

General Summary



Stephen and Son Home Inspection Services, LLC

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Durham, NC 27712
Cell: (919) 219-4178**

Customer
Brian Paulhus

Address
3692 Summer Springs Drive
Franklinton NC 27525

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

This summary page is not the entire report. The complete report may include additional information of interest to you. It is strongly recommended that you read the complete report. For further information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney.

1. Roofing

1.0 Roof Coverings

Repair Replace

1,2,3,4,5,6,7,8,9. I found the following concerns with the roof shingles; granular loss on shingles(the granules protect the asphalt base), damaged roof shingles at back left roof, damaged roof shingle at left front over garage and uplifted roof shingle at left front. This can lead to water penetration and damage. The damaged shingles should be repaired. I recommend having a roofing contractor evaluate and repair as necessary. As roof shingles age, they lose their granules/ballast. The roof shingles appear to be original to the home. 3 tab asphalt/fiberglass shingles have a life expectancy of between 15 and 18 years. At the time of the repair, the roofer may be able to answer questions related to the life expectancy of the roof covering system.



Granular loss at roof over front porch

1.0 Item 1(Picture)



Close up of granular loss over front porch roof

1.0 Item 2(Picture)



Damaged roof shingles at back left roof

1.0 Item 3(Picture)



Close-up of damaged roof shingles at back left roof

1.0 Item 4(Picture)



Granular loss at front roof near ridge

1.0 Item 5(Picture)



Damaged shingle at left front roof over garage

1.0 Item 6(Picture)



1.0 Item 7(Picture)



1.0 Item 8(Picture)



1.0 Item 9(Picture)

1.3 Roof Drainage Systems

Repair Replace

(1) 1,2,3. Many of the gutters are full of debris. This can lead to water overflowing the gutters, dumping at the foundation. This can lead to foundation deterioration. I recommend cleaning the gutters.



1.3 Item 1(Picture)



1.3 Item 2(Picture)

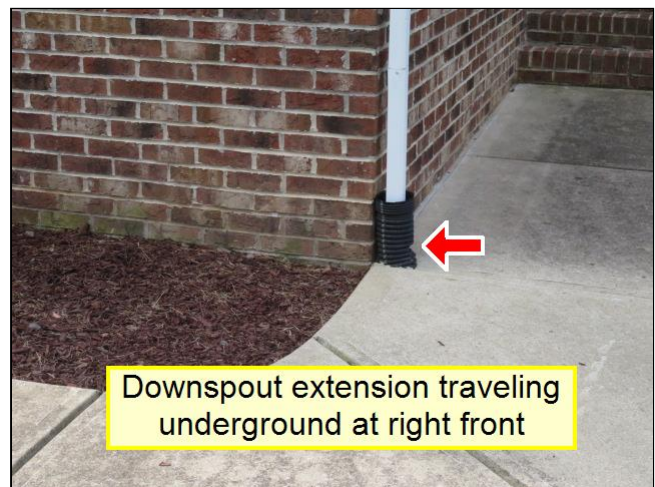


1.3 Item 3(Picture)

(2) 4,5. The downspout extensions on the front left and right travel underground and I was unable to locate an exit. Its important for the water to exit freely and not back up near the foundation. I recommend observing them during rainstorms, and if back ups occur, either clear the blockage or install new extensions above ground.

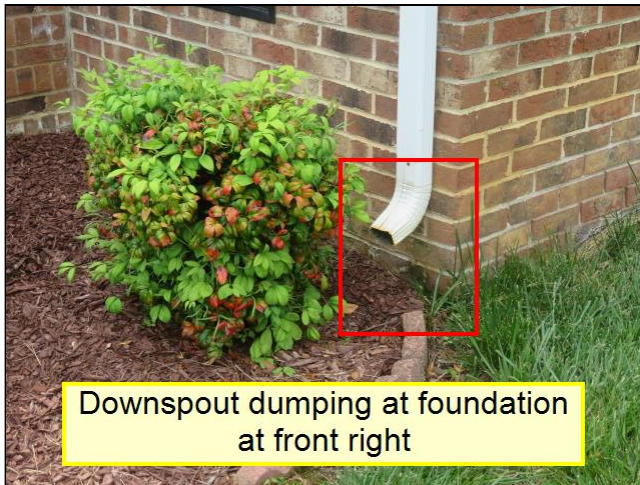


1.3 Item 4(Picture)



1.3 Item 5(Picture)

(3) 6. The downspout at the front right corner is terminating at the foundation or close to it. This can allow water to enter the crawl space and damage the foundation. Direct drainage from the gutter system can result in water penetration into the foundation area and foundation deterioration. I recommend adding a downspout extension to move water away from the home and foundation.



