway Material Gravel	

Limitations

General

ACCESSORY BUILDINGS

Unless otherwise stated, accessory buildings are not within the scope of the home inspection



Decks, Balconies, Porches & Steps

DECK HEIGHT

The floor system of the deck was not fully inspected, the area was too low. The accessible areas have visible defects that indicate the need for further investigation of the foundation area. Refer to the report statements listed below.

Deficiencies

2.2.1 Siding, Flashing & Trim

VINYL SIDING CRACKED

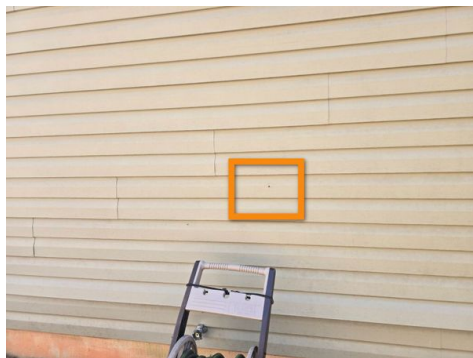
FRONT PORCH, RIGHT SIDE

 Recommendation

On the right wall a section of siding is cracked. This can allow water penetration and lead to decay in framing members. Recommend a licensed siding contractor address concerns.

Recommendation

Contact a qualified professional.



2.2.2 Siding, Flashing & Trim



Recommendation

KICK-OUT FLASHING-MISSING

The gutters were noted to be in contact with the siding at end points and without a flashing such as a kick out, typical recommended installations request a 1 inch gap and a kick out flashing to prevent excessive water from draining down the siding in the event of gutter overflow. A licensed general contractor should be consulted to review the siding installation to determine the significance of this concern and to make necessary repairs.

Recommendation

Contact a qualified general contractor.



2.2.3 Siding, Flashing & Trim



Recommendation

SIDING: IMPROPERLY SECURED

RIGHT

During the home inspection, it was noted that there is an unsecured section of vinyl siding on the exterior of the property. This condition may lead to water intrusion, potential pest access, and could compromise the home's insulation and energy efficiency. It is recommended to secure the loose siding and perform a thorough inspection to ensure that there are no underlying issues. A qualified contractor should be consulted for repair to restore the integrity of the siding system.

Recommendation

Contact a qualified professional.



2.4.1 Decks, Balconies, Porches & Steps

DECK - WATER SEALANT REQUIRED

Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

[Here is a helpful article](#) on staining & sealing your deck.

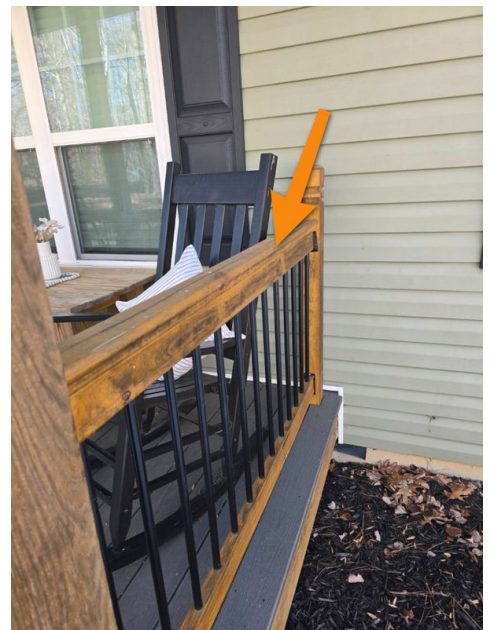


2.4.2 Decks, Balconies, Porches & Steps

RAILING: TOP PLATE LOOSE

Recommendation

Contact a qualified professional.



2.4.3 Decks, Balconies, Porches & Steps

DECK GIRDER CONNECTION TO POST

During the home inspection, it was observed that the deck girder is bolted to the side of the vertical post. Bolts are supporting full weight of deck. It is recommended to consult with a licensed contractor to assess the condition of the connection and, if necessary, perform repairs or reinforcement to ensure it meets current building codes and safety standards.

Recommendation

Contact a qualified professional.



