

991 BROWNING PLACE

THE DUPLICATION, REPRODUCTION, COPYING, SALE, RENTAL, LICENSING, OR ANY OTHER DISTRIBUTION OR USE OF THESE DRAWINGS, OR PORTION THEREOF, OR THE PLANS DEPICTED HEREON, IS STRICTLY PROHIBITED UNLESS EXPRESSLY AUTHORIZED IN WRITING BY LIFESTAGE HOME DESIGNS, INC.



Lifestage Home Designs
108 Wind Chime Court
Raleigh, NC 27615
919-630-1224
www.LifeStageHomeDesigns.com



PROJECT PLAN:
991 BROWNING PLACE
YOUNGSVILLE, NC 27596

DRAWING:
COVER SHEET

SCALE:
AS NOTED
DRAWN BY:
MB
DATE:
8/7/2023

C



YOUNGSVILLE, NC 27596

IF THIS SEAL IS NOT RED YOU
ARE USING AN ILLEGAL COPY
OF THESE PLANS AND MAY
BE IN VIOLATION OF THE
FEDERAL COPYRIGHT ACT.
COPYRIGHT NOTICE
NO USE OR REPRODUCTION
SHOULD OCCUR WITHOUT
WRITTEN PERMISSION FROM
LIFESTAGE HOME DESIGNS, INC.

THE DUPLICATION, REPRODUCTION, COPYING, SALE, RENTAL, LICENSING, OR ANY OTHER DISTRIBUTION OR USE OF THESE DRAWINGS, OR PORTION THEREOF, OR THE PLANS DEPICTED HEREON, IS STRICTLY PROHIBITED UNLESS EXPRESSLY AUTHORIZED IN WRITING BY LIFESTAGE HOME DESIGNS, INC.

ABBREVIATIONS

ABV	ABOVE
AFB	ABOVE FINISHED FLOOR
AO	ARCHED OPENING
AHU	AIR HANDLING UNIT
CATH	CATHEDRAL
CLG	CEILING
C.O.	CASED OPENING
CONT	CONTINUOUS
DIA	DIAMETER
DBL	DOUBLE
DO	DOUBLE OVEN
DSP	DOUBLE STUD POCKET
DW	DISHWASHER
ELEV	ELEVATOR
VIF	VERIFY IN FIELD
FR	FRENCH
GWB	GYPSUM WALL BOARD
HT	HEIGHT
JST	JOIST
KW	KNEE WALL
MO	MACHINERY OPENING
O.C.	ON CENTER
O.H.	OVER HEAD
PT	PRESSURE TREATED
PDS	PULL-DOWN STAIR
QTR	QUARTER
R	RISER
REF	REFRIGERATOR
REQ	REQUIRED
RO	ROUGH OPENING
SIM	SIMILAR
SQ	SQUARE
SHWR	SHOWER
T	TREAD
TYP	TYPICAL
T&G	TONGUE AND GROOVE
UNO	UNLESS NOTED OTHERWISE
VBF	VERIFY BEFORE FRAMING
VIF	VERIFY IN FIELD
W	WITH
WWM	WELDED WIRE MESH

THESE DRAWINGS PROVIDE A LIMITED LICENSE FOR USE TO CONSTRUCT ONE HOME.

PLEASE READ CAREFULLY. THIS LICENSE CONTAINS TERMS BY WHICH YOU ARE BOUND IF YOU USE THIS PLAN TO CONSTRUCT A HOME.

BY USING THESE PLANS TO CONSTRUCT A HOME, YOU ARE AGREEING TO AND ACCEPTING THE TERMS OF THE LICENSE. YOU ARE GRANTED THE RIGHT TO CONSTRUCT ONE, AND ONLY ONE, HOME BASED ON THIS PLAN. THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER OF THE PLAN ONLY AND IS NOT TRANSFERABLE. YOU MAY NOT SELL OR OTHERWISE TRANSFER ANY RIGHT TO COPY OR MAKE USE OF THE PLAN TO ANY OTHER PARTY, OR ALLOW ANY OTHER PARTY TO USE OR COPY THE PLAN. FOR REPRODUCIBLE PLANS, THE LICENSE INCLUDES THE RIGHT TO COPY AND MODIFY THE PLAN FOR USE IN THE CONSTRUCTION OF THE SINGLE HOME PERMITTED TO BE CONSTRUCTED PURSUANT TO THE LICENSE.

THIS PLAN IS PROTECTED UNDER FEDERAL COPYRIGHT LAWS. ALL RIGHTS UNDER THOSE LAWS ARE RESERVED BY LIFESTAGE HOME DESIGNS, INC. USE OF THE PLAN IN A MANNER INCONSISTENT WITH THIS LICENSE CONSTITUTES INFRINGEMENT OF THE COPYRIGHT AND A VIOLATION OF U.S. COPYRIGHT LAW. REPRODUCTION BY ANY MEANS, MODIFICATION, OR USE OF THESE PLANS TO CONSTRUCT MORE THAN ONE HOME UNLESS OTHERWISE SPECIFICALLY AUTHORIZED IS PROHIBITED.

DISCLAIMER OF WARRANTIES
LIFESTAGE HOME DESIGNS, INC. MAKES NO WARRANTIES REGARDING THE PLAN, TO THE MAXIMUM EXTENT ALLOWED BY LAW. LIFESTAGE HOME DESIGNS, INC. DISCLAIMS ALL WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. ANY MODIFICATION OF THE PLAN VOIDS ANY AND ALL WARRANTIES EXPRESS OR IMPLIED.

LIMITATION OF LIABILITY
LIFESTAGE HOME DESIGNS, INC. WILL NOT BE LIABLE FOR ANY SPECIAL, CONSEQUENTIAL, OR INCIDENTAL DAMAGES ARISING FROM USE OF THE PLAN. TO THE EXTENT ALLOWABLE BY LAW, ANY LIABILITY OF LIFESTAGE HOME DESIGNS, INC. WILL BE LIMITED TO THE PURCHASE PRICE OF THE PLAN. THE PURCHASER OF THIS PLAN IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER SHOULD CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO LIFESTAGE HOME DESIGNS, INC. ANY ERRORS, OMISSIONS OR QUESTIONS FOR CLARIFICATION. BEFORE CONSTRUCTION BEGINS, THE PURCHASER OR CONTRACTOR SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER.

THE PURCHASER ASSUMES ANY AND ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS, AND BUILDING CODES. LIFESTAGE HOME DESIGNS, INC. SHALL BEAR NO RESPONSIBILITY FOR ADAPTING THE PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS OR EQUIPMENT UTILIZED IN THE CONSTRUCTION.

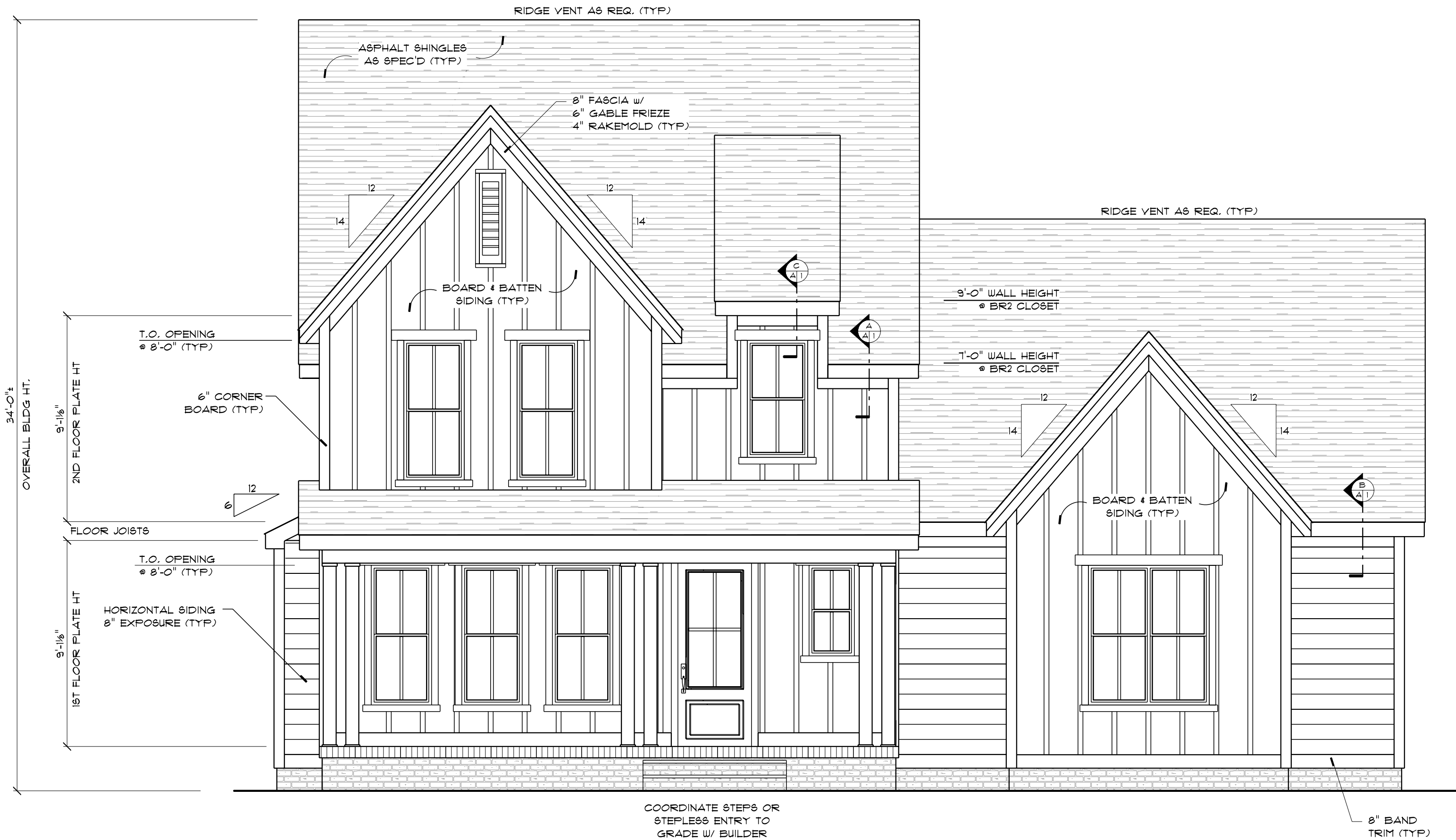
ELEVATION NOTES

- GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO STRUCTURE WITH OWNER.
- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS, FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC.
- PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW (I.E., REAR OF HOUSE) AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATION / ROOF VENTING PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.
- EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.

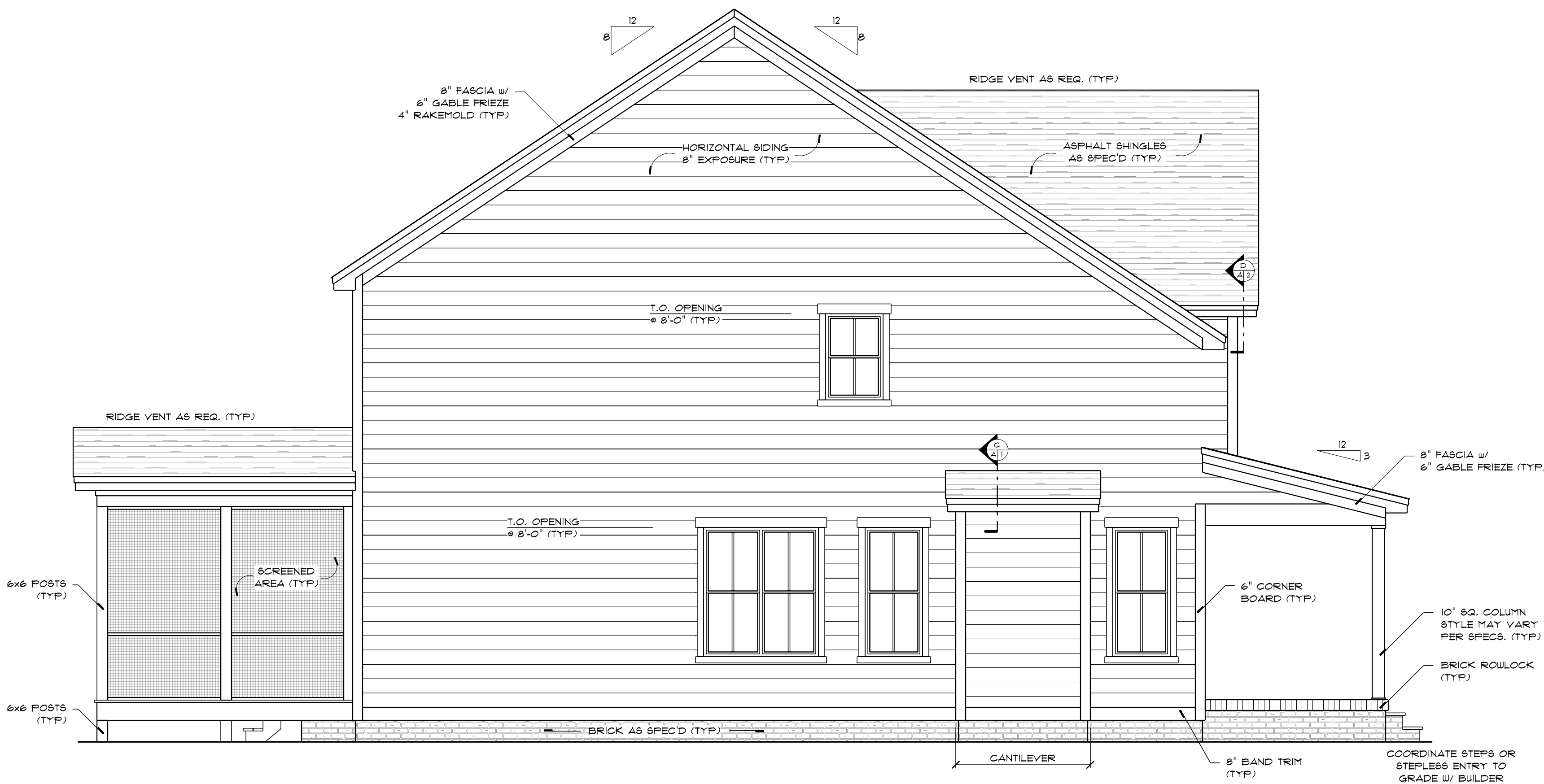
PROVIDE 1 SQ.FT. OF VENTILATION FOR EVERY 150 SQ.FT. OF ATTIC SPACE. USE CONTINUOUS RIDGE VENTS AND SOFFIT VENTS AS REQ.

VENTILATION MAY BE REDUCED BY 50% WHEN VENTILATOR ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS.

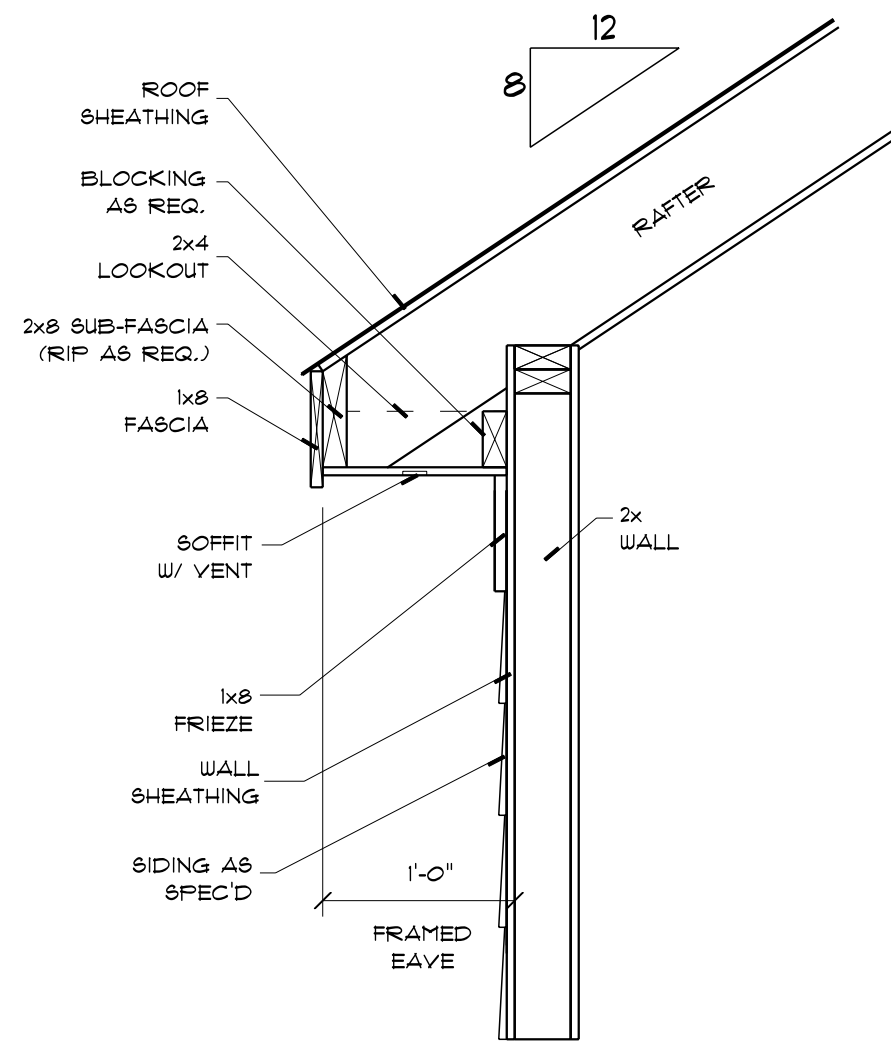
NOTE:
RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS AND/OR RAISED PLATE (TYP U.N.O.). BUILD UP PLATES AND/OR KNEE WALLS TO ALIGN FASCIAS AS NEEDED.