1.3 Item 6(Picture)

2. Exterior

2.0 Wall Cladding Flashing and Trim

Repair Replace

(1) 1,2,3. I found the vinyl siding J channels on the home where they intersect with the roof lines not installed according to manufactures recommendations. The J channels are installed touching the asphalt roof shingles which can lead to them warping. Vinyl siding manufacturers recommend that they be installed with at least a 1/2 inch gap between the roof shingles and vinyl to prevent damage. See page 23 and 26 of the attached vinyl siding installation instruction manual. I recommend having a qualified contractor evaluate and repair as necessary.



2.0 Item 1(Picture)

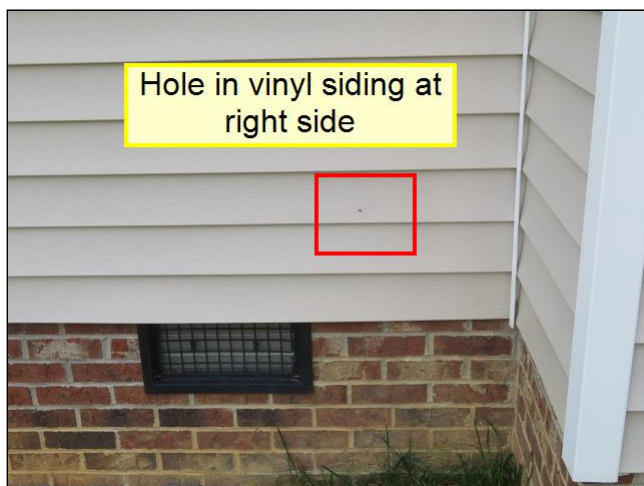


2.0 Item 2(Picture)

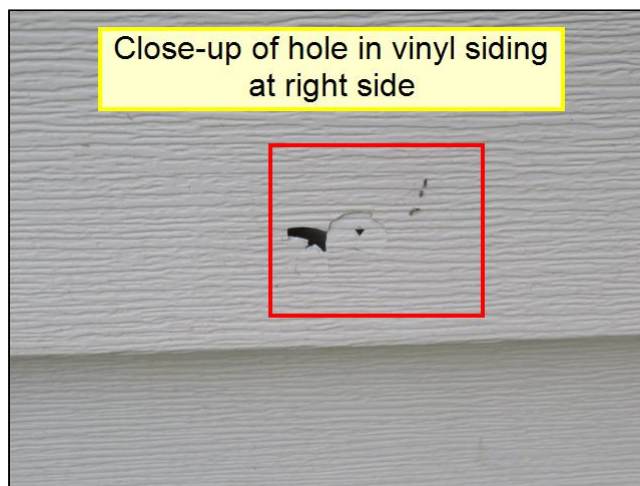


2.0 Item 3(Picture)

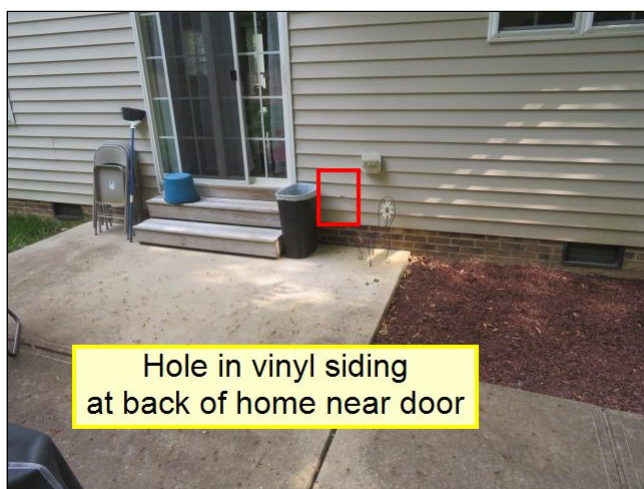
(2) 4,5,6,7.I found holes in the vinyl siding at the right side and also back near the door. This can lead to water penetration and damage. The holes should be sealed. I recommend that a qualified contractor evaluate and repair as necessary.