3: ROOF

Information

Roof Type/Style

Gable

Coverings: Material

Asphalt

Roof Drainage Systems: Gutter Material

Aluminum

Inspection Method

Binoculars

The roof covering was inspected using binoculars and or a zoom camera and from a ladder at the roof eaves. This method allows the inspector to view the overall surface of the roof but does not enable the inspector to locate small defects or hidden areas that may only be located or identified by walking on the roof surface which is beyond the scope of this home inspection. If an invasive or complete surface inspection of the roof covering is desired, the buyer should consult a Licensed Roofing Contractor prior to purchase.

Limitations

General

SPRAY FOAM ATTIC INSULATION

Spray foam attic insulation prevents visual inspection of roof structure.

Deficiencies

3.2.1 Roof Drainage Systems

DEBRIS

Maintenance Item

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

3.2.2 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE

Recommendation

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.



4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

Information

Foundation: Material Masonry Block	Foundation: Type Crawlspace (exterior entrance)	Columns & Piers: Type Pier:crawlspace, column:exterior
Columns & Piers: Material Wood, Block, Brick	Floor Structure: Basement/Crawlspace Floor Dirt	Floor Structure: Material Dimensional Lumber-standard construction
Floor Structure: Sub-floor OSB	Ceiling Structure: Ceiling joist Type Engineered Truss (wood)	Roof Structure & Attic: Rafter & Beam Type Wood Truss(engineered)
Roof Structure & Attic: Roof Sheathing Type Not Visible		

Inspection Method

Attic Access, Crawlspace Access, Infrared, Visual

When accessible and safe the inspector entered attic and crawl space inspection areas with a small probe, a camera, and a standard flash light. Where visible and accessible; floor and roof framing components were inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system(s) for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection. The inspection of the attic was limited by available walking surfaces and the presence of insulation covering wood components.

Limitations

Foundation

SPRAY FOAM INSULATION

Spray foam insulation on foundation walls prevents visual inspection of foundation.

Floor Structure

FLOOR LIMITATION

Floor framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members, however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

Wall Structure

WALL CEILING LIMITATION

The wall and ceiling structures are not visible for inspection or reporting a structural description

Roof Structure & Attic

SPRAY FOAM INSULATION

Spray foam insulation limits ability to inspect roof structure. Sheathing and portions of truss are not visible.

Deficiencies

4.1.1 Foundation



Recommendation

EFFLORESCENCE

Efflorescence (salt stains) and algae growth were noted on the foundation walls. The stains indicate that the foundation has been cyclically wet and dry. Water penetration into the foundation area can result in structural damage and undesirable environmental conditions. Water in the foundation area indicates an absent or damaged waterproofing and foundation drain systems. A licensed general contractor with experience in foundation drainage and waterproofing should be consulted for evaluation and to make necessary repairs.



Recommendation

Contact a qualified professional.

4.1.2 Foundation



Recommendation

PARGING CRACKS

Fine cracking in parging covering exterior foundation wall observed. This is usually due to material shrinkage as material cures. This is likely a cosmetic issue but should be monitored.



4.3.1 Basements & Crawlspaces



Recommendation

STANDING WATER

RIGHT REAR

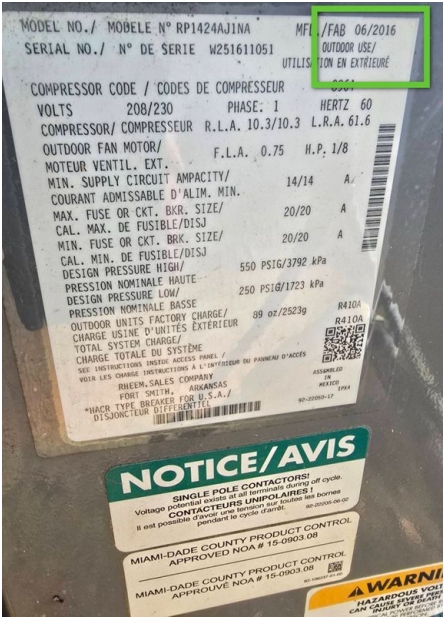
Observed signs that standing water may have been present on crawlspace floor. Recommend a qualified contractor evaluate and find potential source of moisture.



