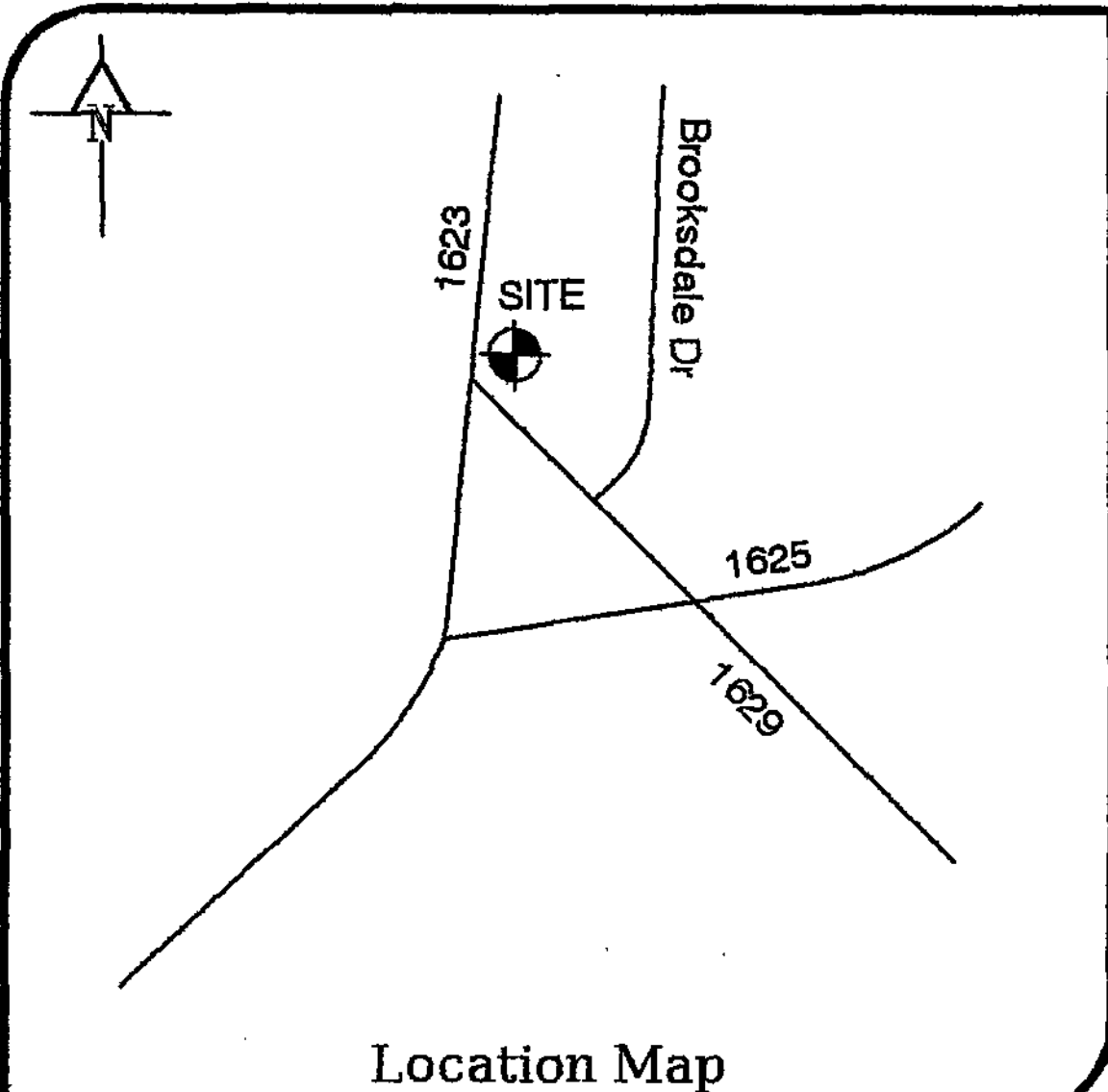




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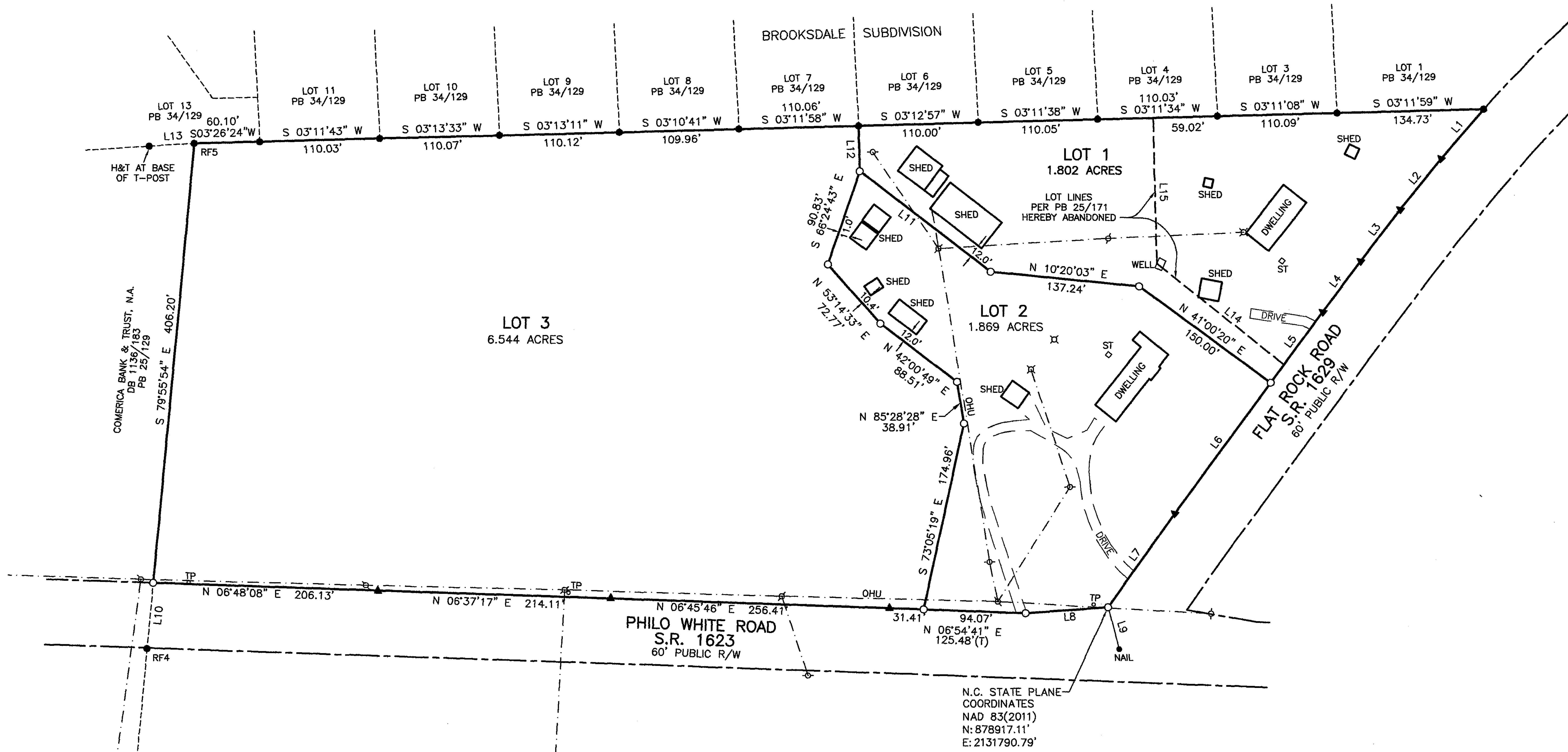
General Notes

- 1) Area by Coordinate Method.
- 2) All buildings, surface, subsurface improvements and utilities are not necessarily depicted hereon.
- 3) All distances are horizontal ground distances in U.S. survey feet.
- 4) This survey performed without benefit of title examination and is made subject to any document which may affect subject property.
- 5) Surface and subsurface utilities depicted hereon are based on visible evidence only. Utility companies should be contacted for information regarding any utilities.
- 6) Septic tank location based on information provided by the property owner.