2.0 Item 4(Picture)



2.0 Item 5(Picture)



2.0 Item 6(Picture)

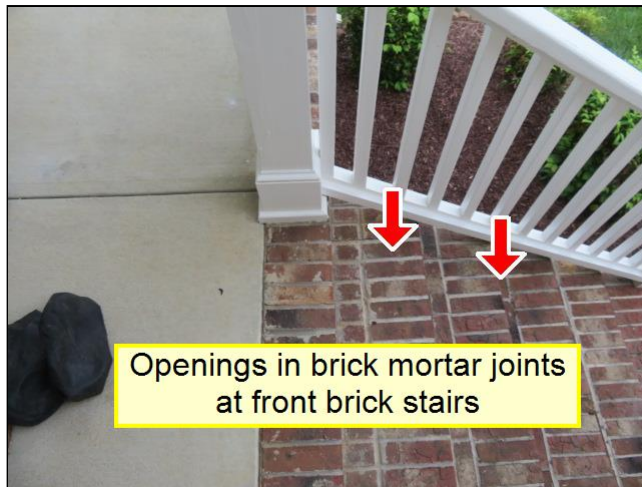


2.0 Item 7(Picture)

2.3 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings Repair Replace

1,2,3. I found openings in the brick mortar joints at the front stairs. This can lead to water penetration and frost heave in the winter. The joints should be sealed. I recommend having a qualified contractor

evaluate and repair as necessary.



2.3 Item 1(Picture)



2.3 Item 2(Picture)

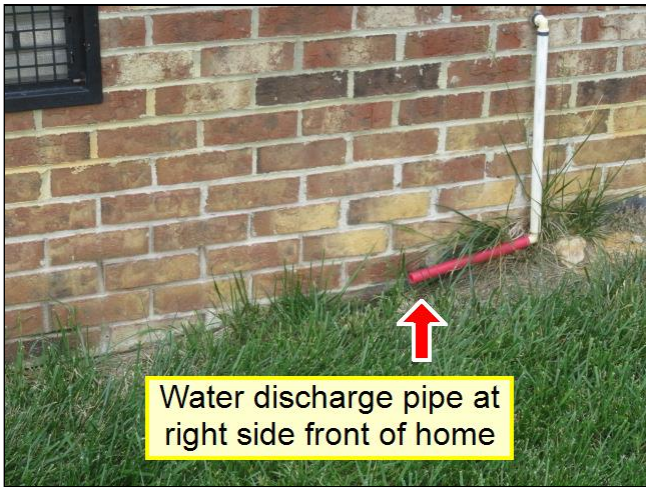


2.3 Item 3(Picture)

2.4 Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

Repair Replace

1,2. On the right side front of the house I found PEX plumbing pipes exiting the foundation and dumping water at the foundation. This may be from the water filter/softener system. In the crawl space at the right front I also found water pooling which may be from the discharge pipe dumping water near the foundation. This can lead to foundation deterioration and unhealthy conditions in the home. I recommend extending the pipe and our attaching a downspout extension to move water away from the home.



2.4 Item 1(Picture)

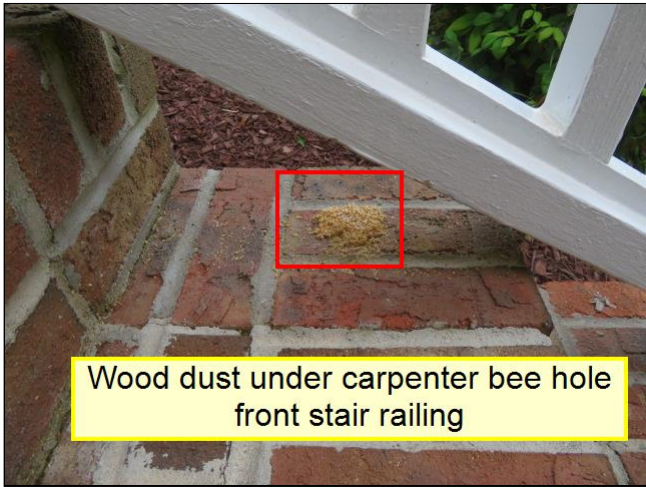


2.4 Item 2(Picture)

2.7 Pests and insects

Repair Replace

1,2,3,4. I found what appears to be evidence of active carpenter bees at the front stair railing and deck railing . Wood destroying insects can damage the home. I recommend that a pest control contractor evaluate and treat as necessary.



2.7 Item 1(Picture)



2.7 Item 2(Picture)



2.7 Item 3(Picture)



2.7 Item 4(Picture)

4. Interiors

4.3 Steps, Stairways, Balconies and Railings

Repair Replace

1,2. I found the frame for the attic pull down stairs attached with nails that appear smaller than 16 D. Most attic stair manufactures recommend 16 penny common nails or structural screws for installation of the stair frame. The improper installation of an attic stair way can lead to catastrophic failure and injury. I recommend having a qualified contractor evaluate and repair as necessary.