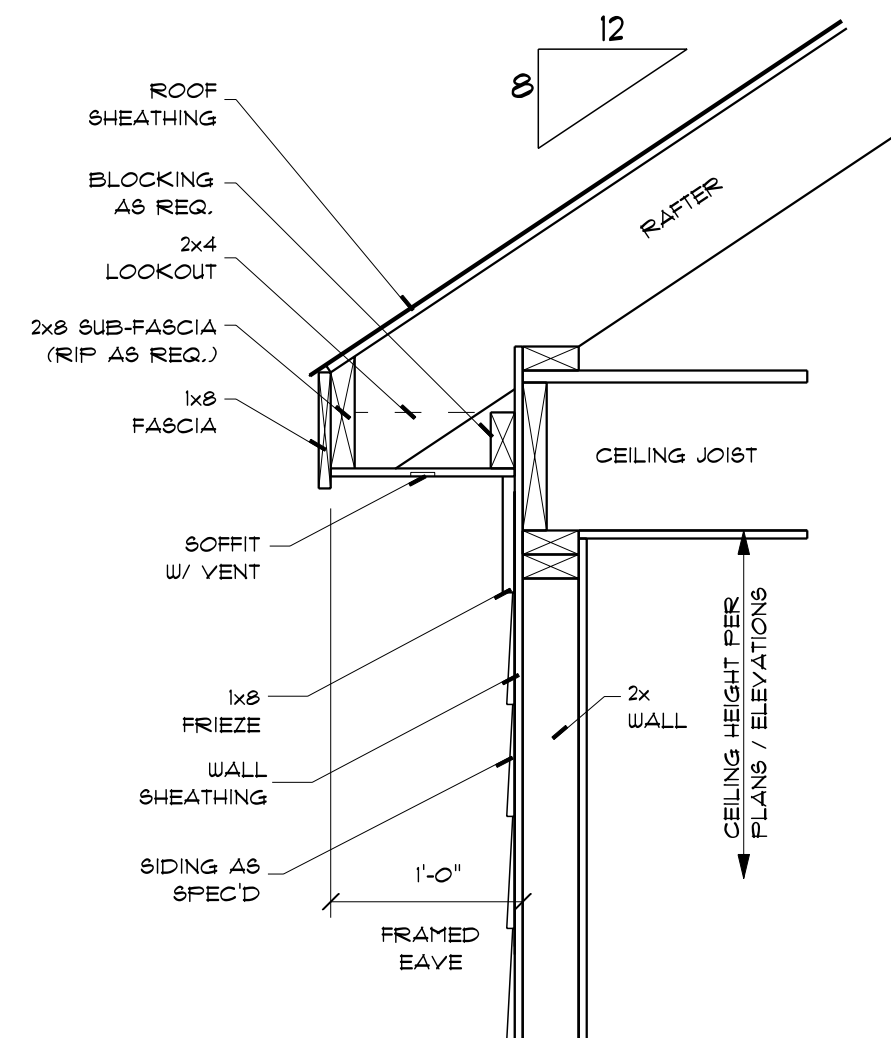
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



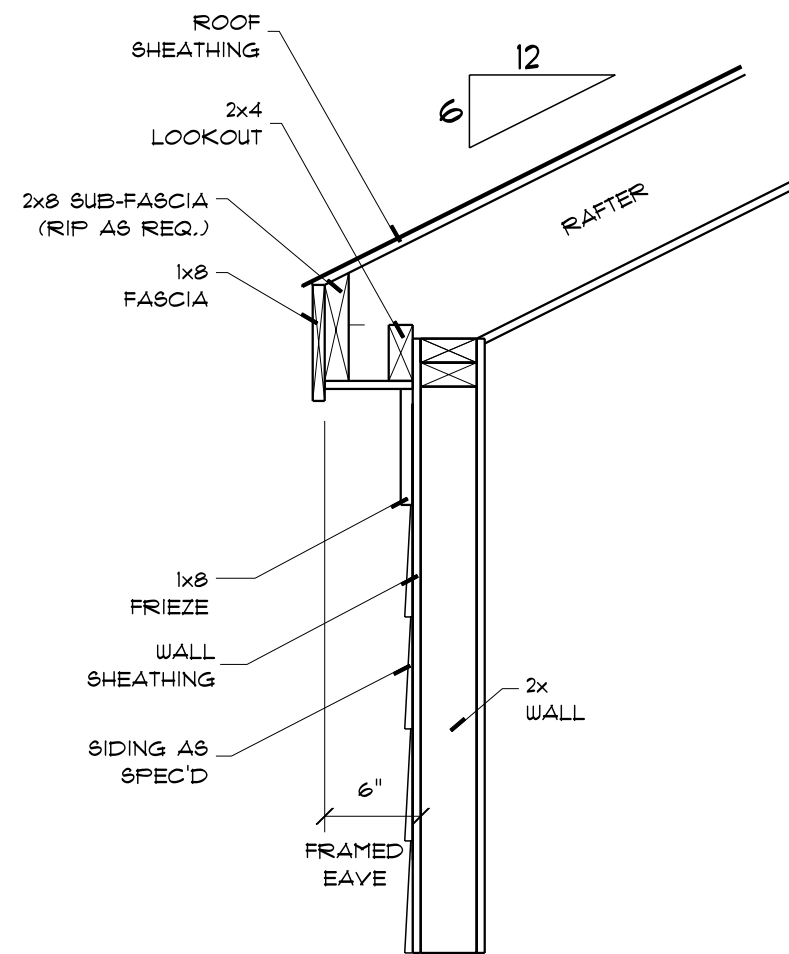
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



EAVE A
SCALE: 1" = 1'-0"

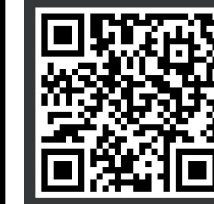


EAVE B
SCALE: 1" = 1'-0"



EAVE C
SCALE: 1" = 1'-0"

IF THIS SEAL IS NOT RED YOU ARE USING AN ILLEGAL COPY OF THESE PLANS AND MAY BE IN VIOLATION OF THE FEDERAL COPYRIGHT ACT.
COPYRIGHT NOTICE
NO USE OR REPRODUCTION SHOULD OCCUR WITHOUT WRITTEN PERMISSION FROM LIFESTAGE HOME DESIGNS, INC.



Lifestage Home Designs
108 Wind Chime Court
Raleigh, NC 27615
919-630-1224
www.LifeStageHomeDesigns.com



PROJECT PLAN:
991 BROWNING PLACE
YOUNGSVILLE, NC 27596

DRAWING:
ELEVATIONS & EAVE DETAILS

SCALE:
AS NOTED
DRAWN BY:
CJ
DATE:
8/7/2023

A1

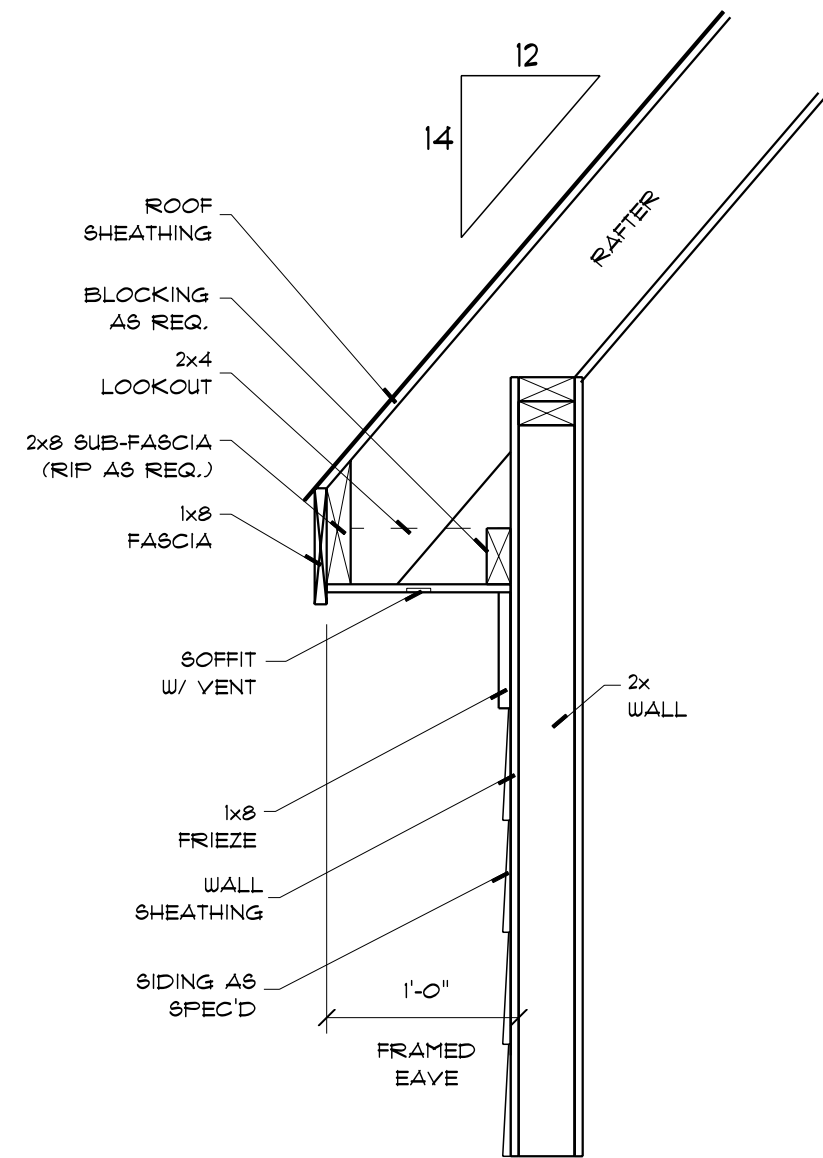
THE DUPLICATION, REPRODUCTION, COPYING, SALE, RENTAL, LICENSING, OR ANY OTHER DISTRIBUTION OR USE OF THESE DRAWINGS, OR PORTION THEREOF, OR THE PLANS DEPICTED HEREON, IS STRICTLY PROHIBITED UNLESS EXPRESSLY AUTHORIZED IN WRITING BY LIFESTAGE HOME DESIGNS, INC.

ELEVATION NOTES

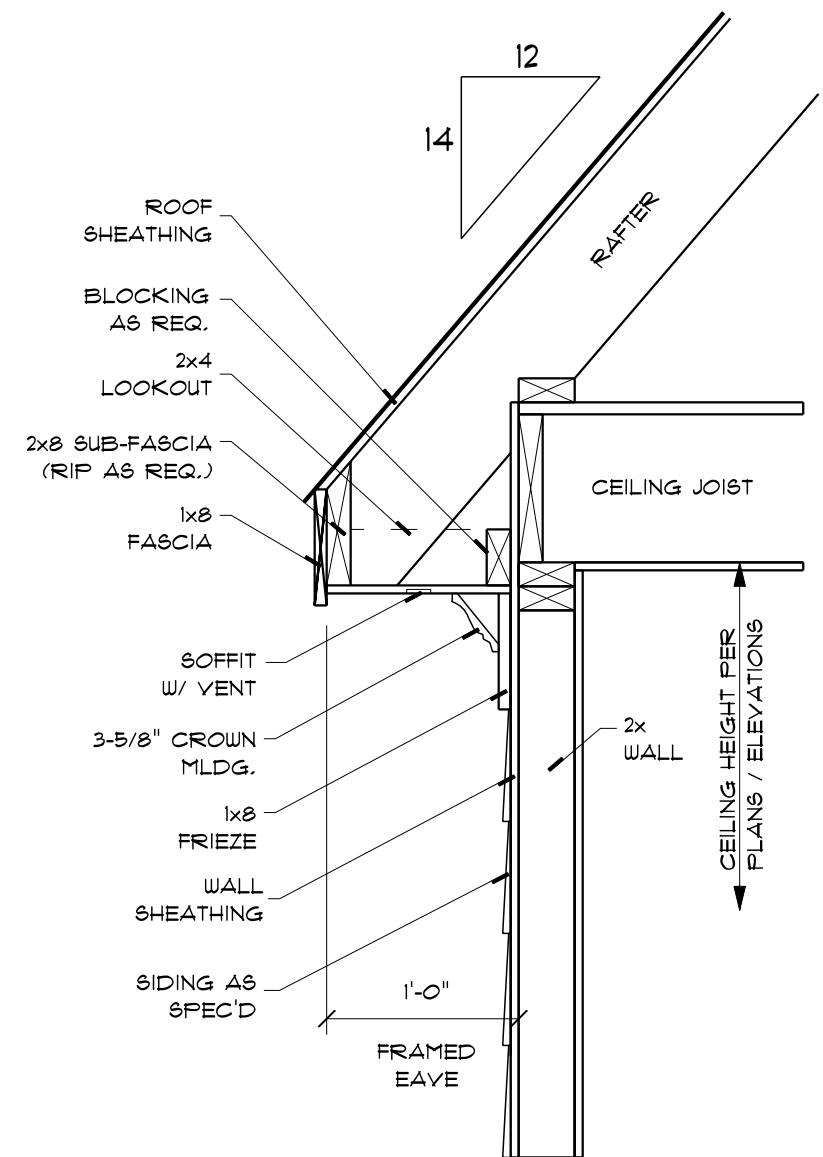
1. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO STRUCTURE WITH OWNER.
2. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS, FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC.
3. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW (I.E., REAR OF HOUSE) AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
4. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATION / ROOF VENTING PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.
5. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.

NOTE:

RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS AND/OR RAISED PLATE (TYP U.N.O.). BUILD UP PLATES AND/OR KNEE WALLS TO ALIGN FASCIAS AS NEEDED.



EAVE D
SCALE: 1" = 1'-0"



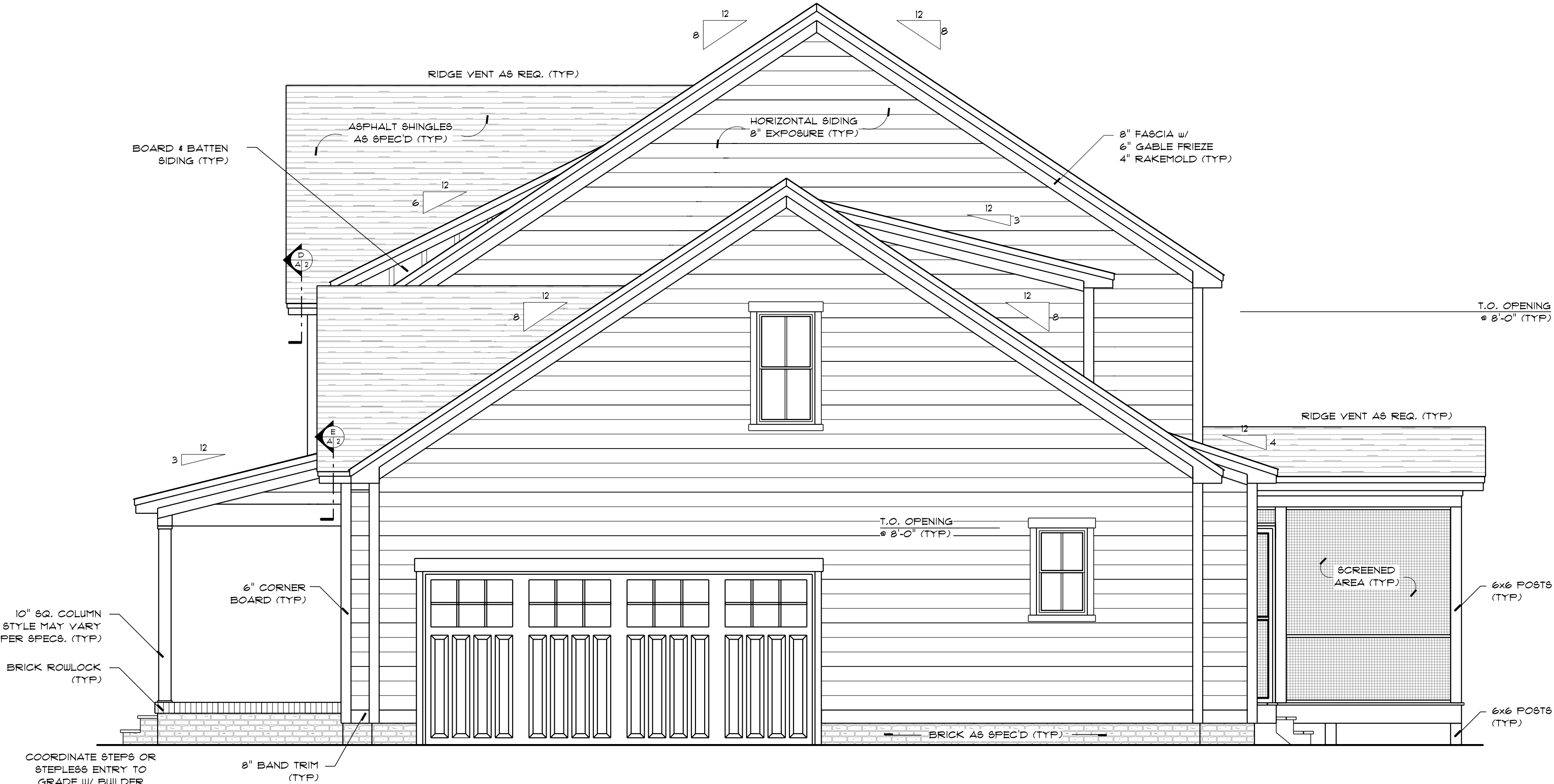
EAVE E
SCALE: 1" = 1'-0"

T.O. OPENING
8'-0" (TYP)

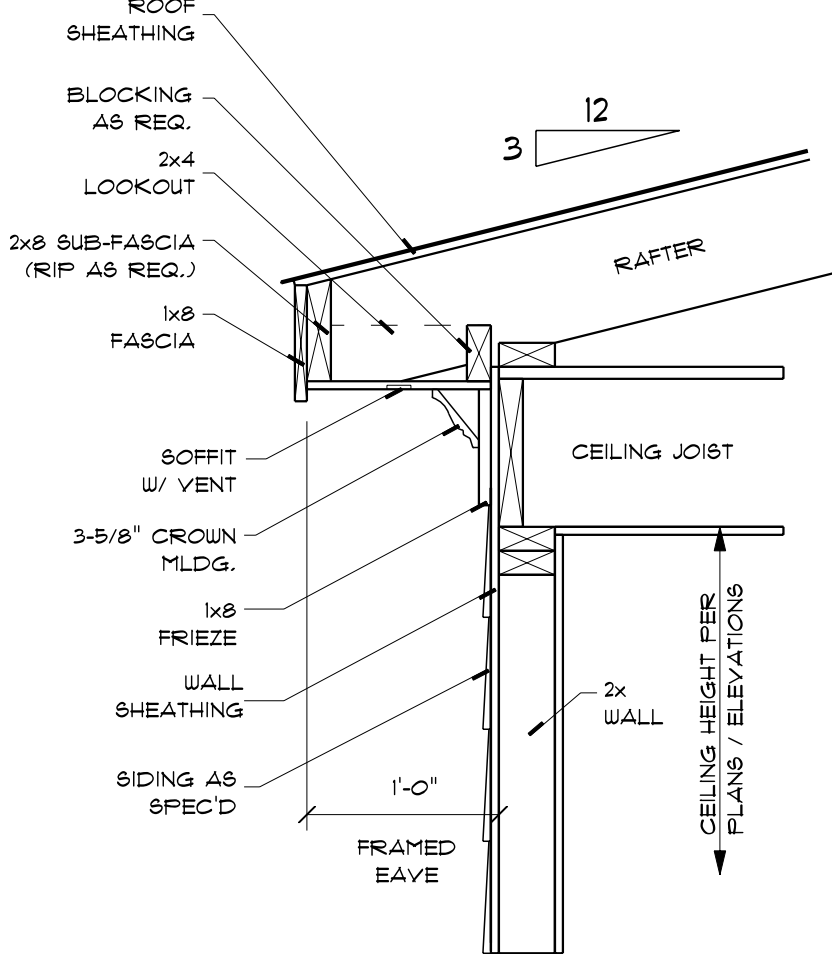
T.O. OPENING
8'-0" (TYP)



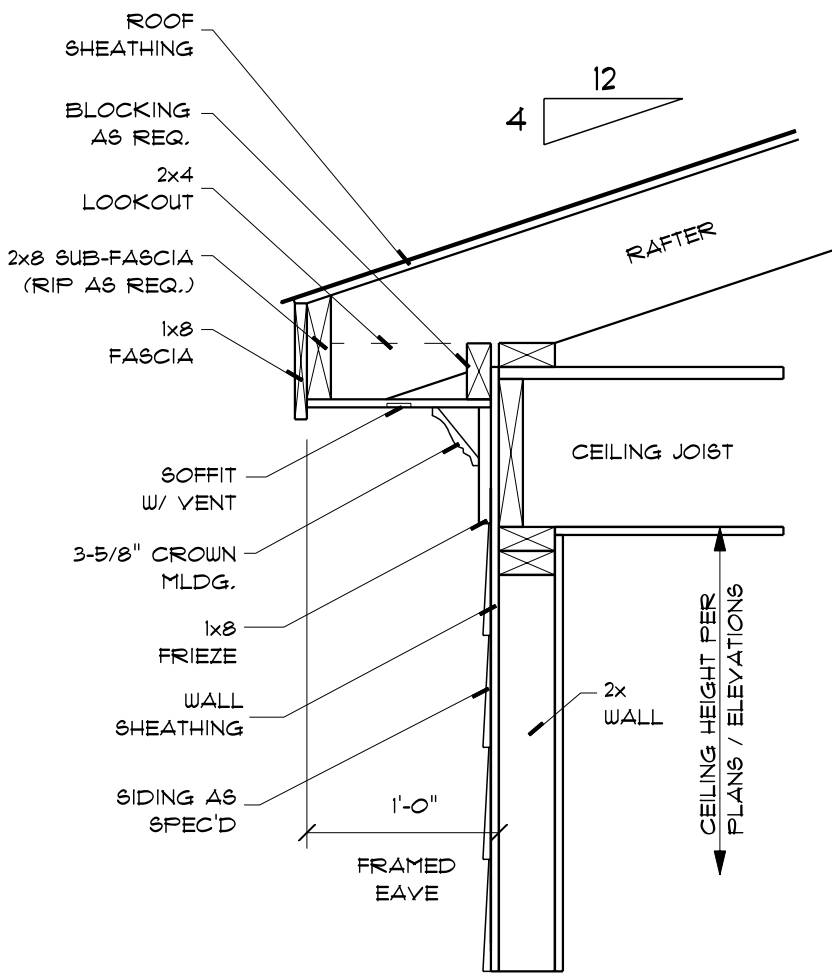
REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



EAVE F
SCALE: 1" = 1'-0"



EAVE G
SCALE: 1" = 1'-0"

IF THIS SEAL IS NOT RED YOU
ARE USING AN ILLEGAL COPY
OF THESE PLANS AND MAY
BE IN VIOLATION OF THE
FEDERAL COPYRIGHT ACT
COPYRIGHT NOTICE
NO USE OR REPRODUCTION
SHOULD OCCUR WITHOUT
WRITTEN PERMISSION FROM
LIFESTAGE HOME DESIGNS, INC.