5: HEATING

Information

Inspection Method Unit Operated, Covers Not Removed	Equipment: Energy Source Electric	Equipment: Heat Type Heat Pump
Equipment: Date Of Manufacture 2016	Equipment: Location Exterior, Crawlspace	Distribution Systems: Distribution Systems Metal Box, Flexible Branch



Presence of Installed Heat Source
in Each Room: Present

6: COOLING

Information

Inspection Method Not operated(covers not removed)	Cooling Equipment: Energy Source/Type Electric, Central Air Conditioner	Cooling Equipment: Location Crawlspace, Exterior
Distribution System: Configuration Central	Presence of Installed Cooling Source in Each Room: Present	

Limitations

General

WINTER INSPECTION

The air conditioning system and components were visually inspected, but not operated due to low exterior temperatures. Winter inspections only include a visual inspection of the air condition system(s). The home inspector cannot determine if an AC system will function as intended during the winter inspection and the operation of the system could result in component damage. At the time of the inspection, the home inspector develops no conclusions concerning whether or not the system will function or adequately cool the home during the summer season.

7: PLUMBING

Information

Water Source Well	Main Water Shut-off Device: Location Hall Closet	Drain, Waste, & Vent Systems: Material PVC
		
Water Supply, Distribution Systems & Fixtures: Distribution Material Pex	Water Supply, Distribution Systems & Fixtures: Water Supply Material Pex	Hot Water Systems, Controls, Flues & Vents: Capacity 38 gallons
Hot Water Systems, Controls, Flues & Vents: Location Crawlspace	Hot Water Systems, Controls, Flues & Vents: Power Source/Type Electric	Hot Water Systems, Controls, Flues & Vents: Date Of Manufacture 2016

Limitations

General

WELL

This home has a private well for potable water supply. Determining if the water supply is potable or of good quality is beyond the scope of the home inspection. Wells require regular maintenance and can become contaminated with bacteria or other contaminates. It is recommended that the buyer consult the local health department or a licensed well contractor for system evaluation and testing.

Drain, Waste, & Vent Systems

CONCEALED

The majority of the water supply and the waste lines are concealed from visual inspection and the general condition cannot be determined.

Deficiencies

7.2.1 Drain, Waste, & Vent Systems

SINK - POOR DRAINAGE

MASTER BATH

Sink had slow/poor drainage. Recommend a qualified plumber repair.



Maintenance Item



7.2.2 Drain, Waste, & Vent Systems

DRAIN: CORROSION

Sink drain found to be heavily corroded. This can lead to leaks and damage. Plumber should evaluate and repair/replace as needed.

Recommendation

Contact a qualified professional.

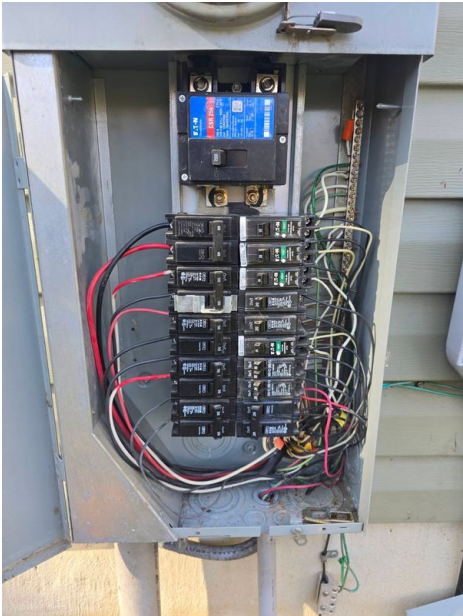


Recommendation



8: ELECTRICAL

Information

Service Entrance Conductors: Electrical Service Conductors Below Ground, Aluminum, 220 Volts	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location Left	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Capacity 200 AMP
		
Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Manufacturer Eaton	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type Circuit Breaker	Branch Wiring Circuits, Breakers & Fuses: Branch Wire 15 and 20 AMP Copper
Branch Wiring Circuits, Breakers & Fuses: Wiring Method Romex	Smoke Detectors: Present	Carbon Monoxide Detectors: Present