4.3 Item 1(Picture)



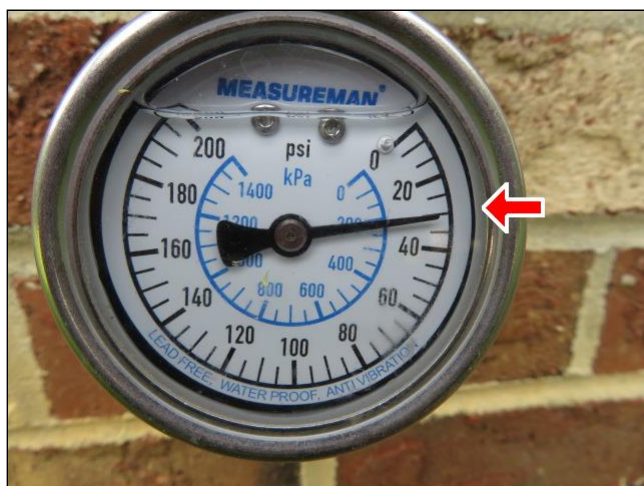
4.3 Item 2(Picture)

6. Plumbing System

6.1 Plumbing Water Supply, Distribution System and Fixtures

Repair Replace

(1) 1. The water pressure measured 30 PSI. Typical water pressure measures between 40 and 80 PSI. I recommend consulting with a well contractor to confirm that the pressure is within acceptable limits.



6.1 Item 1(Picture)

(2) 2,3,4,5. The home has a water filtration and softener system in the garage and also crawl space. Inspection of these systems is beyond the scope of a home inspection and therefore was not inspected. I recommend asking the homeowner for disclosure and or having a qualified contractor evaluate the system for proper operation.



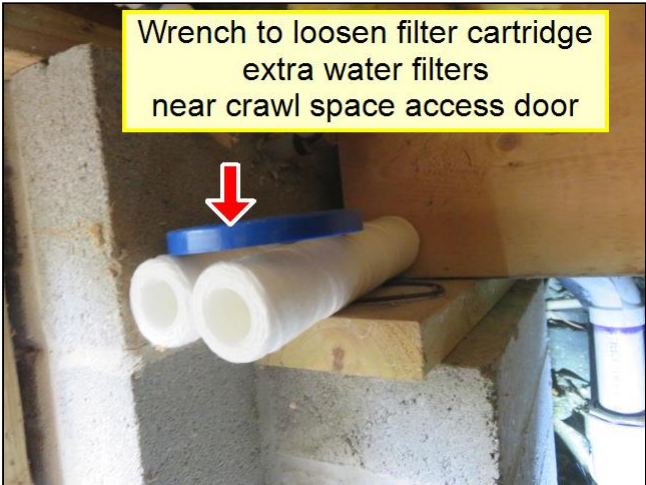
6.1 Item 2(Picture)



6.1 Item 3(Picture)

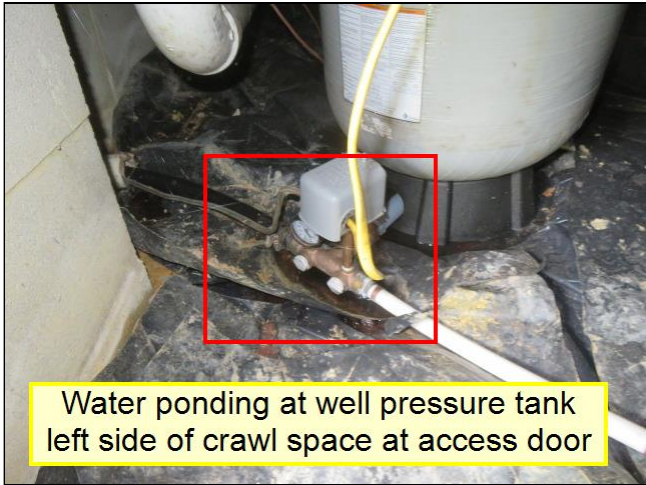


6.1 Item 4(Picture)



6.1 Item 5(Picture)

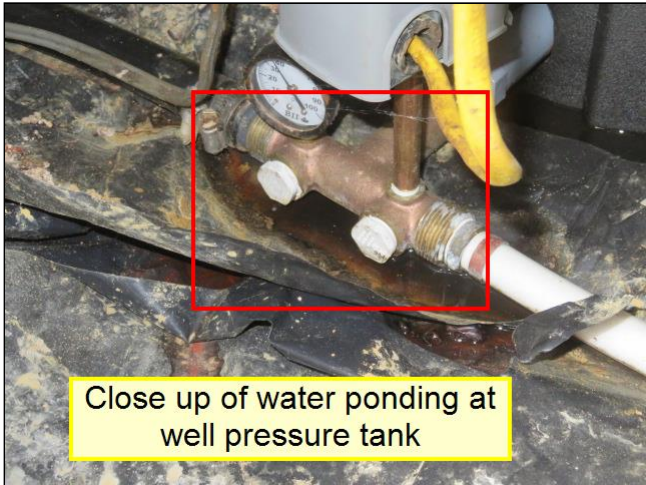
(3) 6,7,8. I found water pooling under the well pressure tank and plumbing pipes at the left side of the crawl space near the access door. It appears that there is a water leak which can lead to unhealthy conditions and property damage. I recommend having a plumber evaluate and repair as necessary.