LifeStage Home Designs
108 Wind Chime Court
Raleigh, NC 27615
919-630-1224
www.LifeStageHomeDesigns.com



PROJECT PLAN:
991 BROWNING PLACE
YOUNGSVILLE, NC 27596

DRAWING:
**ELEVATIONS &
EAVE DETAILS**

SCALE:
AS NOTED
DRAWN BY:
CJ
DATE:
8/7/2023

A2

THE DUPLICATION, REPRODUCTION, COPYING, SALE, RENTAL, LICENSING, OR ANY OTHER DISTRIBUTION OR USE OF THESE DRAWINGS, OR PORTION THEREOF, OR THE PLANS DEPICTED HEREON, IS STRICTLY PROHIBITED UNLESS EXPRESSLY AUTHORIZED IN WRITING BY LIFESTAGE HOME DESIGNS, INC.

PLANS SHOWN HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, 2018 EDITION

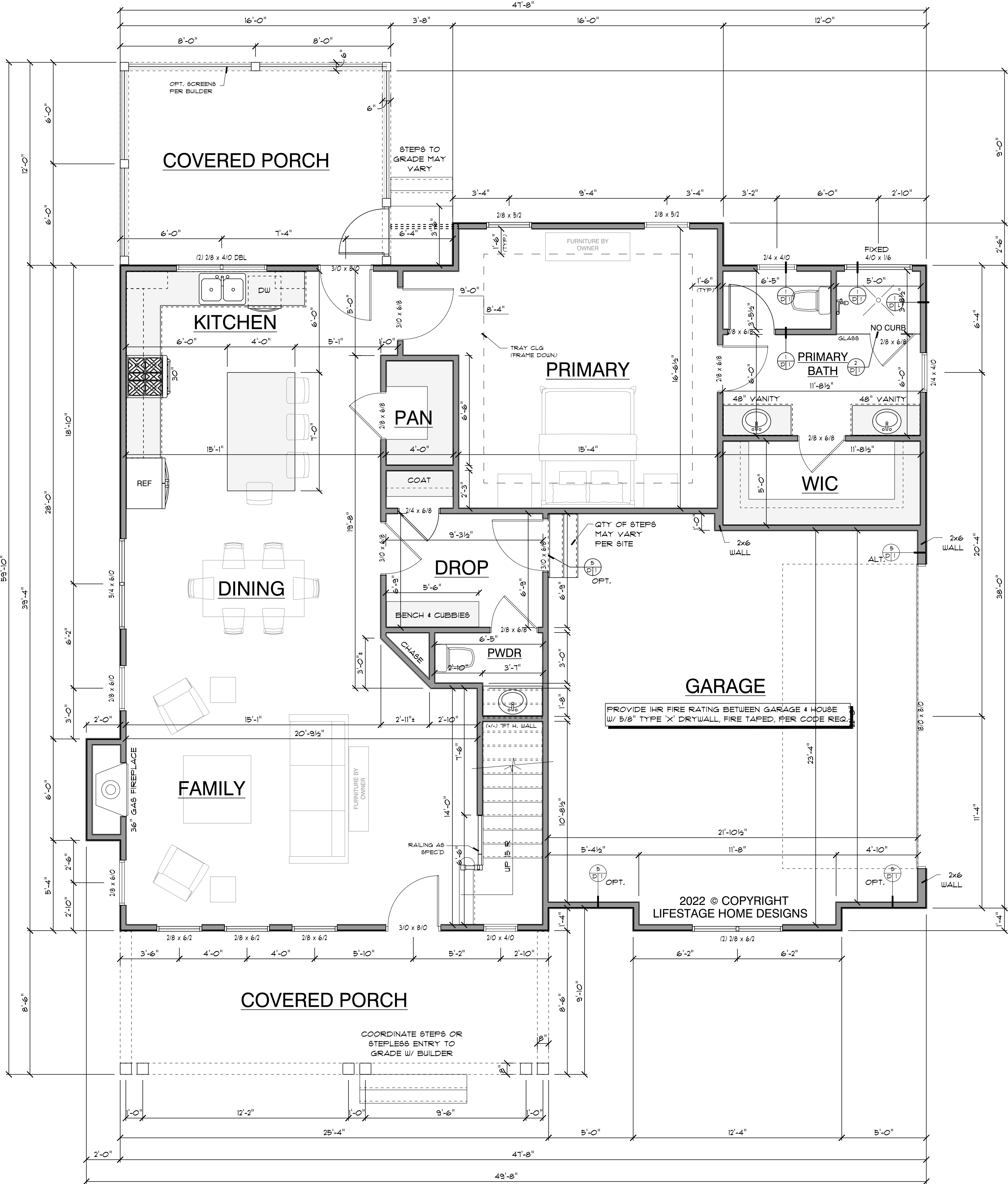
GENERAL FRAMING NOTES:
-ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
-FRAMING LUMBER SHALL BE DETERMINED BY ENGINEER.
-WHERE PRE-ENGINEERED JOISTS ARE USED, JOIST MANUFACTURER SHALL PROVIDE SHOP DRAWINGS WHICH BEAR THE SEAL OF A REGISTERED ENGINEER.
-STUDS AND JOISTS SHALL NOT BE CUT TO INSTALL PLUMBING OR WIRING WITHOUT ADDING METAL OR WOOD SIDE PANELS TO STRENGTHEN THE MEMBER TO ITS ORIGINAL STRENGTH.
-ALL EXPOSED FRAMING ON PORCHES AND DECKS SHALL BE PRESSURE TREATED.
-ALL FRAMING TO BE 16" O.C. UNLESS OTHERWISE NOTED.
-LVL'S AND TJI'S TO BE SIZED BY OTHERS.
-MANUFACTURER SHALL PROVIDE SHOP DRAWINGS, WHICH WILL BEAR THE SEAL OF A REGISTERED ENGINEER.

FLOOR PLAN NOTES

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL COMPONENTS, INCLUDING BUT NOT LIMITED TO, WALL FRAMING, BEAMS, CONNECTIONS, HEADERS, JOISTS, AND RAFTERS.
2. ALL DIMENSIONS SHOWN ARE FROM FACE OF SHEATHING TO FACE OF STUD FOR EXTERIOR WALLS, AND FACE OF STUD TO FACE OF STUD FOR INTERIOR WALLS UNLESS NOTED OTHERWISE. FOUNDATION PLAN DIMENSIONS ACCOUNT FOR AN OFFSET OF 1/2" TO ALLOW FOR EXTERIOR SHEATING. ANGLED WALLS ARE DRAWN AT 45° U.N.O.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED AS NOMINAL OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED (I.E. MOUNT AS LOW AS POSSIBLE, ETC.).
5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING THE USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION METHODS MEET OR EXCEED CODE. COORDINATE FRAMED OPENINGS WITH MFG. SPECIFICATIONS.
6. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
7. DO NOT SCALE DRAWINGS. FOLLOW NOTED DIMENSIONS ONLY. CONTACT DESIGNER FOR ANY ADDITIONAL DIMENSIONS NEEDED.
8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
9. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20". A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24". AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 44" FROM TOP OF FINISH FLOOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WINDOWS SELECTED MEET EGRESS REQUIREMENTS, AS MANUFACTURER SIZES VARY.
10. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR, OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPools, SHOWERS, SAUNAS, STEAM ROOMS, HOT TUBS, ETC., SHALL BE TEMPERED.
11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
12. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
13. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE. MINIMUM ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE AS REQ.
15. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS, INCLUDING DOORS ENTERING A HEATED/COOLED PORTION OF RESIDENCE.
16. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2x4 JOISTS.
17. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE, FLOAT, AND SAND (3 COATS). USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
18. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

CLIMATE ZONE	FENESTRATION U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE DEPTH	CRAWL SPACE WALL R-VALUE
3	.35	38	15 or 13+2.5	5/13	19	5/13	0	5/13
4	.35	38	15 or 13+2.5	5/13	19	10/15	10, 2FT	10/15
5	.35	38	19 or 13+5	13/17	30	10/15	10, 2FT	10/15

AREA SCHEDULE	
NAME	AREA
1st FLOOR (HTD)	1395 sq ft.
2nd FLOOR (HTD)	1376 sq ft.
COVERED PORCHES	225 sq ft.
DECKS	204 sq ft.
GARAGE	526 sq ft.
TOTAL (HTD)	2771 sq ft.
WALK-IN ATTIC (UNF)	206 sq ft.



1ST FLOOR
SCALE: 1/4" = 1'-0"

IF THIS SEAL IS NOT RED YOU ARE USING AN ILLEGAL COPY OF THESE PLANS AND MAY BE IN VIOLATION OF THE FEDERAL COPYRIGHT ACT.
COPYRIGHT NOTICE
NO USE OR REPRODUCTION SHOULD OCCUR WITHOUT WRITTEN PERMISSION FROM LIFESTAGE HOME DESIGNS, INC.



Lifestage Home Designs
108 Wind Chime Court
Raleigh, NC 27615
919-630-1224
www.LifeStageHomeDesigns.com



ROOST
BUILDING COMPANY

PROJECT PLAN:
991 BROWNING PLACE
YOUNGSVILLE, NC 27596

DRAWING:
1ST FLOOR

SCALE:
AS NOTED
DRAWN BY:
CJ
DATE:
8/7/2023

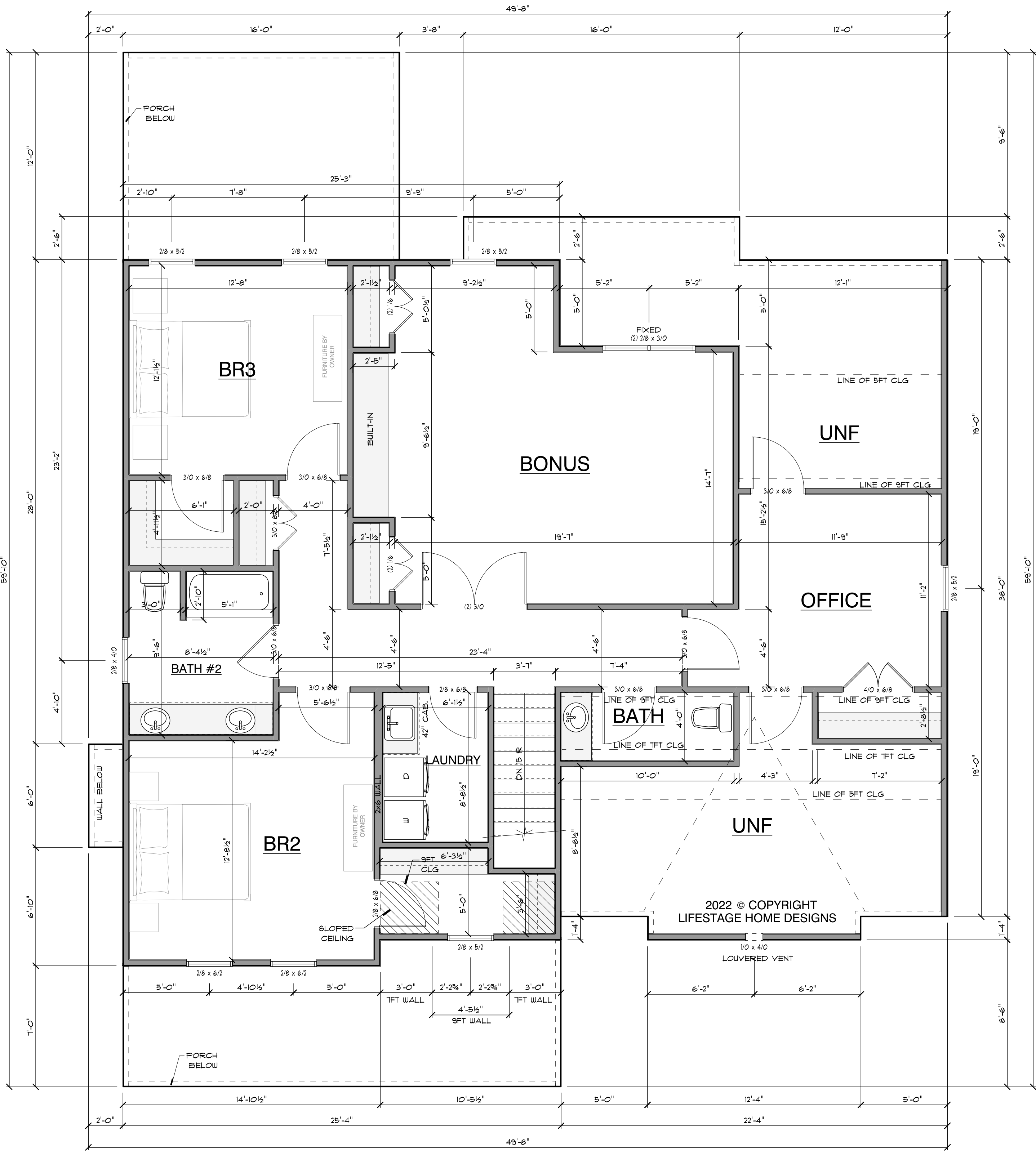
A3

FOR PERMIT 08.07.2023

THE DUPLICATION, REPRODUCTION, COPYING, SALE, RENTAL, LICENSING, OR ANY OTHER DISTRIBUTION OR USE OF THESE DRAWINGS, OR PORTION THEREOF, OR THE PLANS DEPICTED HEREON, IS STRICTLY PROHIBITED UNLESS EXPRESSLY AUTHORIZED IN WRITING BY LIFESTAGE HOME DESIGNS, INC.

PLANS SHOWN HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, 2018 EDITION

GENERAL FRAMING NOTES:
-ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
-FRAMING LUMBER SHALL BE DETERMINED BY ENGINEER.
-WHERE PRE-ENGINEERED JOISTS ARE USED, JOIST MANUFACTURER SHALL PROVIDE SHOP DRAWINGS WHICH BEAR THE SEAL OF A REGISTERED ENGINEER.
-STUDS AND JOISTS SHALL NOT BE CUT TO INSTALL PLUMBING OR WIRING WITHOUT ADDING METAL OR WOOD SIDE PANELS TO STRENGTHEN THE MEMBER TO ITS ORIGINAL STRENGTH.
-ALL EXPOSED FRAMING ON PORCHES AND DECKS SHALL BE PRESSURE TREATED.
-ALL FRAMING TO BE 16" O.C. UNLESS OTHERWISE NOTED.
-LVL'S AND TJI'S TO BE SIZED BY OTHERS.
-MANUFACTURER SHALL PROVIDE SHOP DRAWINGS, WHICH WILL BEAR THE SEAL OF A REGISTERED ENGINEER.



2ND FLOOR
SCALE: 1/4" = 1'-0"

IF THIS SEAL IS NOT RED YOU ARE USING AN ILLEGAL COPY OF THESE PLANS AND MAY BE IN VIOLATION OF THE FEDERAL COPYRIGHT ACT.
COPYRIGHT NOTICE
NO USE OR REPRODUCTION SHOULD OCCUR WITHOUT WRITTEN PERMISSION FROM LIFESTAGE HOME DESIGNS, INC.



Lifestage Home Designs
108 Wind Chime Court
Raleigh, NC 27615
919-630-1224
www.LifeStageHomeDesigns.com



PROJECT PLAN:
991 BROWNING PLACE
YOUNGSVILLE, NC 27596

DRAWING:
2ND FLOOR

SCALE:
AS NOTED
DRAWN BY:
CJ
DATE:
8/7/2023

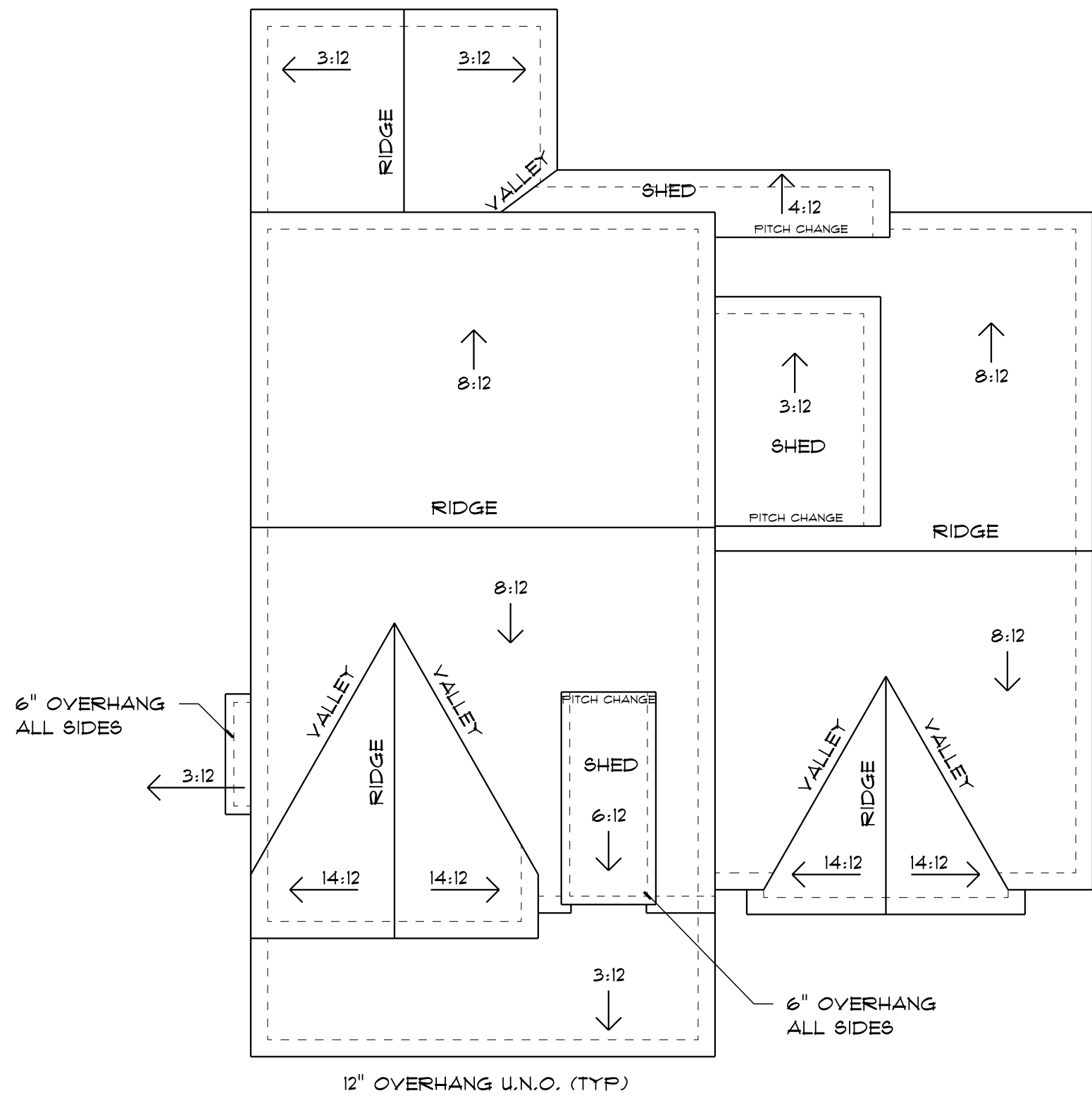
A4

THE DUPLICATION, REPRODUCTION, COPYING, SALE, RENTAL, LICENSING, OR ANY OTHER DISTRIBUTION OR USE OF THESE DRAWINGS, OR PORTION THEREOF, OR THE PLANS DEPICTED HEREON, IS STRICTLY PROHIBITED UNLESS EXPRESSLY AUTHORIZED IN WRITING BY LIFESTAGE HOME DESIGNS, INC.

