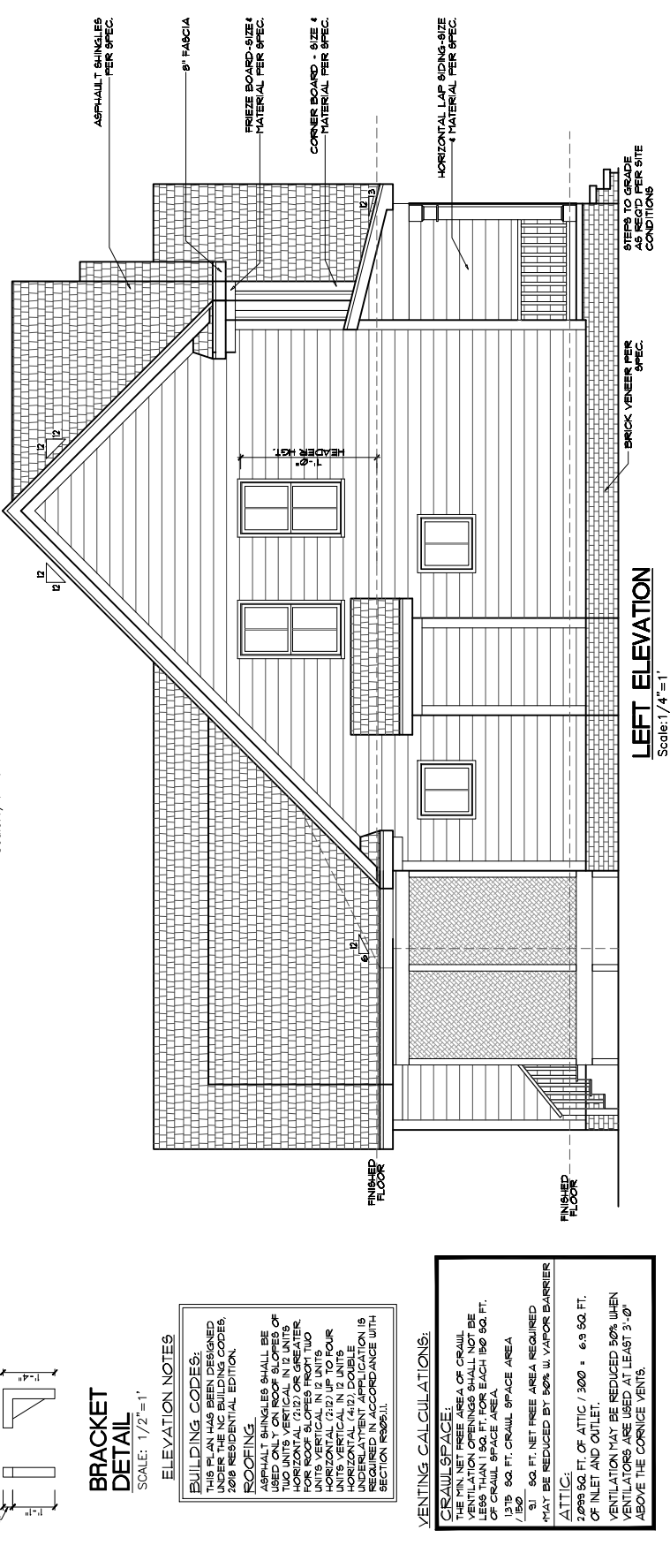




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These drawings are intended to be used for informational purposes only. They are not to be used for construction. The user is responsible for obtaining all necessary permits and approvals. The user is responsible for ensuring that the drawings are used in accordance with the intended purpose. The user is responsible for ensuring that the drawings are used in accordance with the intended purpose.



**BRACKET
DETAIL**
SCALE: 1/2" = 1'

ELEVATION NOTES

BUILDING CODES:
THIS PLAN HAS BEEN DESIGNED UNDER THE NC BUILDING CODES, 2018 RESIDENTIAL EDITION.

ROOFING:
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12) DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.11.