6.1 Item 6(Picture)

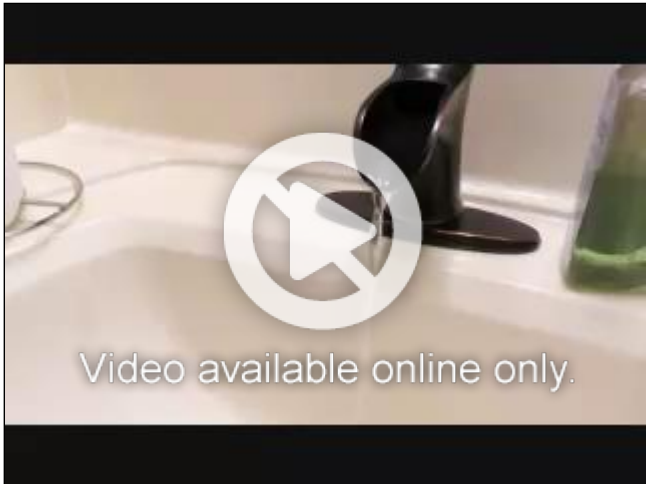


6.1 Item 7(Picture)



6.1 Item 8(Picture)

(4) 9,10.The first floor bathroom sink appears to have low water pressure. It may be a dirty aerator. I recommend having a plumber evaluate and repair as necessary.



6.1 Item 9(Video)



6.1 Item 10(Picture)

6.2 Hot Water Systems, Controls, Chimneys, Flues and Vents

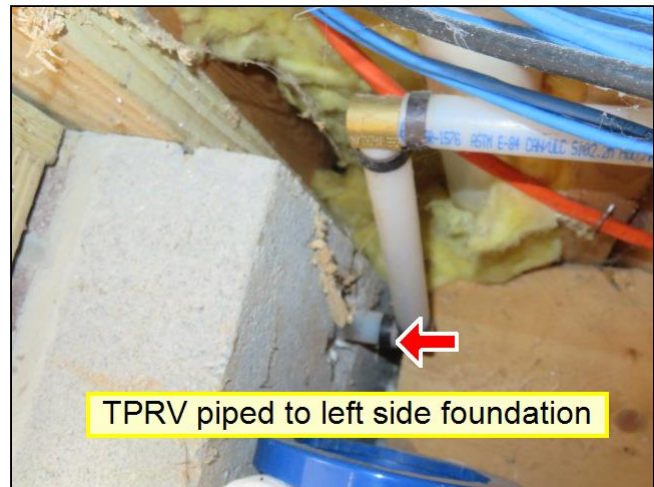
Repair Replace

(2) 4,5,6,7. The Temperature Pressure Relief Valve (TPRV) for the water heater is a safety device to prevent the unit from exploding in case of a malfunction. The TPRV is located at the top of the hot water unit and is designed to prevent burn injury in the event of a discharge. The TPRV requires a piped

extension down to the floor area. The TPRV for this unit is piped to the left side foundation and is not directed toward and 6 inches above the ground. This is a safety issue that needs to be repaired to prevent personal injury or property damage. I recommend that a plumber evaluate and repair as necessary.



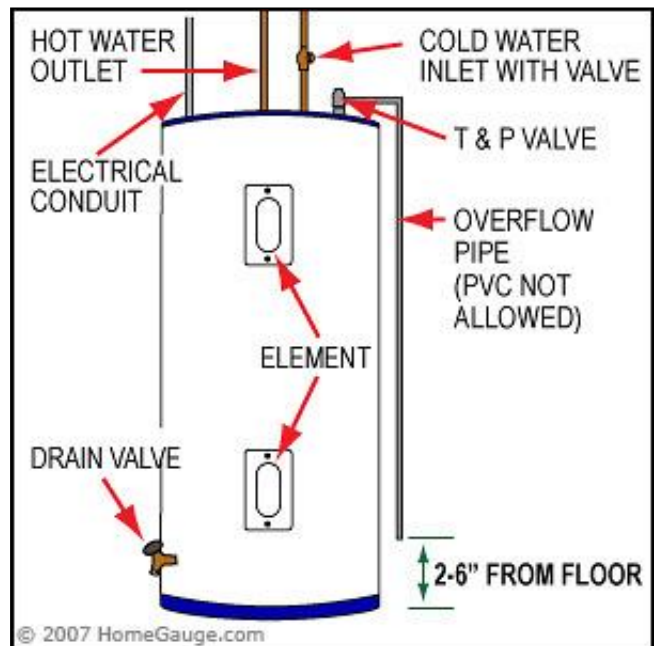
6.2 Item 4(Picture)