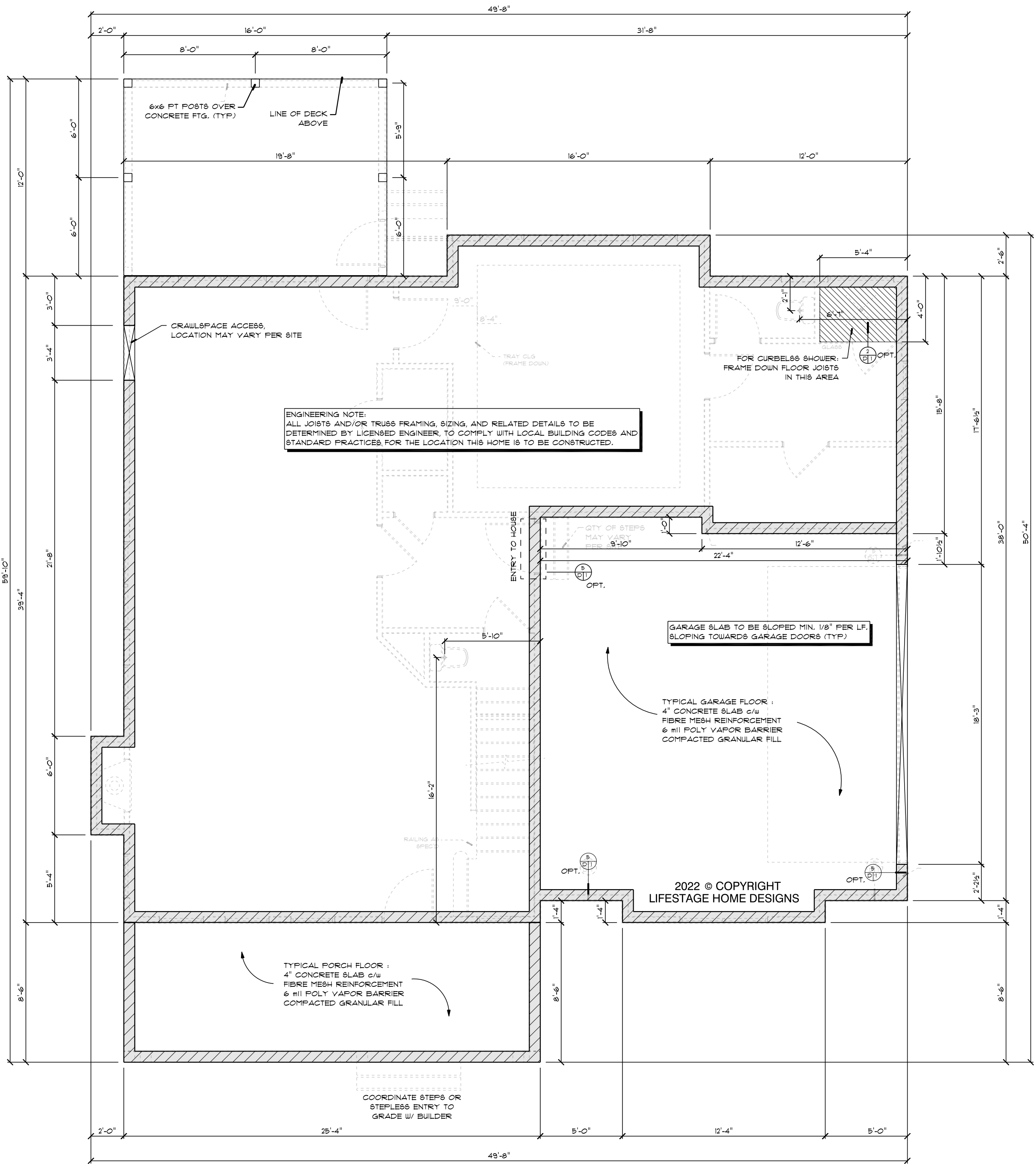
PLANS SHOWN HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, 2018 EDITION

NOTE:
RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS AND/OR RAISED PLATE (TYP U.N.O.).
BUILD UP PLATES AND/OR KNEE WALLS TO ALIGN FASCIAS AS NEEDED.

ROOF NOTES (IF TRUSSES ARE TO BE USED):
- BRACING, BRIDGING AND CONNECTORS ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER.
- IDENTIFY LUMBER BY OFFICIAL GRADE MARKINGS.
- DO NOT CUT OR REMOVE CHORDS OR OTHER TRUSS MEMBERS.
- DO NOT NOTCH OR DRILL TRUSS MEMBERS.
- WHERE PRE-ENGINEERED ROOF TRUSSES ARE USED, TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS, WHICH WILL BEAR THE SEAL OF A REGISTERED ENGINEER.



ROOF PLAN
SCALE: 1/8" = 1'-0"



FOUNDATION
SCALE: 1" = 5'-0"

IF THIS SEAL IS NOT RED YOU ARE USING AN ILLEGAL COPY OF THESE PLANS AND MAY BE IN VIOLATION OF THE FEDERAL COPYRIGHT ACT.
COPYRIGHT NOTICE
NO USE OR REPRODUCTION SHOULD OCCUR WITHOUT WRITTEN PERMISSION FROM LIFESTAGE HOME DESIGNS, INC.



Lifestage Home Designs
108 Wind Chime Court
Raleigh, NC 27615
919-630-1224
www.LifestageHomeDesigns.com



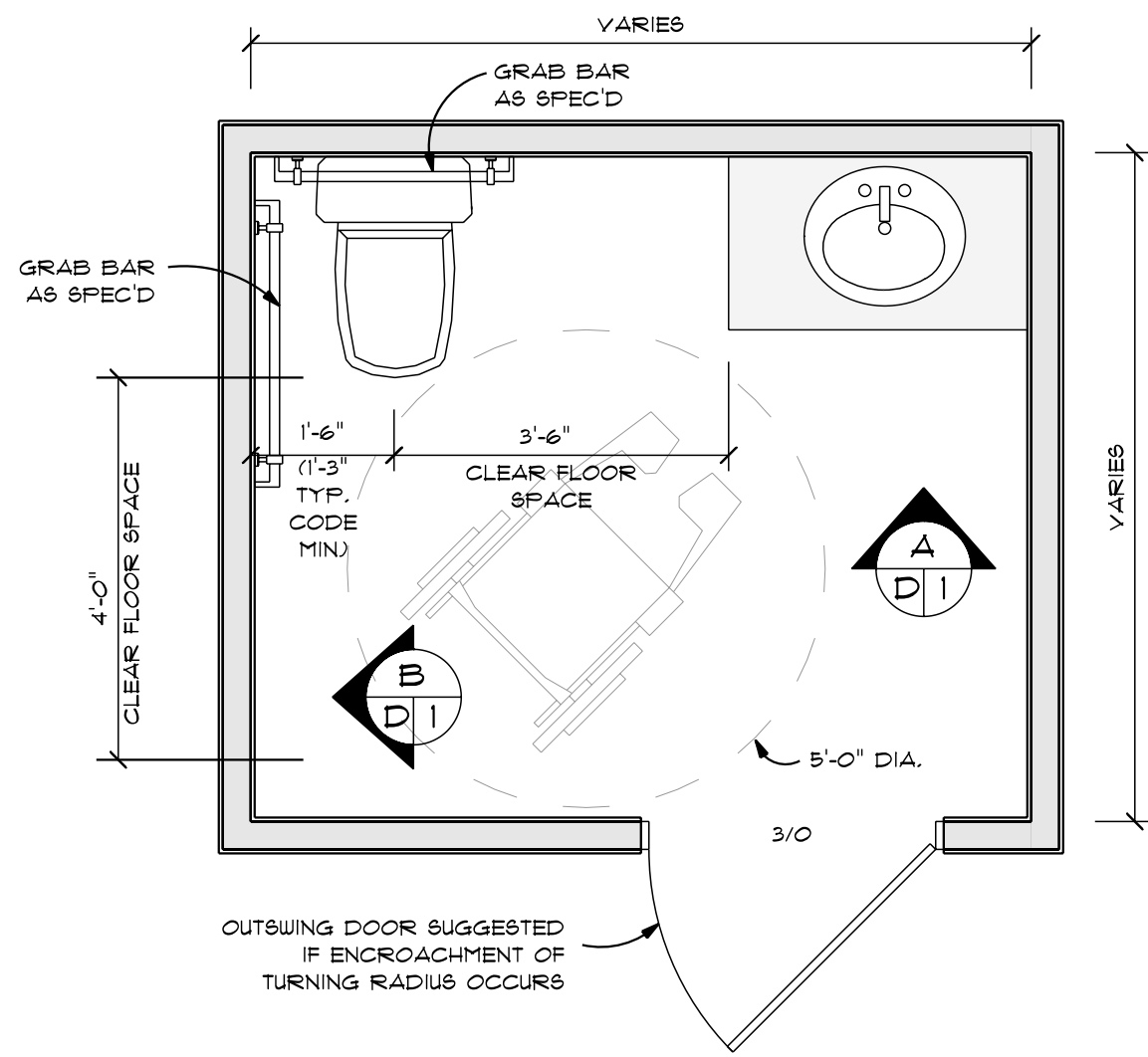
PROJECT PLAN:
991 BROWNING PLACE
YOUNGSVILLE, NC 27596

DRAWING:
ROOF PLAN &
FOUNDATION

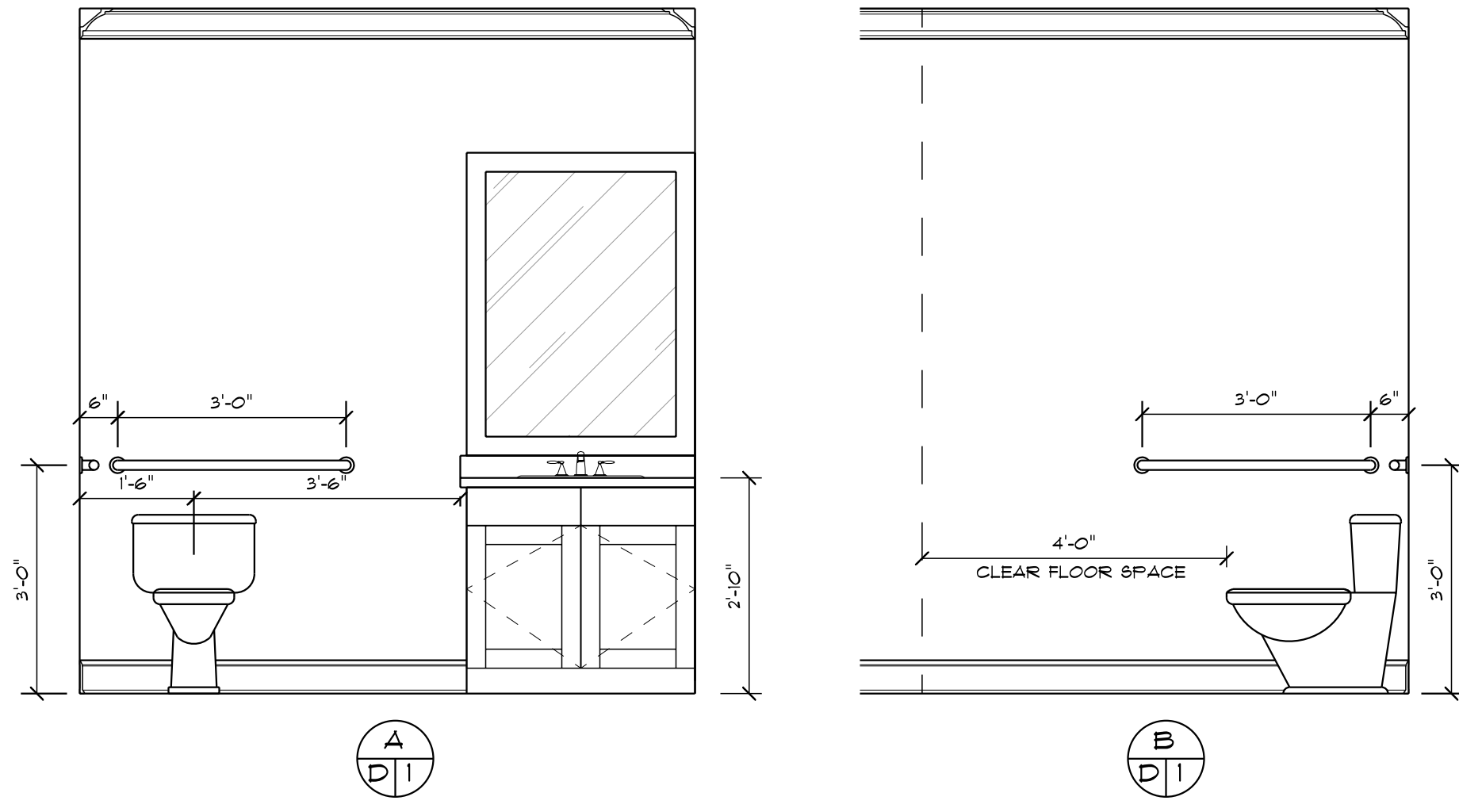
SCALE:
AS NOTED
DRAWN BY:
CJ
DATE:
8/7/2023

A5

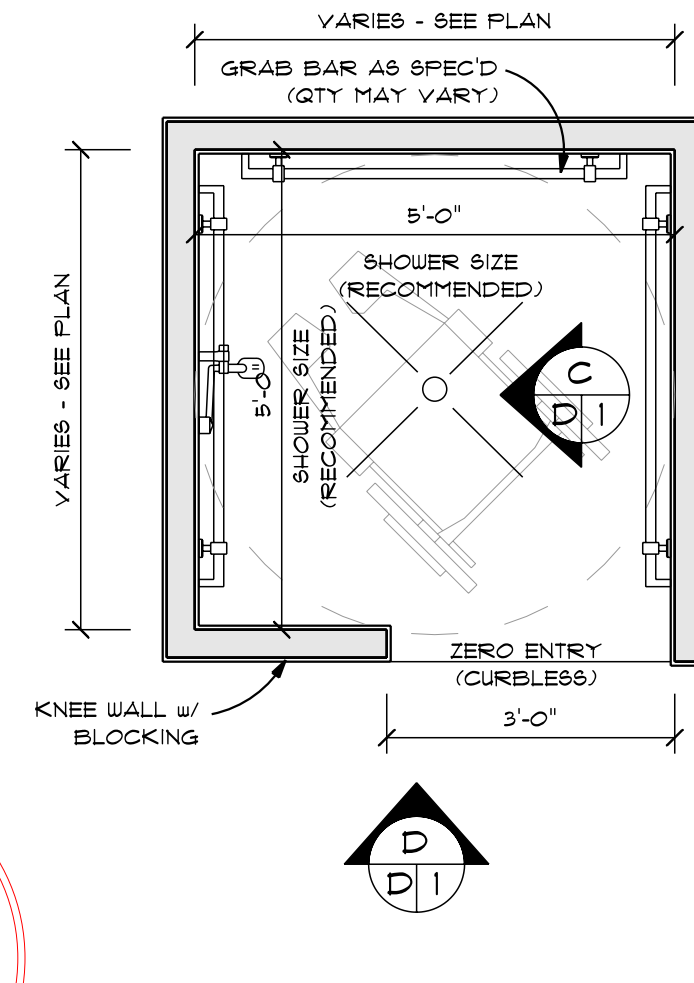
ALL DETAILS ON THIS PAGE MAY NOT APPLY TO YOUR SPECIFIC PLANS. THE PURPOSE OF THIS SHEET IS TO PROVIDE THE OWNER AND/OR BUILDER WITH DESIGN IDEAS TO INCORPORATE ACCESSIBLY FEATURES AS NEEDED..