Deficiencies

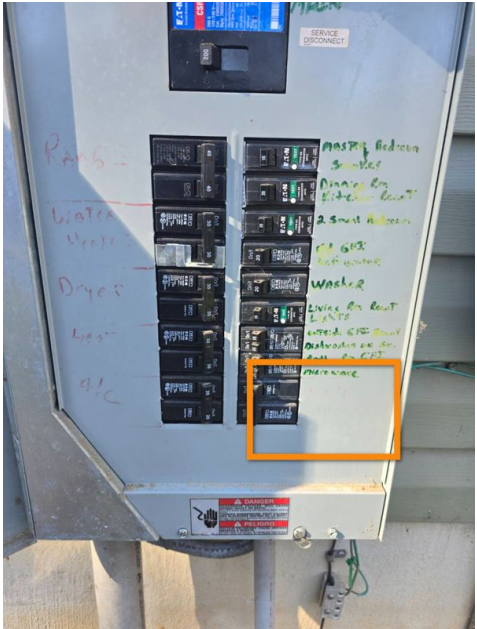
8.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

 Recommendation

BREAKERS NOT CLEARLY LABELED

The service breakers in the panel are not properly identified or labeled. Proper labeling ensures adequate service for appliances and sub-panels and the overall safety of system when emergencies occur or repairs are needed. Without proper labels the inspector's ability to evaluate and inspect system is greatly reduced. A licensed electrical contractor should be consulted to label all electrical panels, subpanels and service breakers and verify the compatibility and configuration.

Recommendation
Contact a qualified professional.



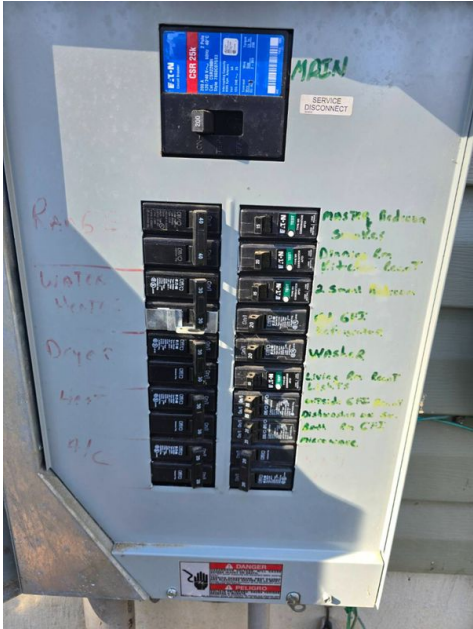
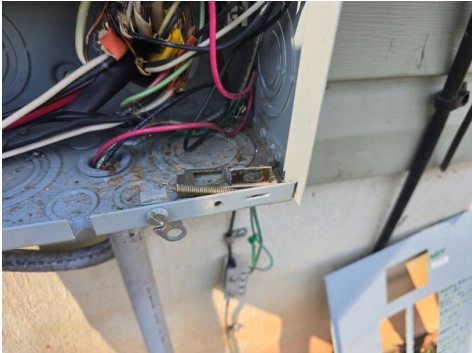
8.3.1 Branch Wiring Circuits, Breakers & Fuses

LOCK OUT MISSING

Breaker safety lock out not installed. A licensed electrician should review and determine breaker in need of shut off.

Recommendation
Contact a qualified professional.

 Recommendation



8.4.1 Lighting Fixtures, Switches & Receptacles

LIGHT INOPERABLE

One or more lights are not operating. New light bulb possibly needed.

 Recommendation



8.4.2 Lighting Fixtures, Switches & Receptacles



Recommendation

EXTERIOR RECEPTACLES NOT COVERED

The exterior receptacles of this home are not covered or protected to prevent electrical shock hazards if used in the rain or in damp conditions. The requirement for receptacles to have a protective cover to keep the receptacle and the cord connection of a device dry and protected was not in place in the era of this home, however, is an important safety feature that should be added if exterior receptacles are to be used regularly. A licensed electrical contractor should be consulted to repair as needed to ensure safe and reliable service.

Recommendation

Contact a qualified professional.



8.4.3 Lighting Fixtures, Switches & Receptacles



Recommendation

LOOSE RECEPTACLES

Receptacles were loose. Loose receptacles could result in electrical shock hazard or property damage. A licensed electrical contractor should be consulted to determine the significance of this concern and make necessary repairs to correct defects and prevent safety hazards.