6.2 Item 5(Picture)



6.2 Item 6(Picture)



6.2 Item 7(Picture)

6.4 Fuel Storage and Distribution Systems (Interior fuel storage, piping, venting, supports, leaks)

Repair Replace

1,2. I found CSST gas line entering the manufactured fireplace that is either masonry/metal combination without conduit. CSST gas lines have specific requirements for safe use. Typically, when passing through masonry and or metal, conduit 1.5 times larger than the CSST pipe is installed to protect the CSST from damage. Improper installation can lead to gas leaks and injury. I recommend having an HVAC contractor evaluate and repair as necessary. See page 55 of attached installation manual in the attachment section of this report.



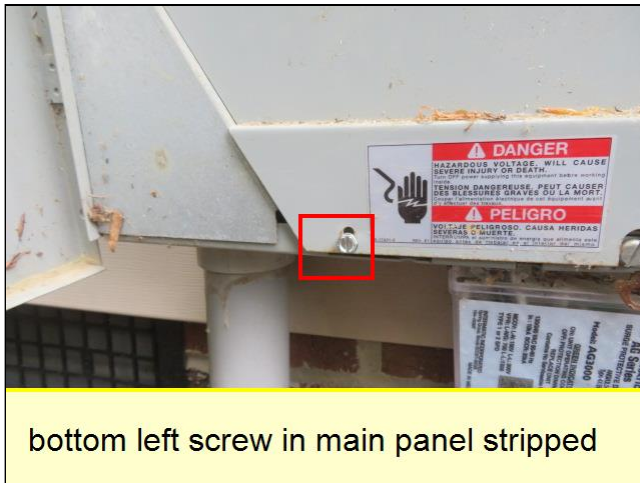
6.4 Item 1(Picture)

4.3.8 ROUTING THROUGH MASONRY MATERIAL "Masonry material" includes but is not limited to brick, concrete, mortar, and stucco. The term "through masonry construction" refers to any enclosed/concealed construction spaces where CSST is routed in close proximity to masonry but does not apply to exposed CSST mounted to a set masonry surface. When it is necessary to install Gastite/FlashShield+ through masonry materials the tubing shall be routed through a conduit that is 1/2" larger in diameter (to ease routing) than the OD of the CSST and appropriate for the application. The sleeve must maintain a continuous watertight barrier between the masonry material and the CSST, up to or past the edge of the masonry hole. Masonry encasement refers to any enclosed/concealed construction within "masonry material" that produces distributed loads. For masonry encasement see Underground Installations (Section 4.9).

6.4 Item 2(Picture)

7. Electrical System

- 7.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels
 - Repair Replace
 - (1) 1,2. The bottom left screw securing the dead front cover on the main electrical panel on the left side of the home is stripped.I recommend having an electrician install the correct size screw.

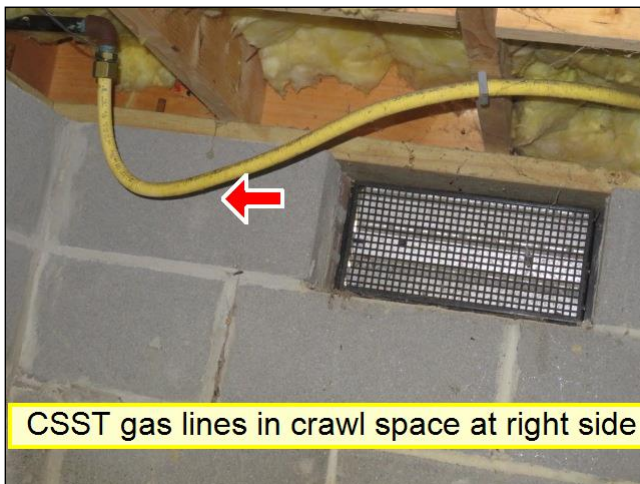


7.1 Item 1(Picture)



7.1 Item 2(Picture)

(2) 3. This home has corrugated stainless steel gas lines. This gas line has specific installation requirements related to required bending allowances, support, protection, and electrical bonding to ensure safe conditions. The electrical bonding is typically required to prevent damage from electrical storms in the event of a lightning strike. During the home inspection the bonding attachment could not be located. I recommend that an electrician evaluate and repair as necessary.



