

I, MICHAEL A. MOSS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE SOURCE OF INFORMATION FOR THE SURVEY IS SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED; THAT THE RATIO OF PRECISION IS GREATER THAN 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL *Michael A. Moss* THIS 22ND DAY OF July, 2019.

Michael A. Moss
PROFESSIONAL LAND SURVEYOR (L-3794)



I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON WHICH WAS CONVEYED TO ME BY DEED RECORDED IN THE GRANVILLE COUNTY REGISTER OF DEEDS OFFICE IN BOOK PAGE AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT. FURTHER, I HEREBY CERTIFY THAT THE LAND AS SHOWN HEREON IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF GRANVILLE COUNTY, NORTH CAROLINA.

Kji Ahl
DATE _____ OWNER

I HEREBY CERTIFY THAT A GUARANTEE OF COMPLETION OF THE REQUIRED IMPROVEMENTS FOR THIS SUBDIVISION HAS BEEN SUBMITTED AND APPROVED BY THE BOARD OF COMMISSIONERS PURSUANT TO SECTION 32-1058 OF THE GRANVILLE COUNTY LAND DEVELOPMENT ORDINANCE.

5/24/2019 *Barry Baker*
DATE _____ COUNTY MANAGER
GRANVILLE COUNTY, NORTH CAROLINA

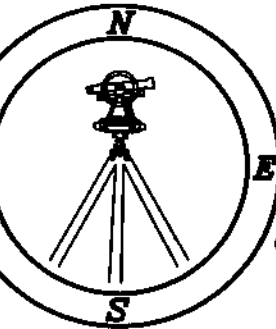
I HEREBY CERTIFY THAT THE SUBDIVISION AS DEPICTED HEREON HAS BEEN GRANTED FINAL APPROVAL PURSUANT TO THE GRANVILLE COUNTY SUBDIVISION REGULATIONS AND REQUIREMENTS CITED THEREIN.

5-24-19 *Barry Baker*
DATE _____ DIRECTOR OF PLANNING

GRANVILLE COUNTY, NORTH CAROLINA
I, *Barry Baker*, REVIEW OFFICER OF GRANVILLE COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

5-24-19 *Barry Baker*
DATE _____ REVIEW OFFICER

PRESENTED FOR REGISTRATION THIS _____ DAY OF _____ 2019 AT _____ O'CLOCK _____ M. AND REGISTERED IN THE OFFICE OF REGISTER OF DEEDS FOR GRANVILLE COUNTY, N.C. BOOK NO. _____ PAGE _____ REGISTER OF DEEDS: _____



I, MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794, CERTIFY THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

Michael A. Moss
MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794

Doc ID: 003332610001 Type: CRP
Recorded: 05/24/2019 at 04:08:32 PM
Fee Amt: \$21.00 Page 1 of 1
Granville County, NC
Kathy M. Taylor Reg of Deeds
BK 48 PG 51

NOTES:

- AREA COMPUTED BY COORDINATE METHOD.
- THERE IS NO MOSS MONUMENT WITHIN 2000' FEET OF THIS PROPERTY.
- THIS PROPERTY MAY BE SUBJECT TO REUSE RIVER RIPARIAN BUFFER RULES. CALL N.C. DIVISION OF WATER QUALITY TO VERIFY (919-791-4200)
- MAIL KIOSK AND ASSOCIATED PARKING WILL BE EVALUATED BY NCDOT BEFORE APPROVAL AND INSTALLATION.
- MAINTENANCE OF THE PUBLIC DRAINAGE EASEMENT IS THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER(S). THE EASEMENT ALLOWS THE NCDOT THE RIGHT TO ACCESS THE DRAINAGE EASEMENTS AND PERFORM WORK IT DEEMS NECESSARY OR PRUDENT TO ALLEVIATE ANY ISSUES JEOPARDIZING THE INTEGRITY OF THE ROADWAY. IT IS THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER(S) TO MAINTAIN TO MAINTAIN THE EASEMENT TO ALLOW POSITIVE CONVEYANCE OF STORM WATER.
- SIGHT DISTANCE TRIANGLES TAKE PRECEDENCE OVER OTHER EASEMENTS.
- ONLY NCDOT APPROVED STRUCTURES ALLOWED WITH IN THE RIGHT OF WAY.
- ALL LOTS MUST BE INTERNALLY SERVED (IF APPLICABLE).
- THE OPERATION AND MAINTENANCE AGREEMENT ACKNOWLEDGES THAT THE HOME OWNERS ASSOCIATION SHALL CONTINUOUSLY OPERATE AND MAINTAIN THE STRUCTURAL STORM WATER CONTROLS AT NO COST TO THE DIVISION OF HIGHWAYS.
- THE DECORATIVE POST AND SIGNS WILL NOT BE MAINTAINED BY THE NCDOT AND WILL BE THE RESPONSIBILITY OF THE DEVELOPER/HOME OWNERS ASSOCIATION.
- THE HOME OWNER'S ASSOCIATION IS RESPONSIBLE FOR MAINTAINING THE PERMANENT STORMWATER CONTROL STRUCTURE AS DIRECTED BY THE GOVERNMENT OFFICE HAVING JURISDICTION FOR WATERSHED PROTECTION AND THEIR ASSIGNS WILL HAVE THE RIGHT TO ACCESS THE PERMANENT STORMWATER CONTROLS FOR INSPECTIONS AND MAINTENANCE ENFORCEMENT.
- THE RIPARIAN BUFFERS SHOWN ON THIS PLAT ARE PROTECTED AS DESCRIBED IN 15A NCAC 02B.0233. LAND DISTURBANCE WITHIN THE RIPARIAN BUFFER IS PROHIBITED WITHOUT THE APPROVAL FROM NCDOT AND/OR THE GRANVILLE COUNTY STORMWATER ADMINISTRATOR.
- SEE 'STORMWATER FACILITY' AND COVENANTS (RESIDENTIAL VERSION) BETWEEN HOPE VALLEY, ABSHIRE VENTURES LLC, & GRANVILLE COUNTY RECORDED IN THE GRANVILLE COUNTY REGISTRY.
- LOTS 1,4,9, & 18 ARE CORNER LOTS AND ARE REQUIRED TO BE 50' FROM BOTH STREET SETBACKS.
- SETBACKS ON LOTS 1 & 18 ARE MEASURED FROM THE THOROUGHFARE PRESERVATION LINE.
- FALLS WATERSHED STATEMENT: THE DEVELOPMENT IN THE SUBDIVISION IS SUBJECT TO AN APPROVED STORMWATER PLAN AND MUST COMPLY WITH APPROVED STORMWATER PLAN AND FALLS WATERSHED STORMWATER REGULATIONS.

NOTE:
THE LOTS SHOWN ON THIS PLAT ARE SUBJECT TO THE FALLS WATERSHED STORMWATER ORDINANCE ("ORDINANCE") FOR NEW DEVELOPMENT. BEFORE DEVELOPMENT ACTIVITY OF ANY KIND IS BEGUN ON ANY LOT SHOWN ON THIS PLAT, YOU ARE ADVISED TO CONTACT THE GRANVILLE COUNTY PLANNING AND ZONING DEPARTMENT. YOU ARE ALSO ADVISED THAT COMPLIANCE WITH THE ORDINANCE MAY BE EASIER AND/OR MORE ECONOMICAL IF A COMMON STORMWATER PLAN IS DEVELOPED FOR ALL LOTS ON THIS PLAT. YOU CANNOT DEVELOP THESE LOTS IN ANY WAY WITHOUT AN APPROVED STORMWATER PLAN.

All development must conform with the approved stormwater plan.

REFERENCES:

- D.B. 1677 PAGES 935-967
- D.B. 1635 PAGES 672-673
- P.B. 46 PAGE 184
- P.B. 40 PAGE 86
- P.B. 11 PAGE 62
- P.B. 18 PAGE 39
- P.B. 32 PAGE 131
- P.B. 12 PAGE 189
- P.B. 10 PAGE 27

MINIMUM BUILDING SETBACKS:

- STREET 50.0'
- SIDE 15.0'
- REAR 25.0'

OWNER/DEVELOPER:

ABSHIRE VENTURES, LLC
7233 THOMPSON MILL ROAD
WAKE FOREST, NC 27587

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	N 51°57'04" E	116.44'
L-2	N 18°00'17" W	52.01'
L-3	N 18°00'17" W	52.01'
L-4	N 72°38'30" W	82.29'
L-5	N 66°34'52" E	93.64'
L-6	S 83°40'22" E	63.97'
L-7	S 61°27'18" W	51.53'
L-8	N 61°27'18" E	52.47'

CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C-1	39.51'	25.00'	35.52'	S 16°11'07" W
C-2	107.59'	425.00'	107.30'	N 68°42'26" E
C-3	148.53'	425.00'	147.77'	S 85°58'16" W
C-4	69.28'	475.00'	69.22'	N 88°11'43" W
C-5	129.58'	475.00'	129.18'	S 79°48'39" W
C-6	108.86'	425.00'	108.56'	N 10°40'00" W
C-7	108.46'	425.00'	108.16'	S 03°58'56" W
C-8	112.73'	475.00'	112.46'	N 04°29'40" E
C-9	130.16'	475.00'	129.76'	S 10°09'16" E
C-10	39.27'	25.00'	35.36'	N 26°59'43" E
C-11	39.27'	25.00'	35.36'	S 63°00'17" E
C-12	177.93'	425.00'	176.64'	N 83°59'21" E
C-13	7.36'	475.00'	7.36'	N 84°27'38" W
C-14	167.29'	475.00'	166.43'	S 85°00'23" W
C-15	111.61'	475.00'	111.35'	S 68°11'09" W
C-16	39.03'	25.00'	35.19'	N 73°48'53" W

LEGEND:

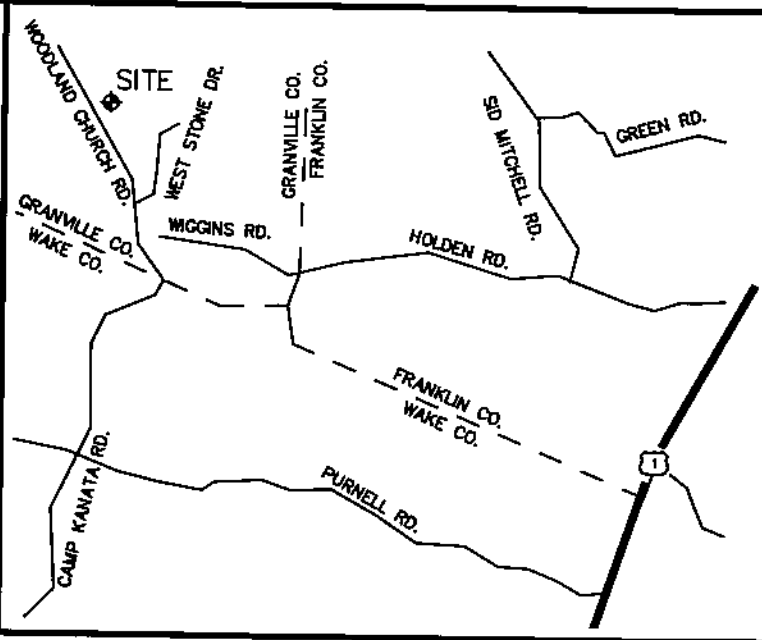
- ONIP - NEW IRON PIPE
- SPK - SET PK NAIL
- EPK - EXISTING PK NAIL
- EIP - EXISTING IRON PIPE
- EIB - EXISTING IRON BAR
- BEIB - BENT EXISTING IRON BAR
- PP - POWER POLE
- OHL - OVERHEAD POWER LINE
- LP - LIGHT POLE
- PV - POWER VAULT
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- HYD - FIRE HYDRANT
- WV - WATER VALVE
- WM - WATER METER
- DI - DRAIN INLET
- CO - SEWER CLEAN OUT
- EOP - EDGE OF PAVEMENT
- RCP - REINFORCED CONCRETE PIPE
- S.T. - SIGHT TRIANGLE
- R/W - RIGHT OF WAY
- EOP - EDGE OF PAVEMENT

LINE TYPE LEGEND

- PROPERTY LINE - LINE SURVEYED
- RIGHT-OF-WAY
- ADJOINING LINE - LINE NOT SURVEYED
- OVERHEAD LINE
- BUILDING SETBACK
- EASEMENT
- BUFFER
- FLOOD HAZARD SOILS