Recommendation

Contact a qualified electrical contractor.



8.4.4 Lighting Fixtures, Switches & Receptacles



Recommendation

RECEPTACLE BOX: LOOSE

During the home inspection, it was observed that the exterior electrical receptacle box is loose. This condition presents a potential safety hazard, increasing the risk of electrical shock or short circuits. It is recommended to have a qualified electrician assess the receptacle box and secure it properly to ensure safe operation and compliance with electrical codes.

Recommendation

Contact a qualified professional.



9: ATTIC, INSULATION & VENTILATION

Information

Dryer Vent Metal	Insulation Foam	Attic Insulation: Insulation Type Spray Foam
Ventilation: Ventilation Type Conditioned Attic	Exhaust Systems: Exhaust Fans Window Present in Bath, Fan Only	Crawlspace Insulation: Insulation Type Spray Foam

Deficiencies

9.3.1 Ventilation

DISCOLORATION - POSSIBLE MOLD

Attic showed areas of discoloration and possible mold growth. Recommend a mold lab analysis to prevent spread of potential mold and damage to home or health risk. I also recommend finding source of moisture or lack of ventilation in attic space.

 Recommendation



10: DOORS, WINDOWS & INTERIOR

Information

Windows: Window Type Single Pane	Walls: Wall Material Gypsum Board	Ceilings: Ceiling Material Gypsum Board
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Limitations

Floors

LAMINATE FLOORING

Floating laminate flooring greatly reduces the home inspector's ability to evaluate the feel, deflection, or slope of the floor since it is designed to move. In the event of a leak in the kitchen or bathroom area, water that would normally be detected can be hidden under the flooring surface and padded underlayment.

Countertops & Cabinets

STORAGE LIMITATION

The inspection of the cabinets was limited due to storage. The interior sections of the cabinets were not visible.

Deficiencies

10.1.1 Doors

MISSING DOORSTOP

Doors are missing doorstops. Recommend installation to prevent wall damage.

Recommendation

Contact a qualified professional.

 Recommendation



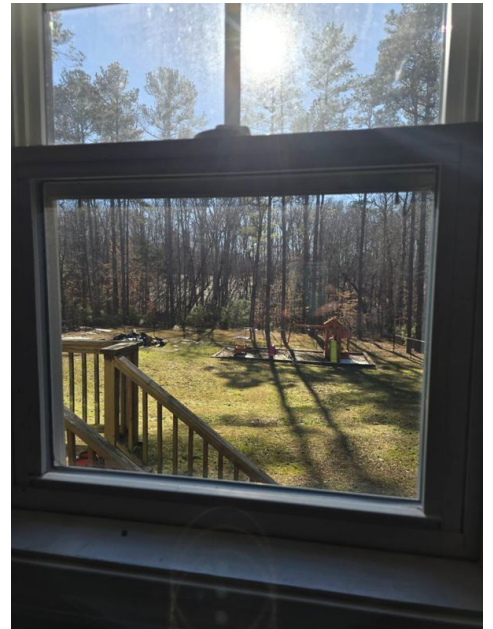
10.2.1 Windows

MISSING SCREEN

Window missing screen. Recommend replacement.



Maintenance Item



10.4.1 Walls

WALL DAMAGE

Drywall had holes/areas of damage

Recommendation

Contact a qualified professional.



Maintenance Item

10.5.1 Ceilings

SPLIT SEAM

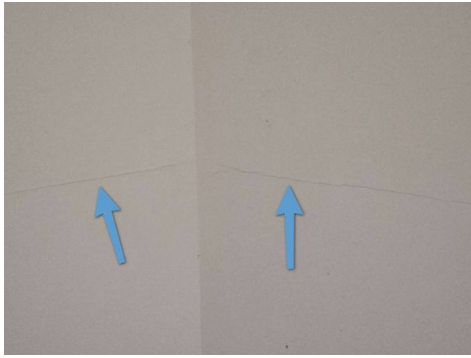
Taping at drywall seam split. Recommend qualified painter patch and paint to match.



Maintenance Item

Recommendation

Contact a qualified painting contractor.