7.1 Item 3(Picture)

7.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Repair Replace

1. My tester would not push into the left side receptacle in the front porch exterior outlet due to dirt blocking access. I recommend having a qualified contractor evaluate and repair as necessary.



7.3 Item 1(Picture)

7.4 Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, all receptacles in garage, carport and exterior walls of inspected structure

Repair Replace

1,2. No ground fault circuit interrupter (GFCI) protection was provided at the time of inspection at the outlet in the laundry room. Although GFCI protection may not have been required at the time the home was built, for safety reasons, I recommend that electrical outlets located within 6 feet of a plumbing fixture and outdoors be provided with ground fault circuit interrupter (GFCI) protection in good working order to avoid potential electric shock or electrocution hazards. I recommend that a licensed electrician evaluate the outlets(s) and make any necessary repairs.



7.4 Item 1(Picture)

Safety of GFCI vs. Breaker

20-amp GFCI outlet

Radio shorts to man. GFCI trips power off at .005 amps within 1/40 of a second. NO SHOCK.

20-amp outlet

Radio shorts to man. 20-amp breaker turns power off at 20 amps. SHOCK!

OUCH! Always use GFCI-protected circuits near water. A .005 amp shock should not hurt you. A 20-amp shock will hurt you – it could light you up like 24 100-watt bulbs before the 20-amp breaker trips.

© Tom Feiza Mr. Fix-It Inc.

E125C

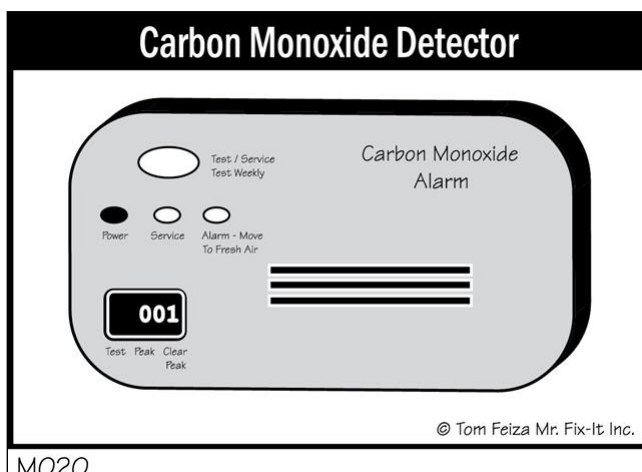
7.4 Item 2(Picture)

7.8 Carbon Monoxide Detectors

Repair Replace

Note: I did not locate a carbon monoxide detector in the home. Since the home has an attached garage and gas logs, a carbon monoxide detector should be installed on each level of the home according to

manufactures instructions. I recommend installing CO detectors in the home. See attached document from the NFPA, National Fire Protection Association.



MQ20

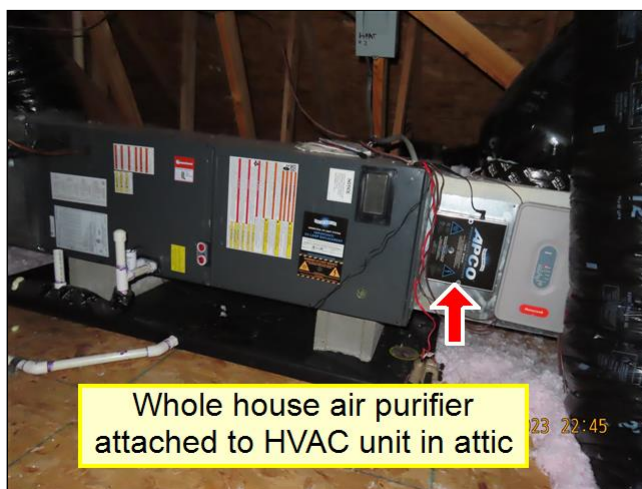
7.8 Item 1(Picture)