Doc ID: 003210110001 Type: GRP
Recorded: 01/29/2018 at 11:50:30 AM
Fee Amt: \$21.00 Page 1 of 1
Granville County, NC
Kathy M. Taylor Reg of Deeds
BK 46 PG 163

N.C. State Plane
Coordinate System
NAD 83(2011)

LINE	BEARING	DISTANCE
L1	N 44°48'01" W	60.00'
L2	N 46°30'51" W	60.00'
L3	N 47°53'13" W	60.00'
L4	N 48°28'54" W	58.37'
L5	N 48°59'40" W	80.83'
L6	N 48°59'40" W	149.53'
L7	N 49°56'28" W	105.60'
L8	N 00°34'51" E	75.93'
L9	S 79°33'37" W	39.91'
L10	N 79°55'54" W	60.76'
L11	N 42°20'30" E	151.95'
L12	S 86°47'03" E	41.77'
L13	N 01°08'48" E	41.36'
L14	N 43°12'48" E	149.31'
L15	S 86°41'19" E	134.39'



Legend
(unless otherwise noted)

- 1/2" Pipe w/ cap Found
- #5 Rebar Set
- Nail Found
- Nail Set
- Calculated Point
- Concrete Monument
- Control Monument
- Right of Way
- Centerline
- Property Line
- Overhead Utilities
- Total Distance
- Property Line Surveyed
- Property Line Tie
- Deed Line
- Right of Way Line
- Aerial Utility Line
- Utility Pole
- Pole mounted area light
- Wooden Hub & Tack
- Rebar Found (Size)
- Septic Tank

RF5
RF4
RF#
ST



Puckett Surveyors, PLLC
Professional Land Surveyors
FIRM LICENSE NO. (P-1168)

1555 N.C. 56 Suite 2
Credmoor, N.C. 27522
P. 919.528.8900

File:17181

Surveyor's Certificate

I, Stephen M. Puckett, hereby certify that this survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.

I, Stephen M. Puckett, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in (see deed reference)); that the boundaries not surveyed are clearly indicated as drawn from information found in _____; that the ratio of precision is 1:10,000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, license number and seal this 5th day of January, A.D., 2017.

Professional Land Surveyor, License Number L-3991

I, Stephen M. Puckett, certify that the State Plane Coordinates and bearing basis was determined from an actual GNSS survey made under my supervision and the following information was used to perform the survey.

Class of Survey: A
Positional accuracy: 0.10'
Type of GNSS field procedure: RTK
Date of survey: December 4, 2017
Datum/Epoch: NAD 83(2011)
Published/fixed control: CORS (NC RTN)
Geoid Model: GEOID12B
Units: U.S. Survey Feet

I hereby certify that I am the owner of the property shown and described hereon which was conveyed to me by deed recorded in the Granville County Register of Deeds office in Book (see ref.), and that we hereby adopt this plan of subdivision with my free consent. Further, we hereby certify that the land as shown hereon is within the subdivision regulation jurisdiction of Granville County, North Carolina.

Sherry B. Strickland 1-25-18
Owner Date

I, hereby certify that the subdivision plat as depicted hereon has been granted final approval pursuant to the Granville County Subdivision Regulations.

Barry Bah 1-29-18
Land Development Administrator Date

State of North Carolina, County of Granville

LESLIE A. SMITH
Review Officer of Granville County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

[Signature] 1-29-18
Review Officer Date

Site Data

A) PIN 183700290333
Record No. 2903
B) Zone: AR-40
C) Setbacks: Street 50', Side 15', Rear 25'

References

1) DB 758/630: S.R. 1623 right of way
2) DB 797/132: S.R. 1629 right of way
3) DB 878/920: Boundary Line Agreement
4) PB 25/171
5) PB 16/113

Deed Reference
DB 660/312

Owner
Alma C. Blackley Heirs
2910 Flat Rock Rd
Franklinton, NC 27525

Recombination and
Minor Subdivision Plat for:

Alma C. Blackley Heirs

December 4, 2017

Township of Brassfield, County of Granville, State of N.C.