10.6.1 Countertops & Cabinets

CABINET HANDLE MISSING

One or more cabinet handles were missing.



Maintenance Item



11: BUILT-IN APPLIANCES

Information

Operated Operated	Dishwasher: Brand Kitchenaid	Range/Oven/Cooktop: Exhaust Hood Type Vented
Range/Oven/Cooktop: Range/Oven Energy Source Electric	Microwave: Type Over Range	

Deficiencies

11.1.1 Dishwasher

DISHWASHER DOOR HINGES

The dishwasher door does not operate freely. If the door does not operate properly the unit will leak and cause property damage. Recommend an appliance installation specialist determine extent of damage.

Recommendation

Contact a qualified professional.

 Recommendation

STANDARDS OF PRACTICE

Introduction

This report is a written evaluation that represents the results of a home inspection performed according to the home inspector's specific standard of practice as identified in your home inspection contract. The word "inspect" means the act of making a visual examination. Home Inspections are limited to visible and accessible areas and are not invasive. The report outlines inspection findings of any systems or components so inspected that did not function as intended and are in need of repair, require subsequent observation such as monitoring, or warrant further investigation by a specialist such as a contractor or an engineer. When a defect or concern is located, the report statement will describe each system or component, state how the condition is defective, explain the implication of the defective condition, and direct the client to a course of action. It is recommended that all items listed in the body and summary of the report be reviewed, repaired, and or evaluated to determine the extent of the concern before purchasing the home. It is the client's responsibility to read the complete inspection report and follow-up with repairs and or recommended evaluations by listed specialist. THIS REPORT WAS INTENDED TO BE VIEWED IN COLOR AND THE INSPECTOR SHOULD BE NOTIFIED IF THE REPORT RECEIVED IS NOT IN COLOR. THE DIRECTIONAL REFERENCE OF LEFT AND RIGHT IS AS FACING THE FRONT OF THE HOME.

Exterior

All concerns related to exterior items listed below or identified to be deficient are in need of further evaluation and or repair by a Licensed General Contractor. If additional concerns are discovered during the process of evaluation and repair, the General Contractor should consult a specialist in each trade as needed. It is important to correct deficiencies on the exterior of the home to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern. Exterior systems and components should be inspected and maintained annually.

Roof

The roof covering, flashings, and roof drainage items listed or identified below were found to be of concern and in need of further evaluation and repair by a Licensed Roofing or a General Contractor. It is important to correct roofing deficiencies to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. The verification of fastener type and count for the roofing covering system is beyond the scope of the home inspection. The home inspection is limited to visible surfaces and systems only, hidden or underlying system details such as nails, underlayment condition, and flashings are beyond the scope of the home inspection. Determining the age or remaining service life of the roof covering systems is beyond the scope of the home inspection. If the buyer would like to budget for replacement, a roofing contractor should be consulted to answer questions related to the life expectancy. Flashings and roof gutter system inspections are limited to evidence of past problems unless the inspection is performed during a heavy rain. All roof drainage and flashing systems should be monitored over the first year of ownership to identify problem areas or areas that may need adjustment or corrections. Roofing systems and components should be inspected and maintained annually.

Basement, Foundation, Crawlpace & Structure

All concerns related to structural items identified to be deficient in the following section are in need of further evaluation by a Licensed General Contractor or Engineer. Items in need of repair should be referred to a General Contractor. Items in need of design consideration, evaluation of significance/cause, and or determination of adequacy should be referred to an Engineer. All structural concerns should be evaluated and corrected as needed to ensure the durability and stability of the home. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern. Where accessible foundations, piers, columns, roof, and floor framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

Heating

The HVAC system(s) were visually inspected and operated based on the seasonally correct cycle. All heating system concerns listed or identified below were found to be in need of further evaluation and repair by a Licensed HVAC Contractor to ensure safe, proper, and reliable operation of the system(s). The seasonal inspection of the system(s) during a home inspection is a non-invasive visual inspection where covers were not removed to expose internal components. This type of visual inspection will not reveal internal problems for the system(s). If a complete invasive inspection is desired a Licensed HVAC Contractor should be consulted prior to purchase. Winter inspections include the

operation of the heating components only. Summer inspections include the operation of the air conditioning components only. Please refer to the temperature identification in the first section of the report to determine if temperatures during the inspection were over 65 degrees Fahrenheit (F) resulting in a summer inspection or under 65 degrees Fahrenheit (F) resulting in a winter inspection. All HVAC systems and components should be serviced and evaluated seasonally. All concerns are in need of further evaluation and repair by a Licensed HVAC Contractor. The homeowner should be asked for disclosure related to the performance, service, and maintenance history of the HVAC system(s).