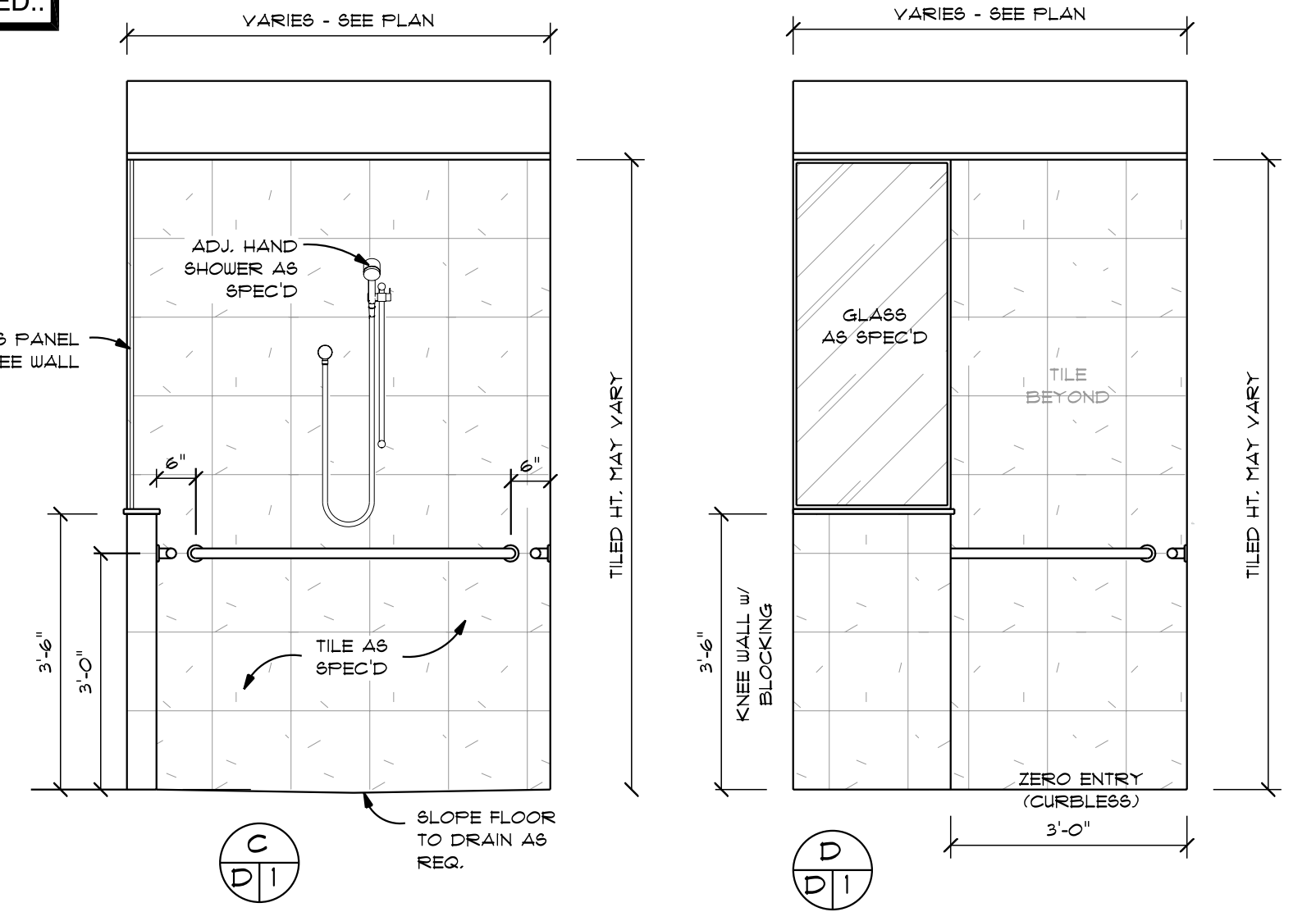
ACCESIBLE WATER CLOSET (MIN. DIMS.)
SCALE: 1/2" = 1'-0"



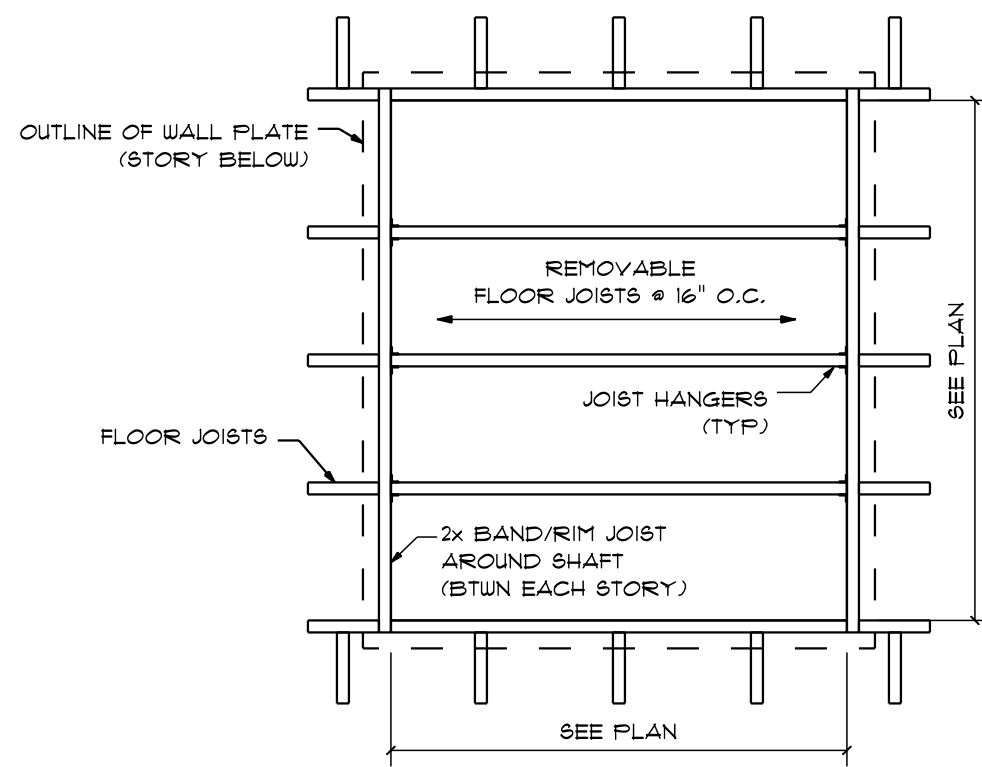
RECOMMENDED ACCESSIBLE HEIGHTS (TYP)
SCALE: 1/2" = 1'-0"



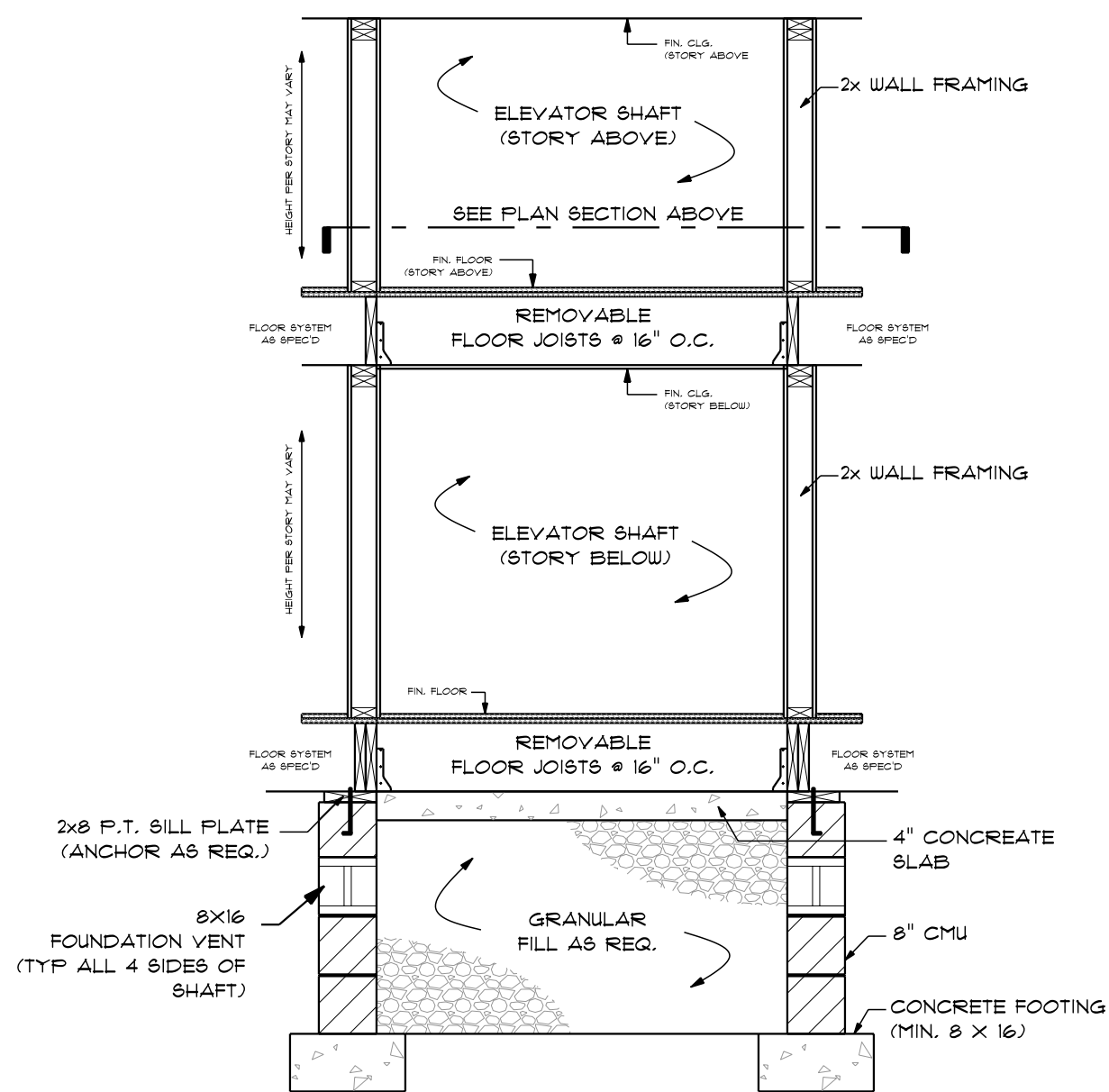
ACCESIBLE SHOWER (RECOMMENDED DIMS.)
SCALE: 1/2" = 1'-0"



IF THIS SEAL IS NOT RED YOU
ARE USING AN ILLEGAL COPY
OF THESE PLANS AND MAY
BE IN VIOLATION OF THE
FEDERAL COPYRIGHT ACT.
COPYRIGHT NOTICE
NO USE OR REPRODUCTION
SHOULD OCCUR WITHOUT
WRITTEN PERMISSION FROM
LIFESTAGE HOME DESIGNS, INC.

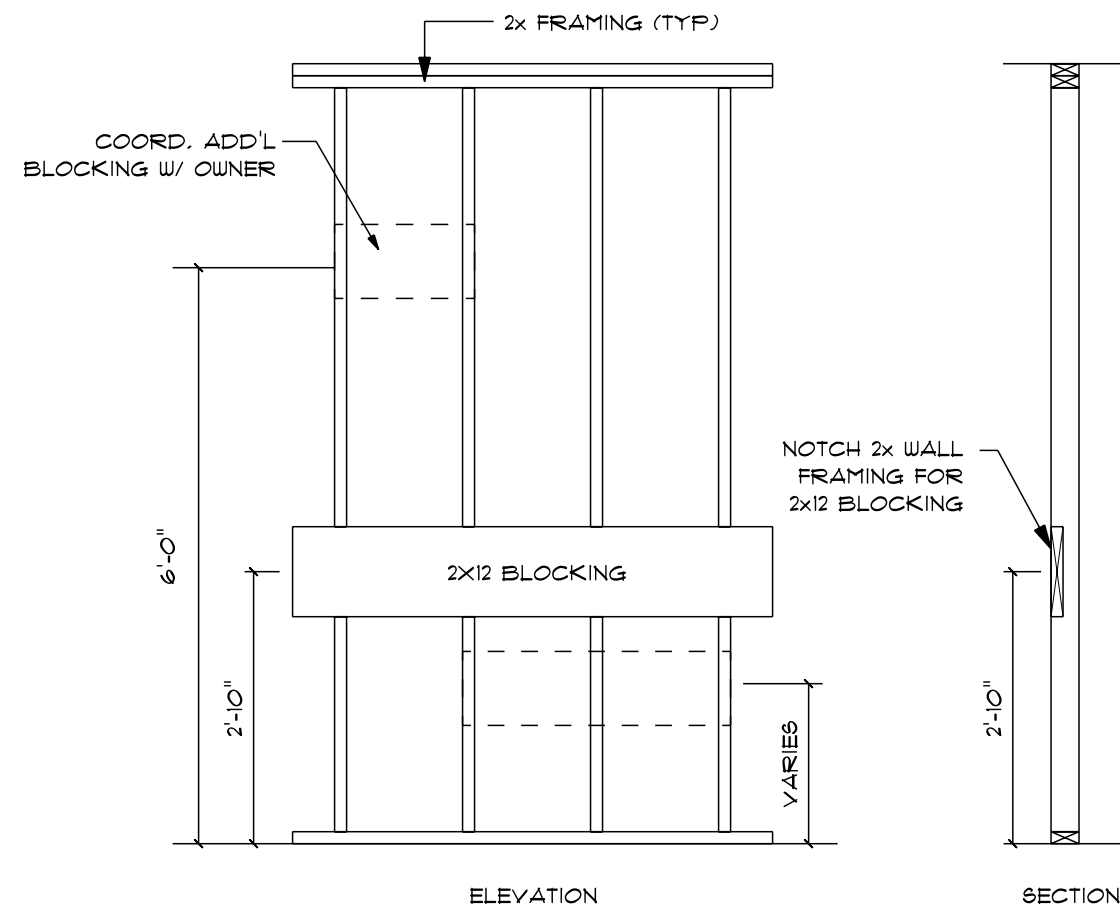


PLAN SECTION

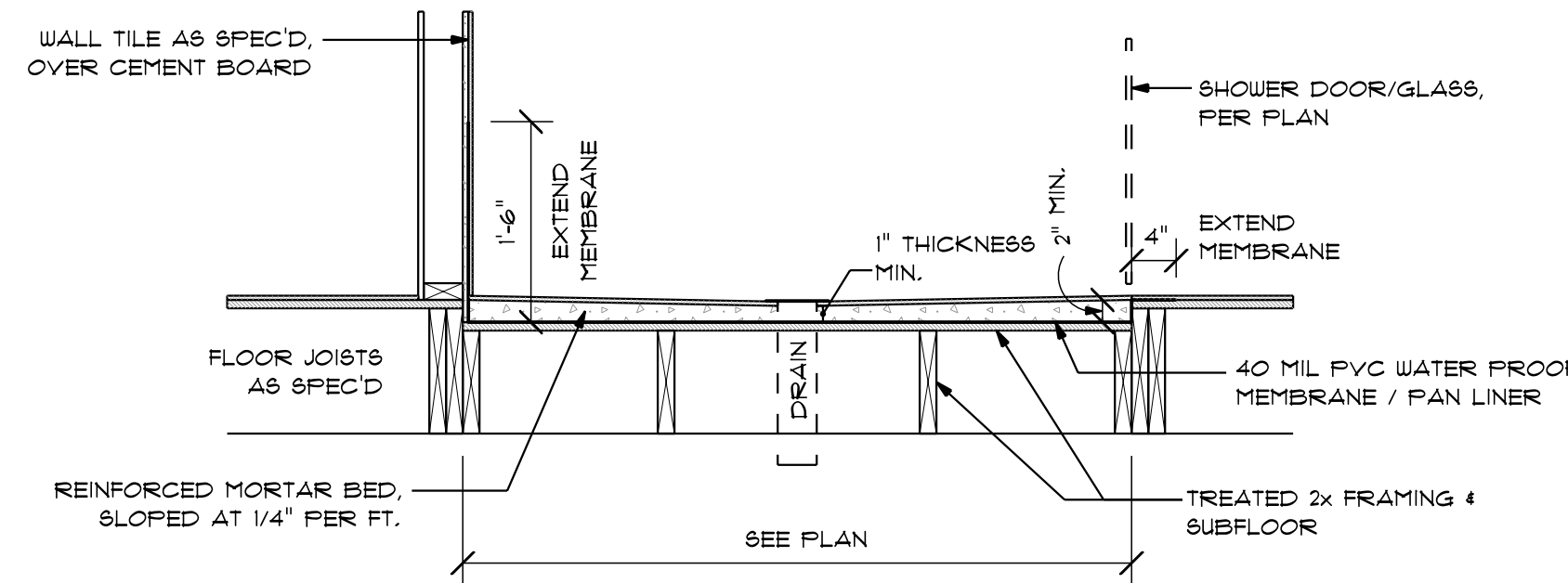


SECTION

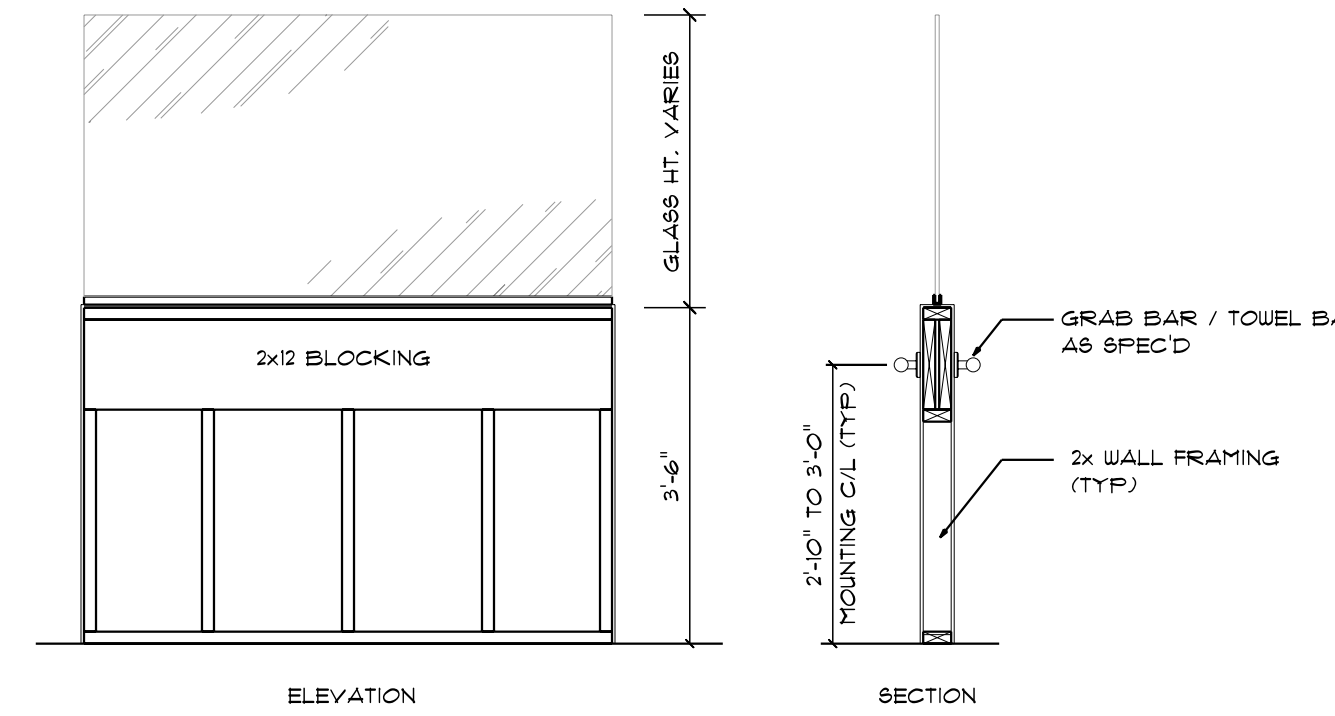
REMOVABLE FLOOR AT ELEV SHAFT
SCALE: 1/2" = 1'-0"