8. Heating / Central Air Conditioning

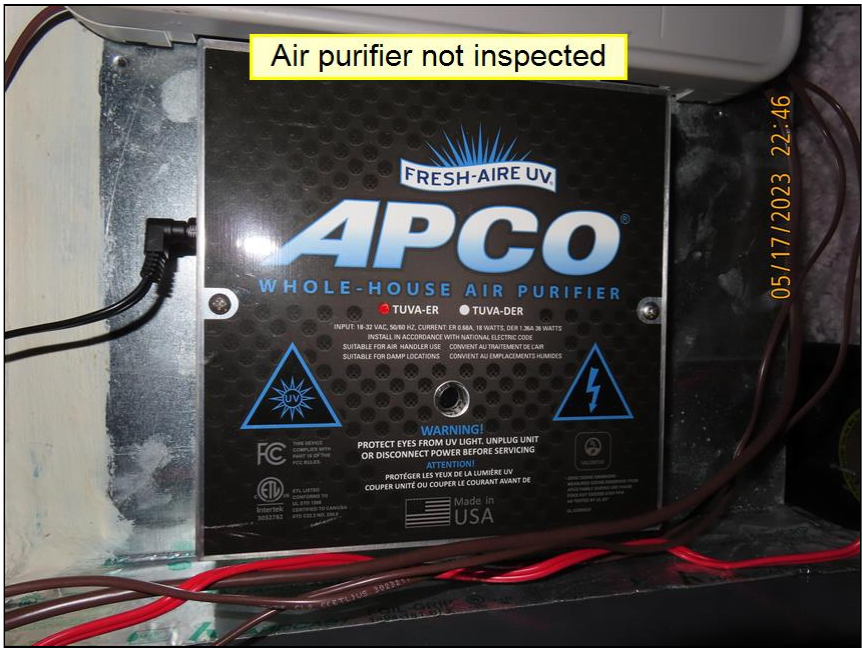
8.3 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected

1,2. The attic HVAC unit appears to have a UV light air purifier attached. Inspection of these systems is beyond the scope of a home inspection and therefore not inspected. I recommend having an HVAC contractor inspect it for proper function.



8.3 Item 1(Picture)



8.3 Item 2(Picture)

8.7 Gas/LP Firelogs and Fireplaces

Repair Replace

1,2,3. The gas log unit located in the livingroom fireplace was visually inspected but not operated because the gas was shut off to the appliance. Once the gas is turned on to the unit, I recommend that it be serviced and operated by a qualified contractor to ensure safe and reliable service.



8.7 Item 1(Picture)



8.7 Item 2(Picture)



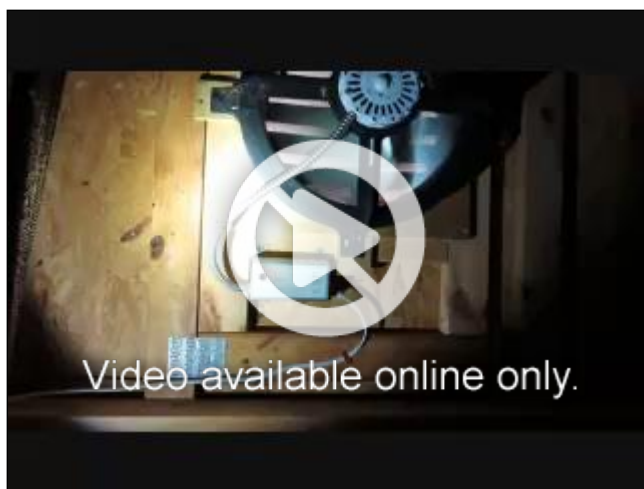
8.7 Item 3(Picture)

9. Insulation and Ventilation

9.5 Ventilation Fans and Thermostatic Controls in Attic

Repair Replace

1,2,3,4,5. The home has ridge, soffit and gable vents along with a thermostatically controlled exhaust fan in the gable vent of the main attic. Typically with a ridge, soffit and gable vents, a fan is not installed because it can lead to improper ventilation. Hot air moves up through the ridge vent, but with the exhaust fan, air can be drawn in from the ridge leading to improper ventilation. I recommend turning the fan off.



9.5 Item 1(Video)



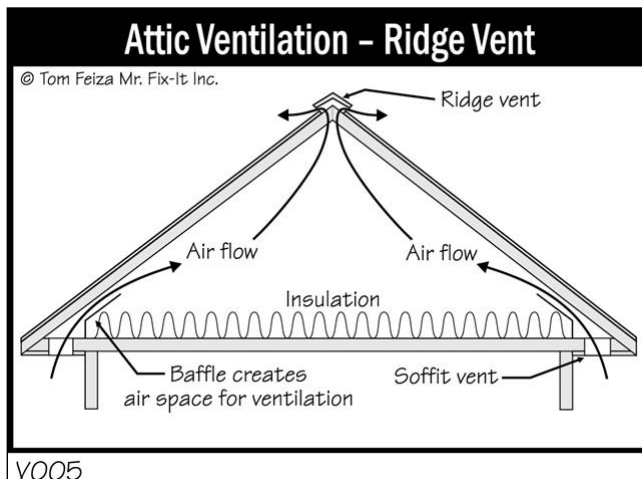
9.5 Item 2(Picture)



9.5 Item 3(Picture)



9.5 Item 4(Picture)



9.5 Item 5(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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