Cooling

The HVAC system(s) were visually inspected and operated based on the seasonally correct cycle. All heating system concerns listed or identified below were found to be in need of further evaluation and repair by a Licensed HVAC Contractor to ensure safe, proper, and reliable operation of the system(s). The seasonal inspection of the system(s) during a home inspection is a non-invasive visual inspection where covers were not removed to expose internal components. This type of visual inspection will not reveal internal problems for the system(s). If a complete invasive inspection is desired a Licensed HVAC Contractor should be consulted prior to purchase. Winter inspections include the operation of the heating components only. Summer inspections include the operation of the air conditioning components only. Please refer to the temperature identification in the first section of the report to determine if temperatures during the inspection were over 65 degrees Fahrenheit (F) resulting in a summer inspection or under 65 degrees Fahrenheit (F) resulting in a winter inspection. All HVAC systems and components should be serviced and evaluated seasonally. All concerns are in need of further evaluation and repair by a Licensed HVAC Contractor. The homeowner should be asked for disclosure related to the performance, service, and maintenance history of the HVAC system(s).

Plumbing

All plumbing and water heating items listed or identified below were found to be in need of further evaluation and repair by a Licensed Plumbing Contractor. If additional concerns are discovered during the process of evaluation and repair, a General Contractor should be consulted to contact a specialist in each trade as needed. The majority of the plumbing components are concealed from inspection and the overall general condition cannot be fully determined. The plumbing was inspected for functional flow and drainage; however, it is not possible to fully evaluate the plumbing system to determine proper venting, sizing, or functional design as the system cannot be put under full load. The inspection does not guarantee that the plumbing systems and components will meet the demands of your family. The functional flow of the water supply at each accessible fixture was tested. Functional flow is not reported as defective unless water flow drops below 50% when two fixtures are operated simultaneously. Functional drainage is not reported as defective unless drainage flow is less than the supply water flow. The inspection of the water heater does not include evaluating the unit capacity for functional use. The hot water requirement for daily use varies for each family and the home inspector does not determine if the hot water supply is adequate. The inspection does not include verification of anti-scald fixtures and the client should verify water temperature settings prior to use. The plumbing inspection does not include determining the quantity/quality of the water supply, including potability, purity, clarity, hardness, or pH level. The plumbing inspection does not include; operation of the main or fixture turn-off valves, reporting fixture surface defects (including mineral deposits, cracks, chips and discolorations), condition of pipe interiors, determining the absence or presence of thermal expansion or backflow protection devices, verification of the washing machine drains, and or effectiveness of the toilet flush. The plumbing inspection is a limited functional evaluation made without full system load. Annual service and inspection of the main waste line will prevent system clogging and backup. If the buyer would like a complete invasive inspection of the plumbing system, the buyer should consult a Licensed Plumbing Contractor prior to purchase.

Electrical

All Electrical items listed below were found to be of concern and are in need of further evaluation and repair by a Licensed Electrical Contractor. When repairs are made, the complete electrical system should be evaluated. Electrical issues are safety concerns and should be repaired immediately. During a home inspection, it is not possible to place a home under a full loading condition that would evaluate the capacity of the electrical system. The electrical system was evaluated based on current systems and components and no consideration was made to future expansion or modernizations. As with any system, the addition of new systems and appliances may require electrical system replacement, modifications, and or upgrades.