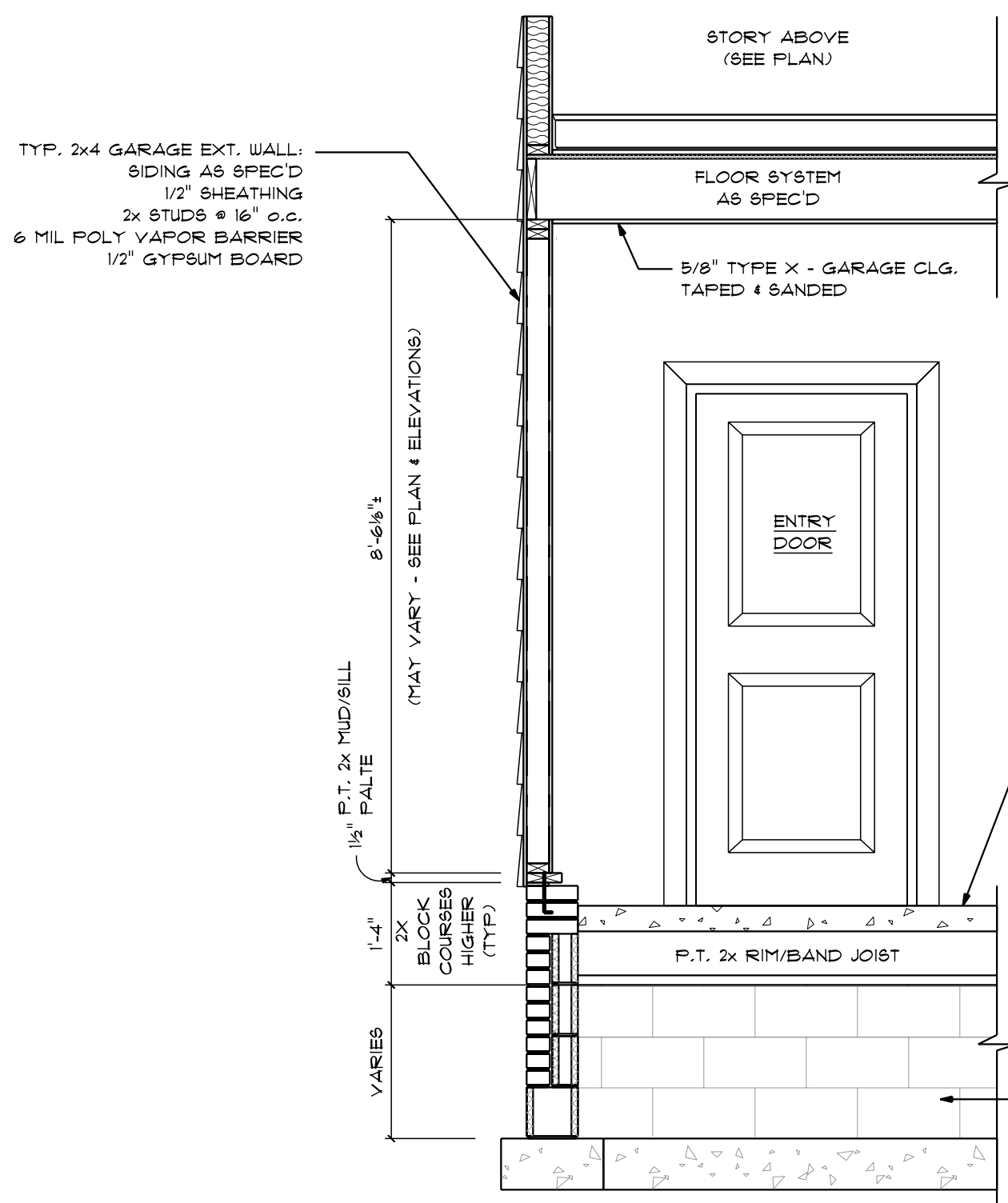
GRAB BAR WALL BLOCKING (TYP)
SCALE: 1/2" = 1'-0"



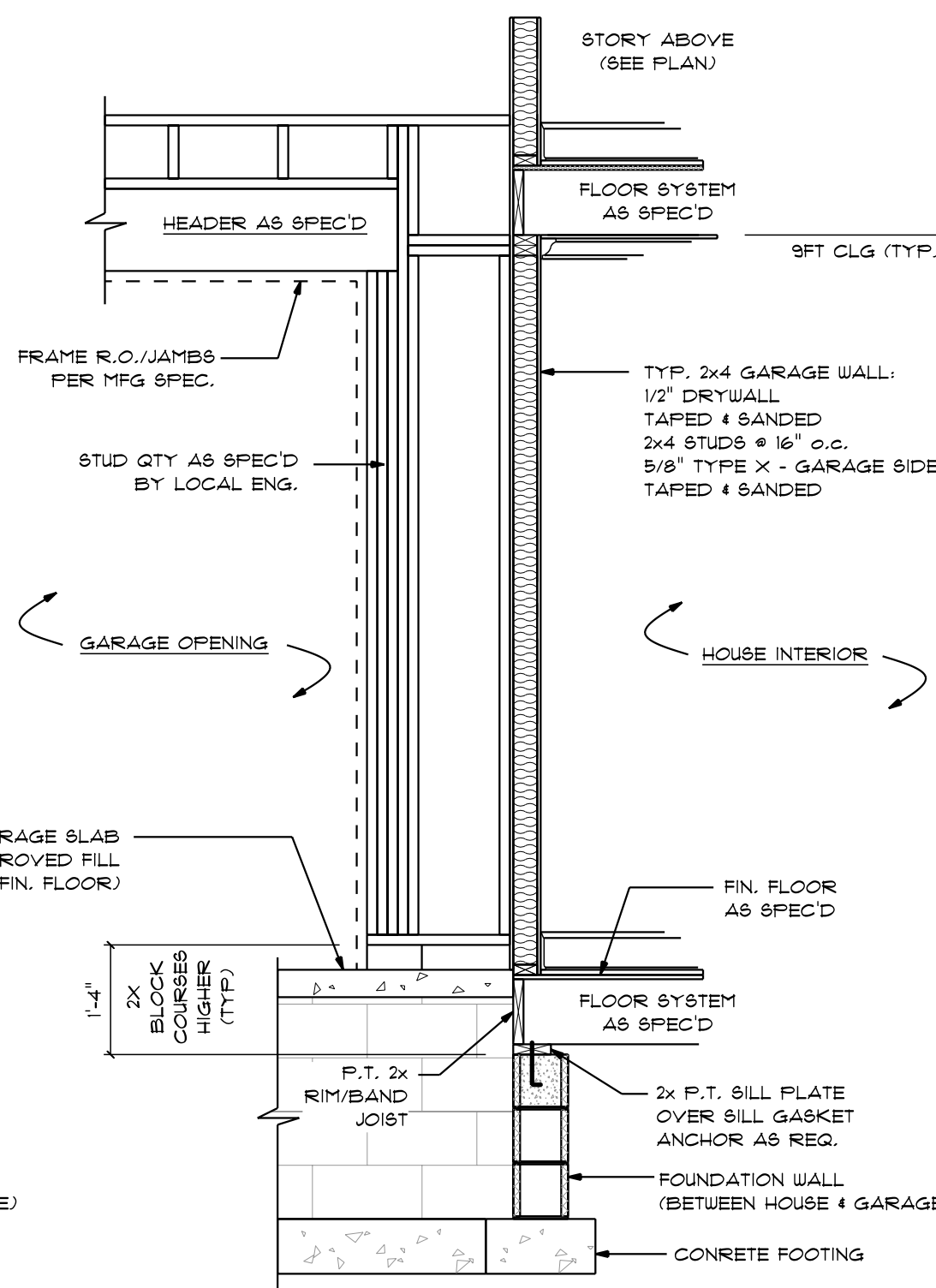
CURBLESS SHOWER FRAMING (TYP)
SCALE: 3/4" = 1'-0"



WALL BLOCKING AT SHOWER KNEE WALL (TYP)
SCALE: 1/2" = 1'-0"



EXTERIOR WALL



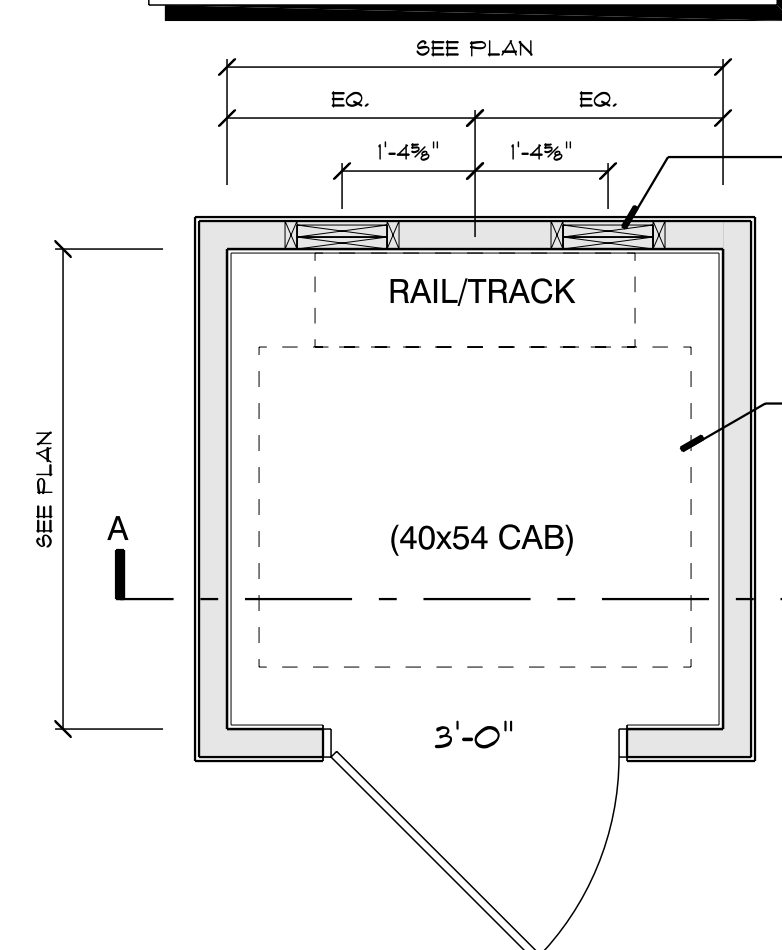
INTERIOR WALL

RAISED SLAB AT GARAGE (WHEN LOT ALLOWS)
SCALE: 1/2" = 1'-0"

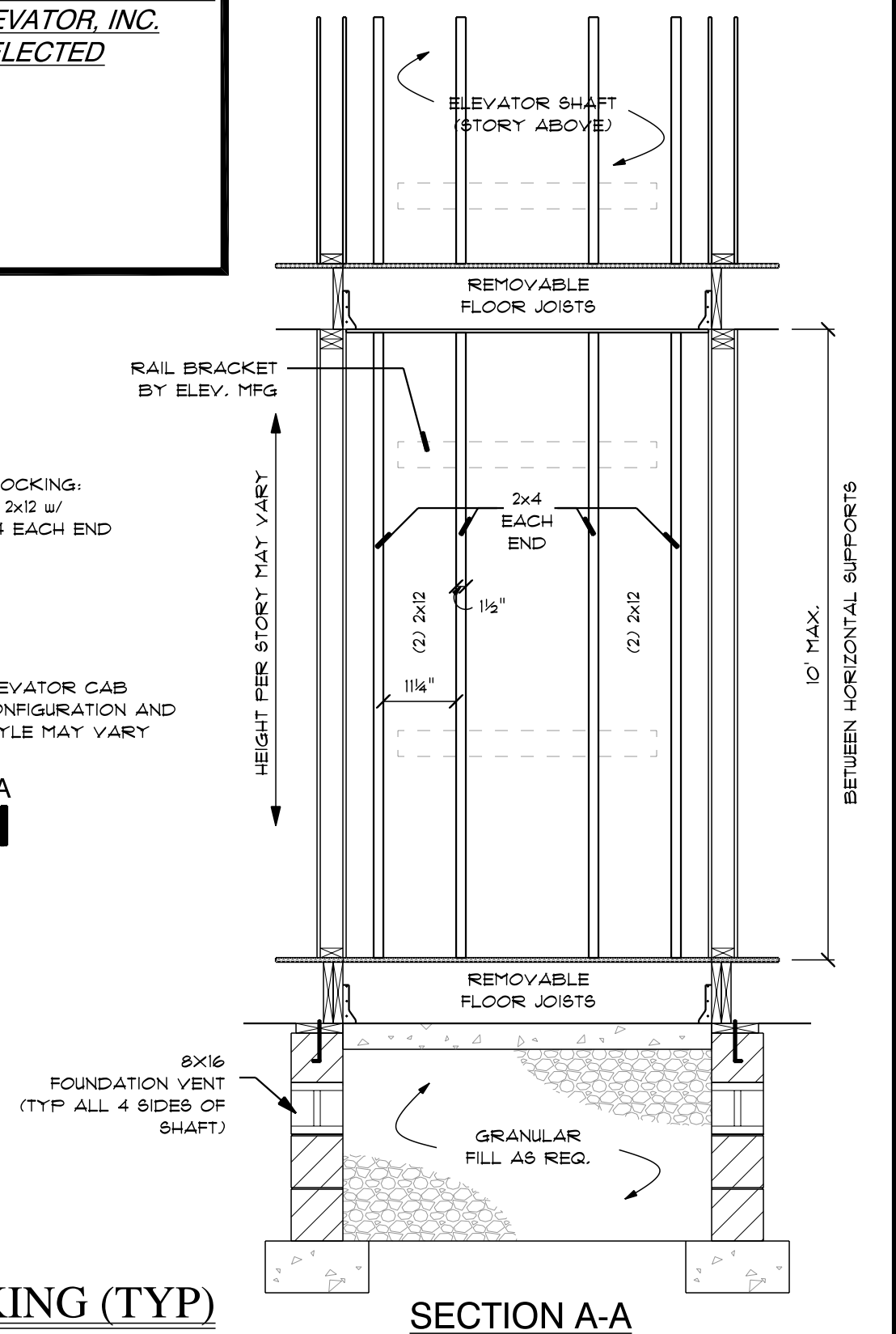
NOTE:
SHAFT SIZE, CAB, AND DOOR CONFIGURATION MAY VARY PER PLAN.
BUILDER/OWNER SHOULD CONTACT PORT CITY ELEVATOR, INC.
PRIOR TO FRAMING. TO ASSURE ACCURACY PER SELECTED
MODEL/STYLE LIFT TO BE INSTALLED.

PORT CITY ELEVATOR, INC.
5704 NIXON LANE, CASTLE HAYNE, NC 28429
(910)-790-9300
WWW.PORTCITYELEVATOR.COM

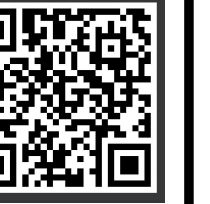
TYP. ELEVATOR SHAFT BLOCKING



ELEV. SHAFT BLOCKING (TYP)
SCALE: 1/2" = 1'-0"



SECTION A-A



Lifesage Home Designs
108 Wind Chime Court
Raleigh, NC 27615
919-630-1224
www.LifesageHomeDesigns.com



BUILDER:

PROJECT/PLAN:

TYP. DETAILS
D1

SCALE:
AS NOTED
DRAWN BY:
LHD
DATE:
06.21.2022

D1

FOR PERMIT 03.07.2023



ROSS LINDEN
ENGINEERS P C

PLAN ENGINEERING REMAINS THE PROPERTY OF ROSS LINDEN ENGINEERS PC AND ANY UNAUTHORIZED USE OR DUPLICATION IN WHOLE OR PART IS STRICTLY PROHIBITED. THESE DRAWINGS ARE OFFERED TO THE CLIENT FOR A CONDITIONAL ONE TIME USE. THE CONDITIONAL USE IS LIMITED TO THE LOT OR PROPERTY AS SPECIFIED HEREIN, AND ONLY FOR THE SAID LOCATION.

ROOST BUILDING COMPANY
991 BROWNING PLACE

PROJECT NO.
R230703

DESIGN BY LLR
3 AUG 2023

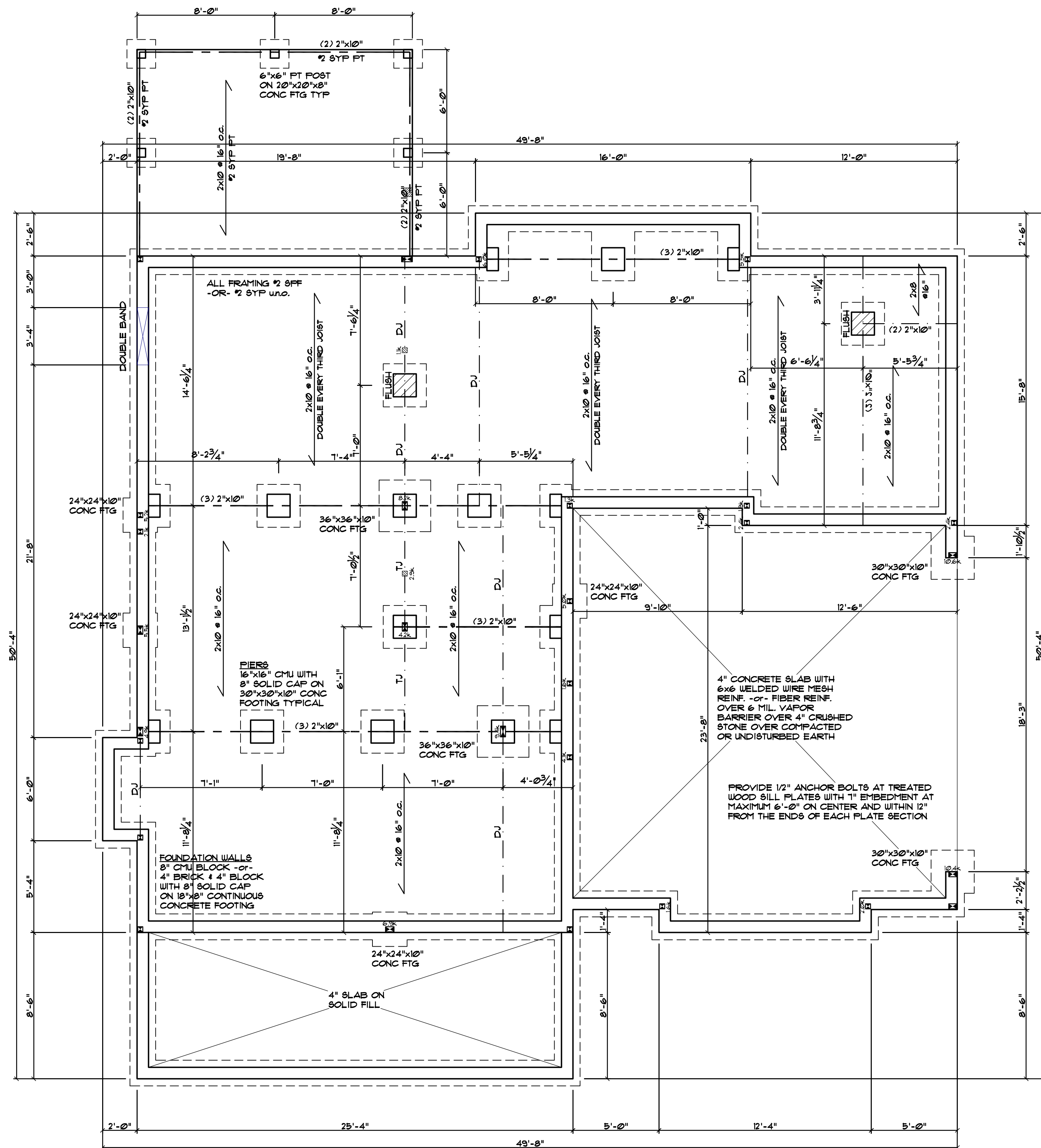
REVISION	DATE
221004	2 NOV 22
220201	2 MAR 22
-	-
-	-

FOUNDATION & FIRST FLOOR

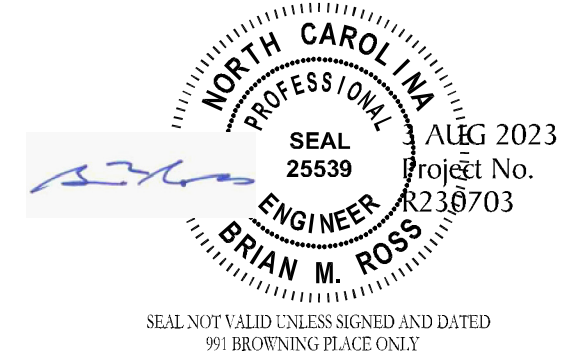
SHEET NO.

S1

F S5



FOUNDATION & FIRST FLOOR FRAMING
SCALE: 1/4" = 1'-0"



ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT CERTIFY ARCHITECTURAL LAYOUT OR DIMENSIONAL ACCURACY.
SEAL APPLIES ONLY FOR LOT NUMBER INDICATED AND SIGNED PLANS MAY NOT BE COPIED. FAILURE TO NOTIFY THE ENGINEER OF ADDITIONAL USE OF THE PLANS WILL VOID THE LIABILITY OF ROSS LINDEN ENGINEERS PC.

WALL BRACING SHALL BE IN ACCORDANCE WITH SECTION R602.10.3 CONTINUOUS SHEATHING. BRACING METHOD CS-WSP SHALL BE USED IN ACCORDANCE WITH TABLE R602.10.1.