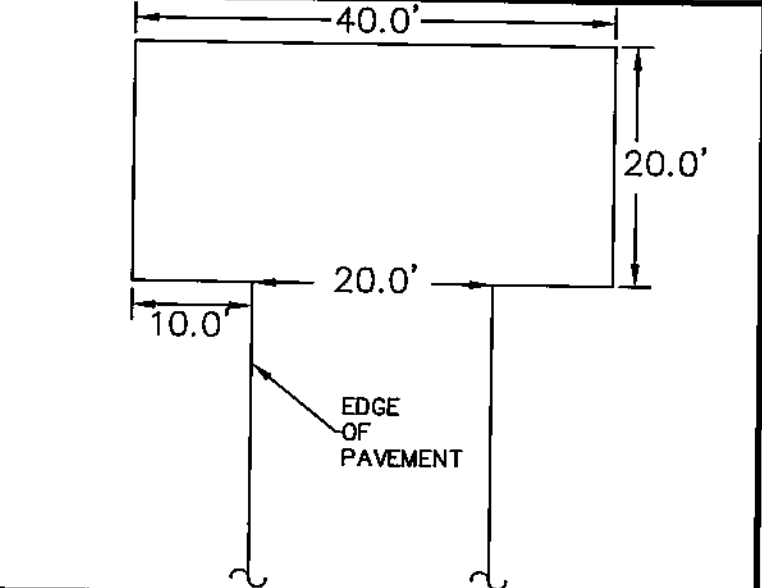
SITE DATA TABLE

- TOTAL AREA = 24.477 AC.
- (TO BE SUBDIVIDED)
- LESS R/W = 2.543 AC.
- NET AREA = 21.934 AC.
- TOTAL LOTS = 18
- AVERAGE LOT SIZE = 1.219 AC.
- TOTAL ROAD LENGTH 2,026'
- PROPOSED USE - RESIDENTIAL SINGLE FAMILY SUBDIVISION



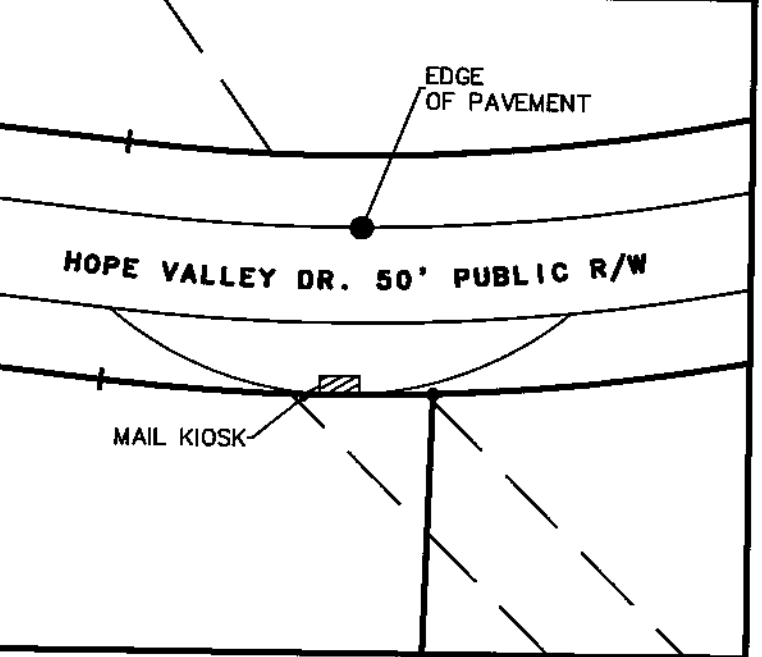
VICINITY MAP

SCALE N.T.S.



TEMPORARY TURNARIUND

SCALE N.T.S.



MAIL KIOSK DETAIL

SCALE 1" = 40'
(0 PARKING SPACES)

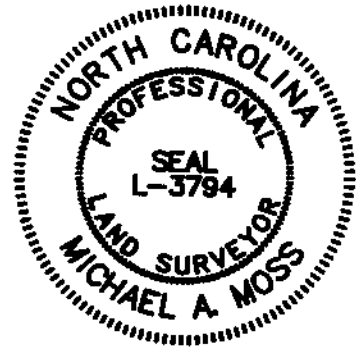
FINAL SUBDIVISION PLAT FOR HOPE VALLEY SUBDIVISION

OWNER: ABSHIRE VENTURES LLC
REF: D.B. 1677 PAGES 935-967
REF: D.B. 1635 PAGES 672-673
REF: P.B. 46 PAGE 184
REF: P.B. 40 PAGE 86
BRASSFIELD TOWNSHIP
GRANVILLE COUNTY, NORTH CAROLINA