Attic, Insulation & Ventilation

All Insulation and Ventilation items listed or identified below were found to be of concern and in need of a full evaluation and repair by a Licensed General Contractor. If additional concerns are discovered during the process of evaluation and repair, the general contractor should consult a specialist in each trade as needed. Missing, poor, or inadequate insulation can lead to air infiltration and higher heating and cooling system operational costs. Air infiltration in humid climates can lead to undesirable environmental conditions. Insulation concerns should be evaluated and corrected as needed to ensure the integrity of the thermal envelope of the home. The insulation in accessible areas was inspected for indications of defects/damage only and not insulation effectiveness or R value. Determining the energy efficiency of the home is beyond the scope of the home inspection. The inspection or determination of the absence or presence of insulation in concealed areas such as wall cavities is not possible. Insulation is not moved in the attic areas. Insulation is moved in the crawl space or foundation areas where plumbing drain/waste pipes penetrate floors, adjacent to earth-filled stoops or porches and at exterior doors when conditions are not hazardous. The presence of insulation prevents the inspection of the ceiling, roofing, and floor components that are concealed or covered. Defects in the insulation system can lead to air infiltration, condensation, and elevated operational costs. The adequacy and proper function of ventilation systems depend on design specifications that cannot be verified during a home inspection. Inspection procedures related to

ventilation involve identifying defects present on systems and components located in the ventilated areas. Active defects such as winter attic condensation will not be visible during the summer inspection unless the condensation has stained or corroded adjacent materials. Therefore, the inspection of ventilated areas should be considered seasonally dependent, and the buyer should request a second inspection when the seasons change.

Doors, Windows & Interior

The interior rooms of the home were visually inspected. The inspection was not invasive and therefore was limited. One window and one receptacle were tested in each room unless furniture or storage prevented access. Identifying hazed or cloudy windows is beyond the scope of the home inspection. The severity of the hazing varies with season and time of the day; therefore, damaged windows may not be visible at the time of the inspection. Light fixtures were operated from at least one switch. Unless labeled, multiple switch locations may not be identified. Confirmation of multiple position switches is only possible when all switches can be identified, and this is not possible if switches are improperly installed. Every light fixture has specific bulb wattage limitations. During the home inspection it is not possible to verify bulb type and size. Clients should verify bulb type and wattage for each fixture to prevent fixture damage and ensure proper operation. Cosmetic concerns for example worn carpets, poor floor finish, open seams in hardwoods, torn wallpaper, poor/damaged paint finish, floor slopes, countertop slopes, ceiling stains that were dry at the time of the inspection, worn cabinets, worn hinges, damaged window blinds/shades, screens, evidence of pets, and evidence of smoking are beyond the scope of the home inspection. Personal property such as storage, refrigerators, washers, dryers, rugs, furniture, clothes, and wall hangings are not moved and therefore limit the inspection. The overall floor areas in most furnished rooms are not visible and therefore identifying slopes may not be possible. Furniture and personal items can conceal defects and change the overall feel of a home. The buyer should view the home when furnishing and personal items have been removed prior to the purchase. It is especially important to view the areas behind the refrigerator and the washer/dryer. The washing machine and the dryer are considered personal property and the inspection of these appliances are beyond the scope of the home inspection. Washing machines often leak resulting in hidden damage to areas that are not visible to the home inspector. The home inspector does not identify if the dryer power service is gas or electric or if the dryer exhaust duct is metal or plastic. The presence of the washer and dryer greatly limit the inspection of the laundry area. After the washer and the dryer have been removed and prior to the purchase of the home, the buyer should view the laundry room for damage or concerns. The washing machine drain, electrical power, or gas service were not verified, before the installation of your washer and dryer, the installer should inspect and verify the washer drain, the dryer exhaust duct, gas connection and/or the electrical service receptacles.

Built-in Appliances

The installed appliances were visually inspected and operated per the home inspector's standard of practice and or contract, unless otherwise noted as a limitation. Built in appliances are operated to determine if the units respond to and operate using normal operating controls. The determination of the effectiveness of the appliance settings or cycles, such as the cleaning ability of the dishwasher, the grinding efficiency of the disposal, or the calibration of the oven is beyond the scope of the home inspection. Refrigeration units, ice makers, wine coolers, countertop appliances, washing machines, and dryers are beyond the scope of the home inspection. All appliances listed as not operational, identified to be of concern are in need of a full evaluation and or repair by a certified appliance repair technician prior to purchase. If additional concerns are discovered during the process of evaluation and repair, a Licensed General Contractor should be consulted to contact a specialist in each trade as needed.