THE REQUIRED LENGTH OF BRACING FOR EACH SIDE OF A RECTANGLE CIRCUMSCRIBED AROUND THE PLAN OR A PORTION OF THE PLAN AT EACH STORY LEVEL SHALL BE IN ACCORDANCE WITH TABLE R602.10.3 AND FIGURE R602.10.3(1), UNLESS NOTED OTHERWISE, THE ENTIRE STRUCTURE IS ASSUMED TO BE CIRCUMSCRIBED WITHIN A SINGLE RECTANGLE.

MINIMUM PANEL WIDTH IS 24". SEE SECTION R602.10.3 FOR ADDITIONAL INFORMATION. CONNECTION CRITERIA SHALL BE IN ACCORDANCE WITH TABLE R602.10.1. PORTAL FRAME CONSTRUCTION SHALL BE IN ACCORDANCE WITH FIGURE R602.10.1

HOLD DOWN DEVICE SHALL BE AS FOLLOWS:
SIMPSON L6T24 STRAP (OR EQUIVALENT) BETWEEN FLOORS
EXTENDING FROM BOTTOM OF FLOOR BAND UP STUDS WHERE
SHOWN.
SIMPSON HD3B HOLDOWN (OR EQUIVALENT) WHERE REQUIRED
TO CONNECT DIRECTLY TO FOUNDATION.

WIND SPEED: 115 mph
EAVE TO RIDGE HEIGHT: 12.33 ft
FIRST FLOOR:

SHORT SIDE LENGTH OF
CIRCUMSCRIBED RECTANGLE: 41.83 ft
REQUIRED LENGTH BRACING = 10.8 ft
PROVIDED LENGTH BRACING = 26.5 ft

LONG SIDE LENGTH OF
CIRCUMSCRIBED RECTANGLE: 49.67 ft
REQUIRED LENGTH BRACING = 12.9 ft
PROVIDED LENGTH BRACING = 18.33 ft



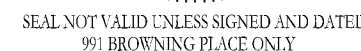
1. STRUCTURAL NOTES SHEET 05
2. FRAMING SHALL BE #2 SFF OR #2 SYP OR BETTER WITH A MINIMUM Fc = 800 PSI.
3. EXTERIOR AND BEARING HEADERS (2) 2"x10" u.n.o.
4.  DENOTES POINT LOAD. SEE CONSTRUCTION NOTE #4 ON 05.

FRAMING SYSTEM
JOIST LAYOUT AND FLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN. JOISTS SHALL BE DESIGNED FOR MAXIMUM 1/480 LIVE LOAD DEFLECTION. JOIST LAYOUT SHALL BE PROVIDED FOR REVIEW AND COORDINATED WITH THE ENGINEER OF RECORD.
INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

EXTEND HEADER AND PROVIDE C9-FF PORTAL FRAME
PANEL PER FIG. R602.10.1. PROVIDE L8T24 STRAP (OR
EQUIVALENT) EACH SIDE AS SHOWN. FASTEN SHEATHING
TO HEADER AND WALL FRAMING (EACH STUD) WITH 3d
NAILS @ 3" o.c. AS SHOWN. SEE FIG. R602.10.1 FOR
ADDITIONAL REQUIREMENTS. SEE SHEET S5 FOR DETAIL.

STRUCTURAL DESIGN IN ACCORDANCE
WITH: NORTH CAROLINA STATE
RESIDENTIAL CODE 2018 EDITION IRC

ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT CERTIFY ARCHITECTURAL LAYOUT OR DIMENSIONAL ACCURACY.
SEAL APPLIES ONLY FOR LOT NUMBER INDICATED AND SIGNED PLANS MAY NOT BE COPIED. FAILURE TO NOTIFY THE ENGINEER OF ADDITIONAL USE OF THE PLANS WILL VOID THE LIABILITY OF ROSS LINDEN ENGINEERS PC.



ROSS LINDEN
ENGINEERS P C

ROSS LINDEN ENGINEERS PC ASSUMES NO LIABILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THESE PLANS.

PLAN ENGINEERING REMAINS THE PROPERTY OF ROSS LINDEN ENGINEERS PC AND ANY UNAUTHORIZED USE OR DUPLICATION IN WHOLE OR PART IS STRICTLY PROHIBITED. THESE DRAWINGS ARE OFFERED TO THE CLIENT FOR A CONDITIONAL ONE TIME USE. THE CONDITIONAL USE IS LIMITED TO THE LOT OR PROPERTY AS SPECIFIED HEREIN, AND ONLY FOR THE SAID LOCATION.

ROOST BUILDING COMPANY
991 BROWNING PLACE

PROJECT NO.

R230703

DESIGN BY L

AUG 2023

REVISION
R221004
R220201

DATE
2 NOV 22
2 MAR 22

FIRST CEILING FRAMING

SHEET NO.

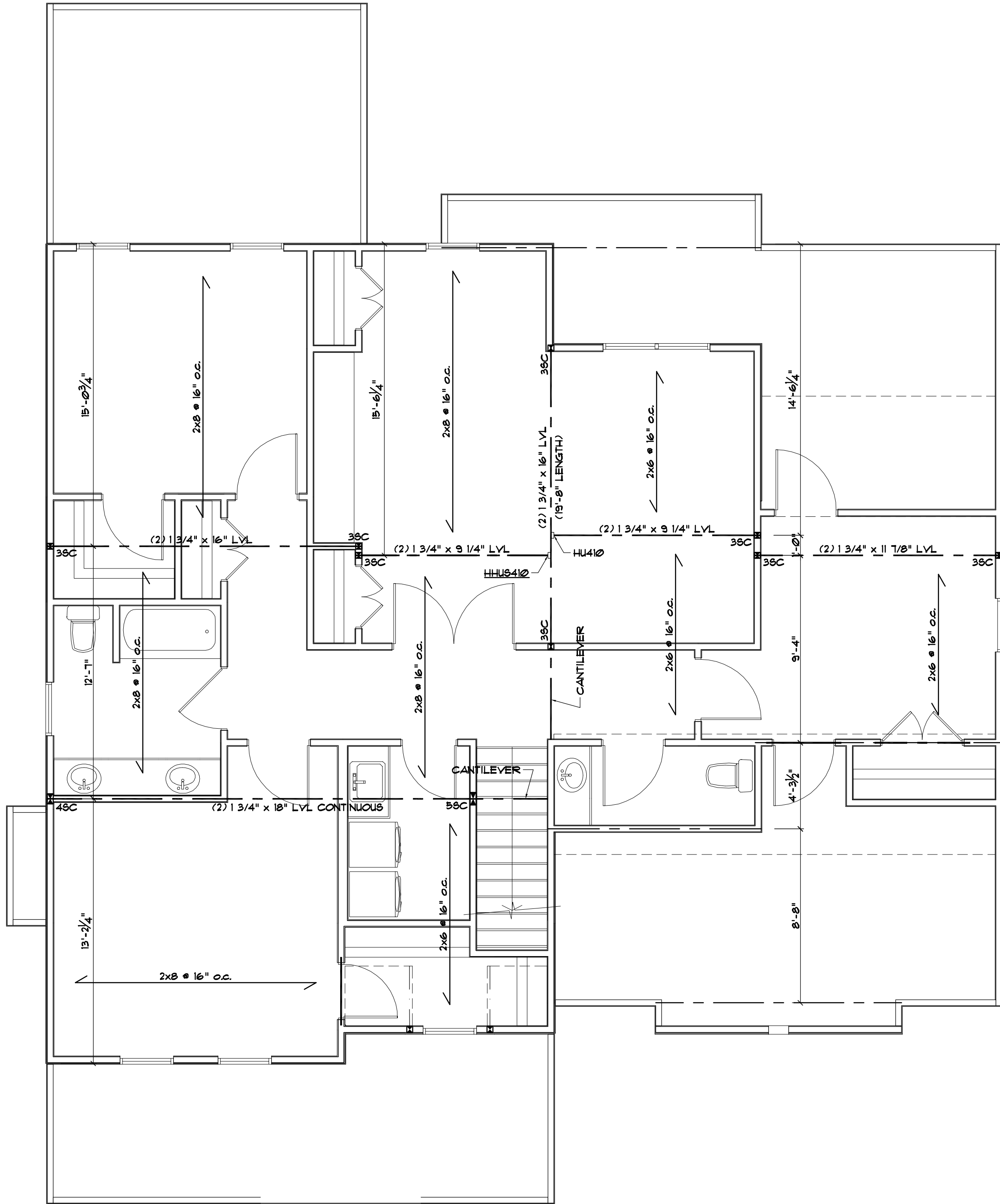
S2

DF S5

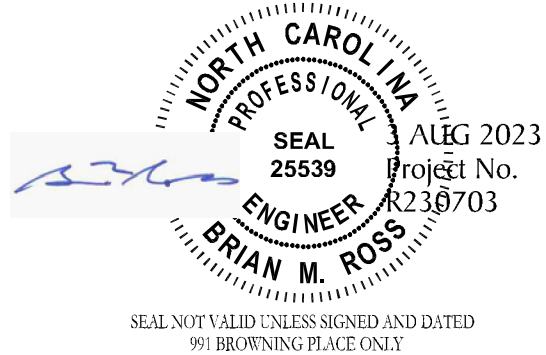
08 FEB 06.07.2023

NOTE:
PER SECTION R602.10.3.2, THE AMOUNT OF BRACING
PROVIDED ON THE SECOND STORY EQUALS OR
EXCEEDS THE AMOUNT OF BRACING FOR THE FIRST
STORY BELOW, THEREFORE A SEPARATE ANALYSIS
OF SECOND STORY BRACING IS NOT REQUIRED.

- FRAMING NOTES**
1. STRUCTURAL NOTES SHEET 05
 2. FRAMING SHALL BE #2 SPF OR #2 SYP OR BETTER WITH
A MINIMUM F_b = 8000 PSI.
 3. EXTERIOR AND BEARING HEADERS (2) 2"x10" u.s.p.
 4. $\square$ DENOTES POINT LOAD. SEE CONSTRUCTION NOTE #4
ON 05.

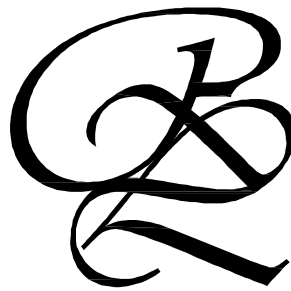


SECOND CEILING FRAMING
SCALE: 1/4" = 1'-0"



STRUCTURAL DESIGN IN ACCORDANCE
WITH: NORTH CAROLINA STATE
RESIDENTIAL CODE 2018 EDITION IRC

ENGINEER'S SEAL APPLIES TO STRUCTURAL
COMPONENTS ONLY AND DOES NOT
CERTIFY ARCHITECTURAL LAYOUT OR
DIMENSIONAL ACCURACY.
SEAL APPLIES ONLY FOR LOT NUMBER
INDICATED AND SIGNED PLANS MAY NOT BE
COPIED. FAILURE TO NOTIFY THE ENGINEER
OF ADDITIONAL USE OF THE PLANS WILL
VOID THE LIABILITY OF ROSS LINDEN
ENGINEERS PC.



709 W. JONES STREET
RALEIGH, NC 27603
TEL 919.832.5680
FAX 919.832.5675
WWW.ROSSLINDEN.COM

ROSS LINDEN
ENGINEERS PC

ROSS LINDEN ENGINEERS PC ASSUMES NO
LIABILITY FOR CHANGES OR MODIFICATIONS
MADE TO THESE PLANS BY OTHERS, OR FOR
CONSTRUCTION METHODS, OR FOR ANY
DEVIATION FROM THESE PLANS.

PLAN ENGINEERING REMAINS THE PROPERTY
OF ROSS LINDEN ENGINEERS PC AND ANY
UNAUTHORIZED USE OR REPRODUCTION IN
WHOLE OR PART IS STRICTLY PROHIBITED.
THESE DRAWINGS ARE OFFERED TO THE
CLIENT FOR A CONDITIONAL ONE TIME USE.
THE CONDITIONAL USE IS LIMITED TO THE
LOT OR PROPERTY AS SPECIFIED HEREIN,
AND ONLY FOR THE SAID LOCATION.

ROOST BUILDING COMPANY
991 BROWNING PLACE

PROJECT NO.
R230703

DESIGN BY LLR
3 AUG 2023

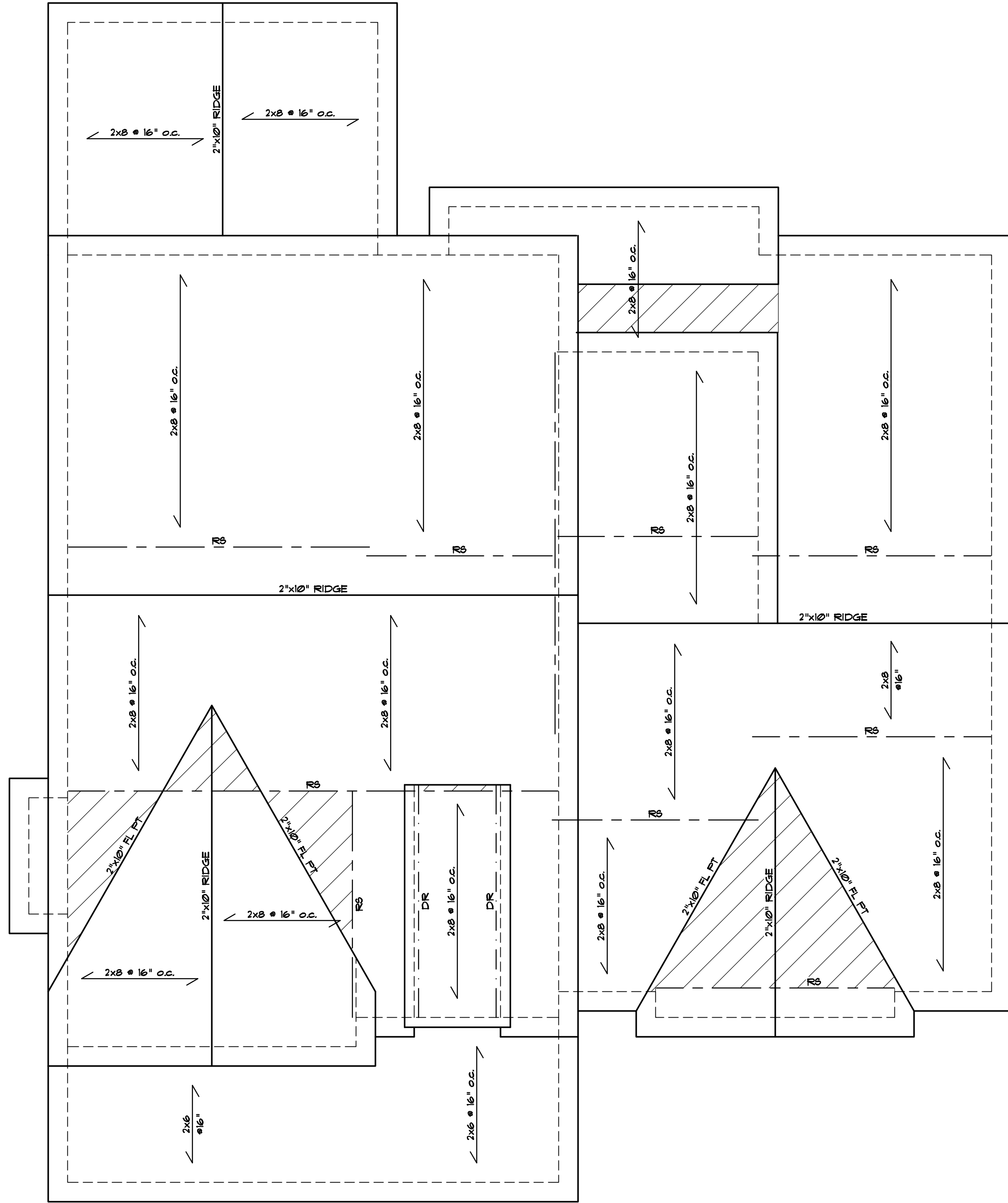
REVISION	DATE
R221004	2 NOV 22
R220201	2 MAR 22
.	.
.	.

**SECOND CEILING
FRAMING**

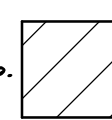
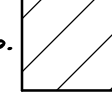
SHEET NO.
S3

OF 55

FOR PERMIT 08.07.2023



ROOF PLAN FRAMING
SCALE: 1/4" = 1'-0"

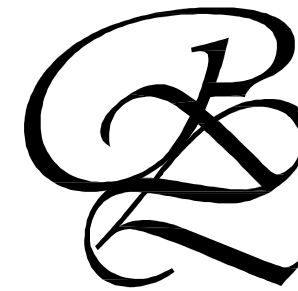
- ROOF FRAMING NOTES**
1. STRUCTURAL NOTES SHEET 85
 2. FRAMING SHALL BE #2 SPF OR #2 SYP OR BETTER WITH A MINIMUM FB = 800 PSI.
 3. PROVIDE 2x4 COLLAR TIES AT 48" O.C. AT UPPER THIRD OF RAFTERS *unl.* ON PLAN.
 4. FUR RIDGES FOR FULL RAFTER CONTACT
 5.  DENOTES POINT LOAD. SEE CONSTRUCTION NOTE #4 ON 85.
 6.  DENOTES OVERFRAMED AREA

PROVIDE 2x4 RAFTER TIES AT 16" O.C. AT 45° BETWEEN RAFTERS AND CEILING JOISTS. USE (4) 16d NAILS AT EACH CONNECTION. RAFTER TIES MAY BE SPACED AT 48" O.C. AT LOCATIONS WHERE NO KNEE WALLS ARE INSTALLED.



STRUCTURAL DESIGN IN ACCORDANCE WITH: NORTH CAROLINA STATE RESIDENTIAL CODE 2018 EDITION IRC

ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT CERTIFY ARCHITECTURAL LAYOUT OR DIMENSIONAL ACCURACY. SEAL APPLIES ONLY FOR LOT NUMBER INDICATED AND SIGNED PLANS MAY NOT BE COPIED. FAILURE TO NOTIFY THE ENGINEER OF ADDITIONAL USE OF THE PLANS WILL VOID THE LIABILITY OF ROSS LINDEN ENGINEERS PC.



709 W. JONES STREET
RALEIGH, NC 27603
TEL 919.832.5680
FAX 919.832.5675
WWW.ROSSLINDEN.COM

ROSS LINDEN
ENGINEERS PC

ROSS LINDEN ENGINEERS PC ASSUMES NO LIABILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THESE PLANS.

PLAN ENGINEERING REMAINS THE PROPERTY OF ROSS LINDEN ENGINEERS PC AND ANY UNAUTHORIZED USE OR REPLICATION IN WHOLE OR PART IS STRICTLY PROHIBITED. THESE DRAWINGS ARE OFFERED TO THE CLIENT FOR A CONDITIONAL ONE TIME USE. THE CONDITIONAL USE IS LIMITED TO THE LOT OR PROPERTY AS SPECIFIED HEREIN, AND ONLY FOR THE SAID LOCATION.

ROOST BUILDING COMPANY
991 BROWNING PLACE

PROJECT NO.
R230703

DESIGN BY LLR
3 AUG 2023

REVISION	DATE
R221004	2 NOV 22
R220201	2 MAR 22
-	-
-	-

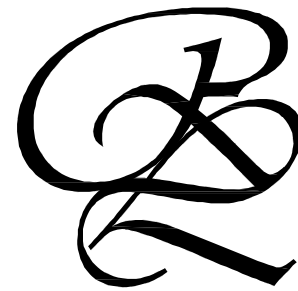
ROOF PLAN
FRAMING

SHEET NO.