SCALE 1"=120'
JULY 6, 2018
ZONING: AR-40
PIN# 1823.00-93-3178
SHEET 1 OF 2

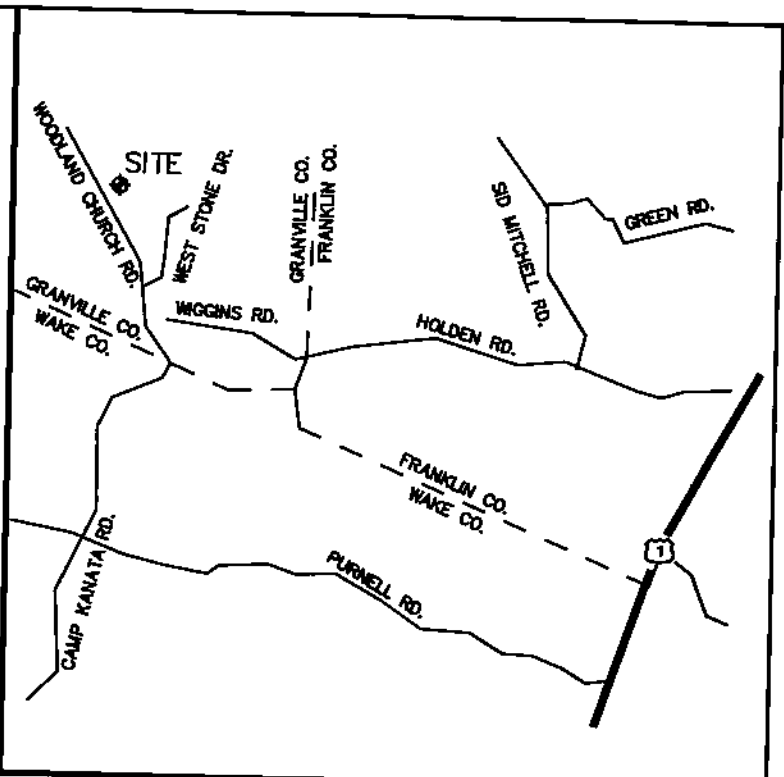
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THIS 22ND DAY OF JANUARY, 2019.
PROFESSIONAL LAND SURVEYOR (L-3794)

LEGEND:

- NIP - NEW IRON PIPE
- SPK - SET PK NAIL
- EPK - EXISTING PK NAIL
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- EIB - EXISTING IRON BAR
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LINE TYPE LEGEND

- PROPERTY LINE - LINE SURVEYED
- - - RIGHT-OF-WAY
- - - ADJOINING LINE - LINE NOT SURVEYED
- - - OVERHEAD LINE
- - - BUILDING SETBACK
- - - EASEMENT
- - - BUFFER
- - - FLOOD HAZARD SOILS

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- SEE SHEET 1 OF 2 FOR LINE AND CURVE TABLES.
- SEE SHEET 1 OF 2 FOR ALL GOVERNMENTAL SIGNATURES.
- SEE SHEET 1 OF 2 FOR TEMPORARY TURNAROUND DETAILS.
- SEE SHEET 1 OF 2 FOR MAIL KIOSK DETAIL.

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BRASSFIELD TOWNSHIP
GRANVILLE COUNTY, NORTH CAROLINA

Wake Forest
27587

REFERENCES:

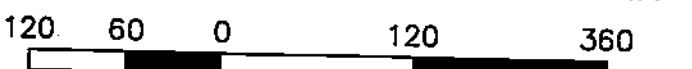
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OWNER/DEVELOPER:

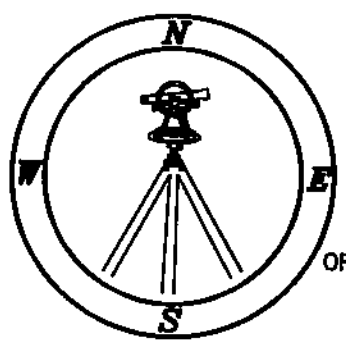
ABSHIRE VENTURES, LLC
7233 THOMPSON MILL ROAD
WAKE FOREST, NC 27587

MINIMUM BUILDING SETBACKS:

STREET	50.0'
SIDE	15.0'
REAR	25.0'



SCALE 1"=120'
JULY 6, 2018
ZONING: AR-40
PIN# 1823.00-93-3178
SHEET 2 OF 2



I, MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794, CERTIFY THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794

CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148