S4

OF 55

FOR PERMIT 08.07.2023



709 W. JONES STREET
RALEIGH, NC 27603
TEL 919.832.5680
FAX 919.832.5675
WWW.ROSSLINDEN.COM

ROSS LINDEN
ENGINEERS PC

ROSS LINDEN ENGINEERS PC ASSUMES NO LIABILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THESE PLANS.

PLAN ENGINEERING REMAINS THE PROPERTY OF ROSS LINDEN ENGINEERS PC AND ANY UNAUTHORIZED USE OR DUPLICATION IN WHOLE OR PART IS STRICTLY PROHIBITED. THESE DRAWINGS ARE OFFERED TO THE CLIENT FOR A CONDITIONAL ONE TIME USE. THE CONDITIONAL USE IS LIMITED TO THE LOT OR PROPERTY AS SPECIFIED HEREIN, AND ONLY FOR THE SAID LOCATION.

ROOST BUILDING COMPANY
991 BROWNING PLACE

PROJECT NO.

R230703

DESIGN BY

LLR
3 AUG 2023

REVISION

R221004
R220201

DATE

2 NOV 22
2 MAR 22

STRUCTURAL
NOTES & DETAILS

SHEET NO.

S5

OF 55

STRUCTURAL NOTES

GENERAL

1. ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT CERTIFY ARCHITECTURAL LAYOUT OR DIMENSIONAL ACCURACY. ROSS LINDEN ENGINEERS PC ASSUMES NO LIABILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THE PLANS.

2. ALL CONSTRUCTION, WORKMANSHIP, MATERIAL QUALITY AND SELECTION SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA STATE BUILDING CODE - RESIDENTIAL CODE 2018 EDITION FROM THE INTERNATIONAL RESIDENTIAL CODE 2015 (IRC), AND LOCAL CODES AND REGULATIONS. DIMENSIONS SHALL GOVERN OVER SCALE AND CODE SHALL GOVERN OVER DIMENSIONS.

3. CONTACT THE ENGINEER PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS.

4. ONLY CURRENT SEALED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

DESIGN LOADS

TABLE R301.4	LIVE LOAD (PSF)	DEAD LOAD (PSF)
DWELLING UNITS	40	10
SLEEPING ROOMS	30	10
ATTICS WITH STORAGE	20	10
ATTICS WITHOUT STORAGE	10	10
ROOF SNOW	20	10
STAIRS	40	10
DECKS	40	10
EXTERIOR BALCONIES	60	10
PASSENGER VEHICLE GARAGES	50	-
FIRE ESCAPES	40	10
GUARDRAILS AND HANDRAILS	200	-

ADDITIONAL LOADS

TABLE R301.2(4) - BASIC DESIGN WIND SPEED 115 MPH

TABLE R301.2(7) - SEISMIC DESIGN CATEGORY B

TABLE R301.2(6) - DESIGN POSITIVE AND NEGATIVE PRESSURE FOR DOORS AND WINDOW FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS SHALL BE 25 PSF

TABLE R301.2(2) - COMPONENT AND CLADDING LOADS FOR A BUILDING LOCATED IN EXPOSURE B

ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE DESIGNED BASED ON ROOF PITCHES AND MEAN ROOF HEIGHT AS FOLLOWS:

ROOF PITCH	MEAN ROOF HEIGHT	0-30 FT	35 FT	40 FT
0:12 TO 2.25:12	45.4 PSF	47.7 PSF	49.5 PSF	
2.25:12 TO 7:12	54.9 PSF	56.5 PSF	57.9 PSF	
7:12 TO 12:12	71.0 PSF	72.1 PSF	72.9 PSF	

WALL CLADDING SHALL BE DESIGNED FOR A 24.1 PSF POSITIVE AND NEGATIVE PRESSURE

MATERIALS

1. FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) OR #2 SOUTHERN YELLOW PINE (SYP) OR BETTER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
Fb = 800 PSI Fv = 135 PSI E = 1,466 PSI

2. FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE #2 SOUTHERN YELLOW PINE (SYP) TREATED IN ACCORDANCE WITH ANPA C22 WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
Fb = 800 PSI Fv = 175 PSI E = 1,466 PSI

3. ENGINEERED WOOD BEAMS SHALL BE LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
Fb = 2600 PSI Fv = 285 PSI E = 1,966 PSI
THE FOLLOWING PRODUCTS MEET OR EXCEED THE ABOVE SPECIFICATIONS AND MAY BE USED AT THE LOCATION INDICATED ON THE PLANS:
BROADSPAN 1.9E-2750Fb LVL BY GEORGIA PACIFIC
LEVEL TRUS JOIST 1.9E MICROLAM LVL BY WEYERHAEUSER

4. STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992 OR A572, GRADE 50. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36.

5. BOLTS SHALL CONFORM TO A325 MINIMUM GRADE.

6. REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60.

7. SEE TABLE R602.3(1) FOR STRUCTURAL MEMBER FASTENING REQUIREMENTS.

8. POURED CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACT 318 OR ASTM C 1157.

9. CONCRETE LOCATED PER TABLE R402.2 SHALL BE AIR ENTRAINED WITH THE TOTAL AIR CONTENT NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT.

10. MASONRY UNITS SHALL CONFORM TO ACT 530/ASCE 5/TMS 402 AND MORTAR SHALL COMPLY WITH ASTM C 270.

CONSTRUCTION

1. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH. BEAMS MUST BE ANCHORED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR TWO 1/2" x 4" LAG SCREWS.

2. ENGINEERED WOOD BEAMS SHALL BE INSTALLED WITH ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.

3. ALL BEAMS SHALL BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED WITH A MINIMUM OF THREE STUDS.

4. SOLID BLOCKING SHALL BE PROVIDED AT ALL POINT LOADS TO TRANSFER LOADS THROUGH FLOOR LEVELS. COLUMNS SHALL BE CONTINUOUS TO THE FOUNDATION OR TO OTHER STRUCTURAL ELEMENTS.

5. ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS SHALL BE PROVIDED FOR REVIEW AND COORDINATED WITH THE ENGINEER OF RECORD. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ROOF TRUSS DRAWINGS SHALL BE SIGNED AND SEALED BY THE MANUFACTURER AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

6. WALL BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION R602.10 OF THE NORTH CAROLINA RESIDENTIAL CODE.

A. EXTERIOR WALLS ARE ASSUMED TO BE BRACED WALL LINES. ADDITIONAL INTERIOR WALLS MAY ALSO BE USED AS BRACED WALL LINES WHERE APPLICABLE. SEE PLAN FOR LOCATIONS.

B. THE EXTERIOR OF THE STRUCTURE SHALL BE CONTINUOUSLY SHEATHED WITH 1/2" WOOD STRUCTURAL SHEATHING (PLYWOOD OR OSB) PER CODE SECTION R602.10.3. EXTERIOR BRACED WALL LINES ARE ASSUMED TO BE BRACED WITH CS-WSP (WOOD STRUCTURAL PANEL) BRACED WALL PANELS. ALTERNATE BRACING METHODS, IF USED, MUST BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE CODE AND MUST BE REVIEWED BY THE ENGINEER PRIOR TO CONSTRUCTION.

C. INTERIOR BRACED WALL LINES ARE CONSIDERED TO BE BRACED WITH 1/2" GB (GYPSUM BOARD) BRACED WALL PANELS. SEE TABLE R602.10.2 FOR CONNECTION CRITERIA.

D. SEE PLANS FOR SPECIAL WALL BRACING REQUIREMENTS FOR GARAGE WALLS AND OTHER WALLS WITH MULTIPLE OR LARGE OPENINGS.

7. STEEL FLITCH BEAMS SHALL BE FASTENED TOGETHER WITH 1/2" DIAMETER BOLTS WITH WASHERS PLACED UNDER THE THREADED END OF THE BOLT. BOLTS SHALL BE SPACED AT MAXIMUM 24" o.c. STAGGERED TOP AND BOTTOM OF BEAM WITH A MINIMUM 2" EDGE DISTANCE. TWO BOLTS SHALL BE LOCATED AT 6" FROM EACH END OF FLITCH BEAM.

8. BRICK LINTELS SHALL BE 3 1/2 x 3 1/2 x 1/4 STEEL ANGLE FOR UP TO 6'-0" MAXIMUM SPAN AND 6 x 4 x 5/16 FOR SPANS GREATER THAN 6'-0".

9. BRICK LINTEL S AT SLOPED AREAS SHALL BE 4 x 3 1/2 x 1/4 STEEL ANGLE WITH 16d NAILS IN 3' 16" HOLES IN 4" ANGLE LEG AT 12" o.c. TO TRIPLE RAFTER. WHEN THE SLOPE EXCEEDS 4:12 A MINIMUM OF 3 x 3 x 1/4 PLATES SHALL BE WELDED AT 24" o.c. ALONG THE STEEL ANGLE.

FOUNDATION

1. MINIMUM ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL BEARING CAPACITY.

2. CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OR IN ACCORDANCE WITH ACT 318, NCMA TR68-A, OR ACT 530/ASCE 5/TMS 402.

3. MASONRY AND POURED CONCRETE WALL REINFORCEMENT SHALL BE IN ACCORDANCE WITH TABLE R404.1.1 (1 THROUGH 4) OF THE NORTH CAROLINA RESIDENTIAL CODE.

A. PER R404.1.3, TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.

B. WALL REINFORCING SHALL BE PLACED ACCORDING TO FOOTNOTE (c) OF THE TABLES (REINFORCING IS NOT CENTERED IN WALL).

C. FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER R405.

4. WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT SPACED A MAXIMUM OF 6'-0" o.c. AND WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION.

5. THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.

6. CENTERS OF PIERS SHALL BEAR IN THE MIDDLE THIRD OF THE BEARING, AND GIRDERS SHALL CENTER IN THE MIDDLE THIRD OF THE PIERS.

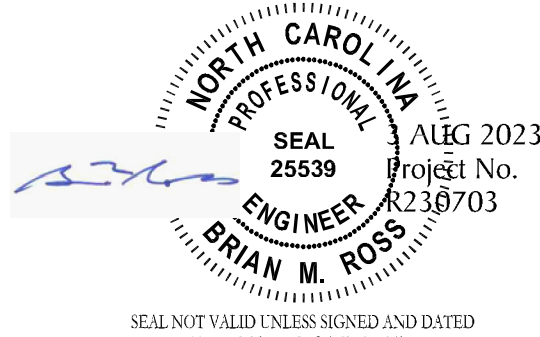
7. ALL FOOTINGS SHALL HAVE MINIMUM 2" PROJECTION ON EACH SIDE OF FOUNDATION WALLS.

ABBREVIATIONS

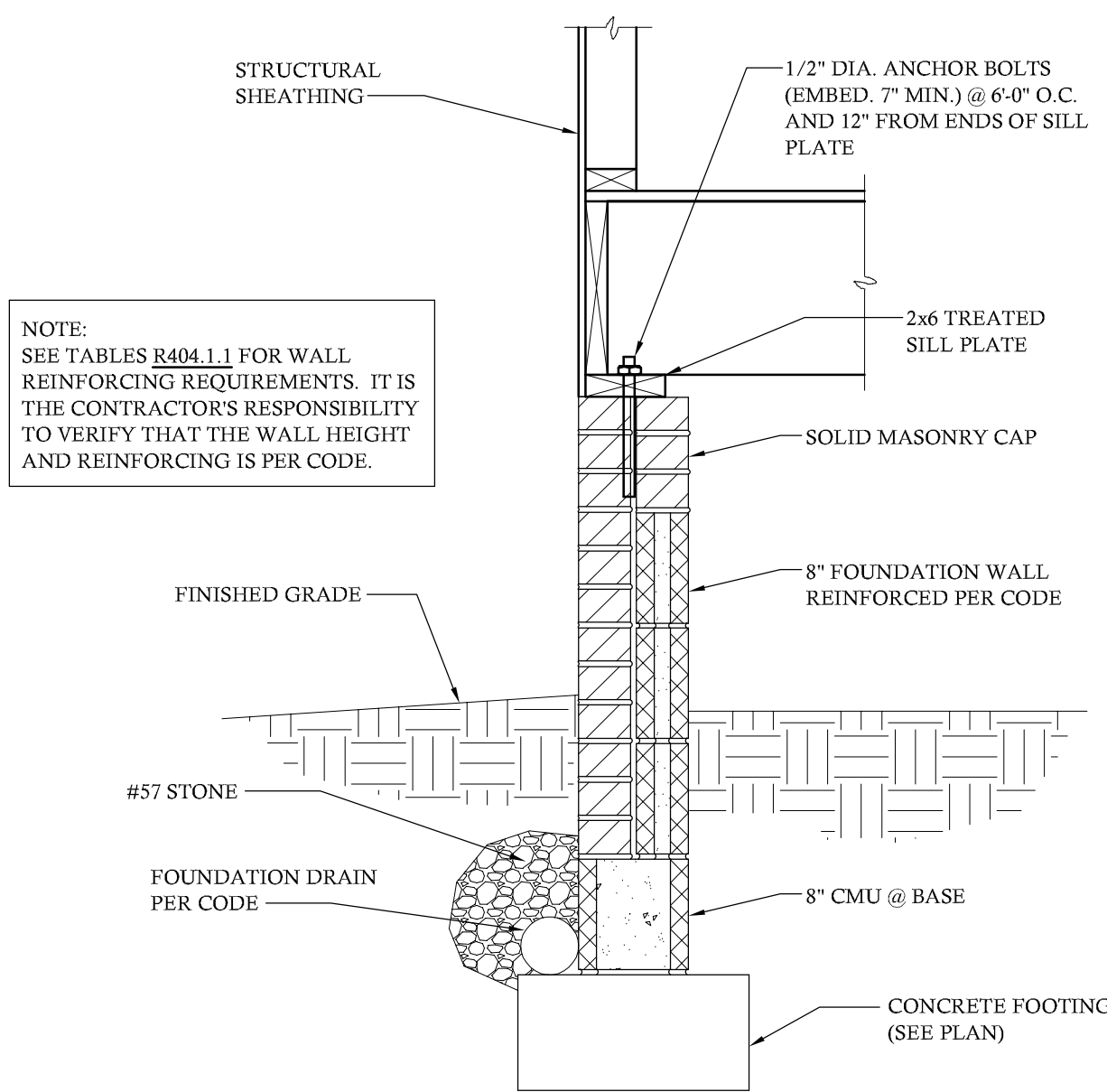
CONC	CONCRETE
CONT	CONTINUOUS
DBL	DOUBLE
DJ	DOUBLE JOIST
DSP	DOUBLE STUD POCKET
EA	EACH
FL PT	FLAT PLATE
FTG	FOOTING
HGR	HANGER
LVL	LAMINATED VENEER LUMBER
NTS	NOT TO SCALE
OC	ON CENTER
PT	PRESSURE TREATED
RS	RAFTER SUPPORT
SC	STUD COLUMN
SP	STUD POCKET
TJ	TRIPLE JOIST
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
XJ	EXTRA JOIST

STRUCTURAL DESIGN IN ACCORDANCE WITH: NORTH CAROLINA STATE RESIDENTIAL CODE 2018 EDITION IRC

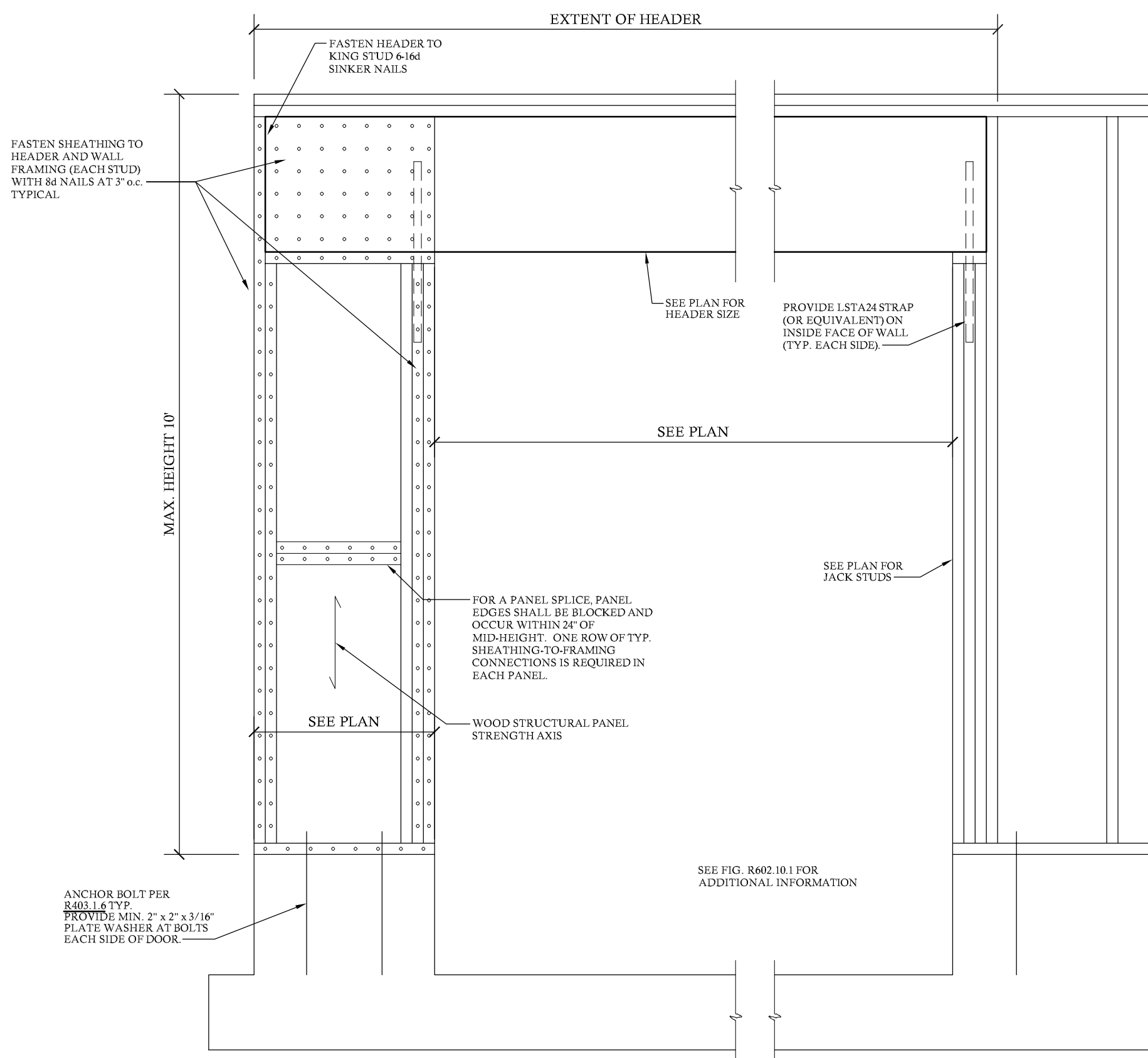
ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT CERTIFY ARCHITECTURAL LAYOUT OR DIMENSIONAL ACCURACY. SEAL APPLIES ONLY FOR LOT NUMBER INDICATED AND SIGNED PLANS MAY NOT BE COPIED. FAILURE TO NOTIFY THE ENGINEER OF ADDITIONAL USE OF THE PLANS WILL VOID THE LIABILITY OF ROSS LINDEN ENGINEERS PC.



SEAL NOT VALID UNLESS SIGNED AND DATED 991 BROWNING PLACE ONLY



8" FOUNDATION WALL
SCALE: 1" = 1'-0"



CS-PF PORTAL FRAME BRACED WALL PANEL
NO SCALE
BASED ON FIG. R602.10.1