VENTING CALCULATIONS:

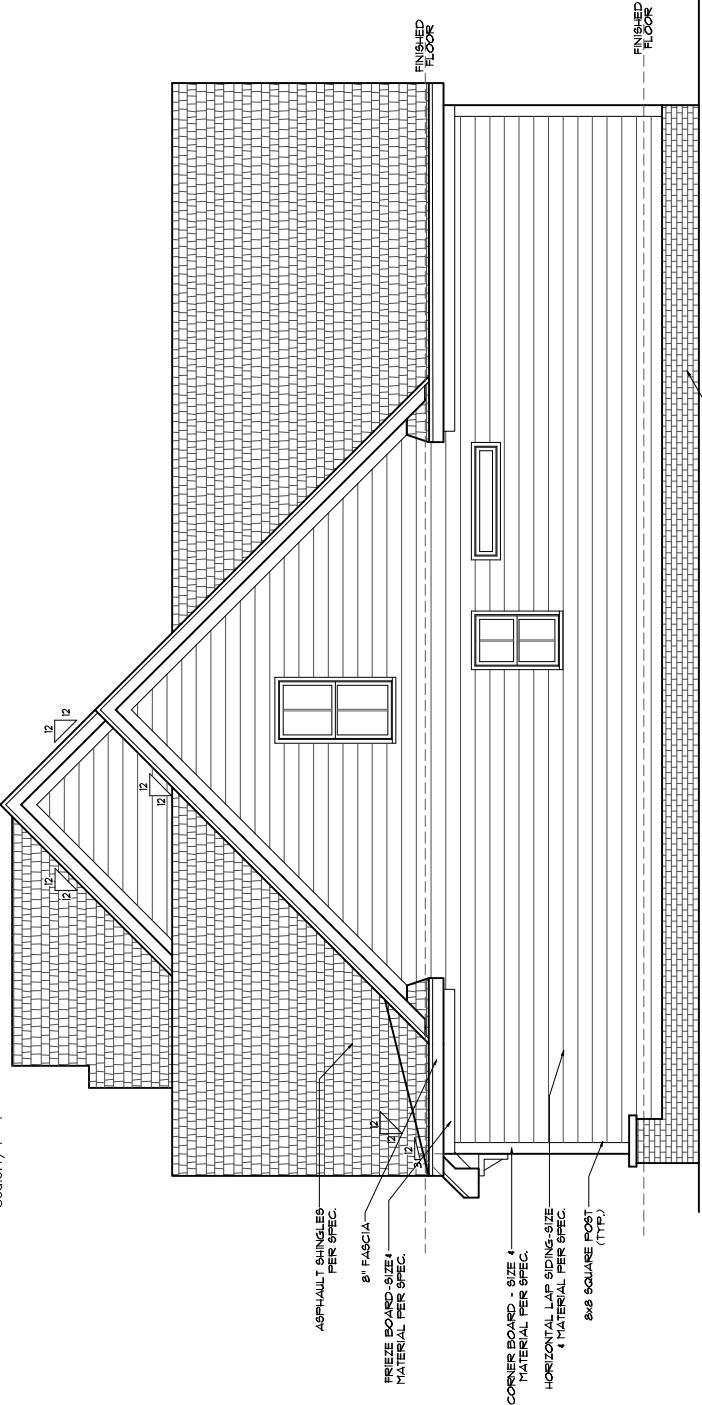
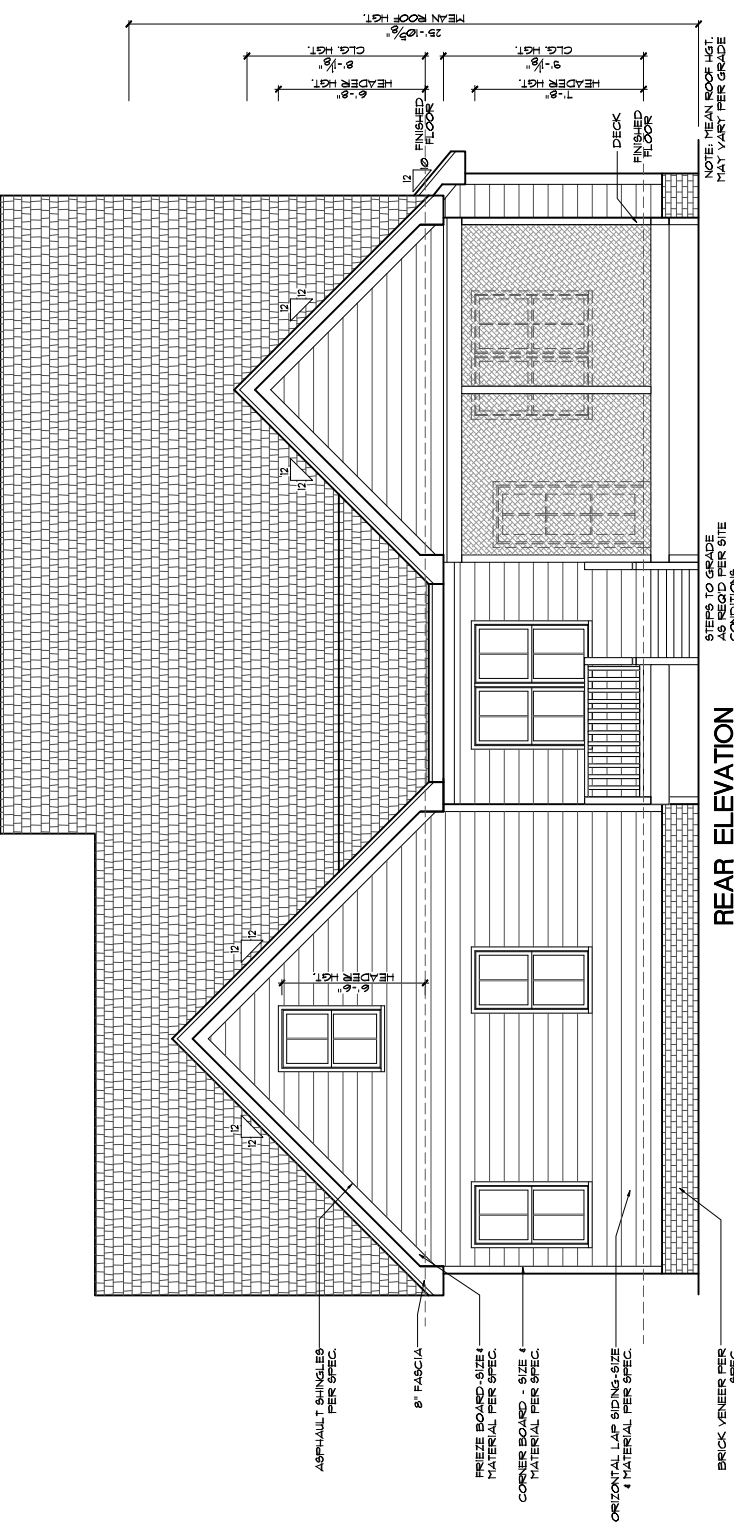
CRAWL SPACE:
THE MIN. NET FREE AREA OF CRAWL VENTILATION OPENINGS SHALL NOT BE LESS THAN 150 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE AREA.
1310 SQ. FT. CRAWL SPACE AREA / 150

ATTIC:
91 SQ. FT. NET FREE AREA REQUIRED MAY BE REDUCED BY 50% W/ VAPOR BARRIER.
2695 SQ. FT. OF ATTIC / 300 = 6.9 SQ. FT. OF INLET AND OUTLET.
VENTILATORS MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS.



REVISIONS	
NUMBER	DATE

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GENERAL NOTES

WALLS:
ALL WALLS ARE DRAWN 4" HIGH UNLESS NOTED OTHERWISE.
ANGLED WALL ARE DRAWN #45° UNO.

SMOKE DETECTORS:
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

EGRESS:
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) 103.2. THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CHOSEN WINDOWS MEET ALL REQUIREMENTS AS MANUFACTURED.

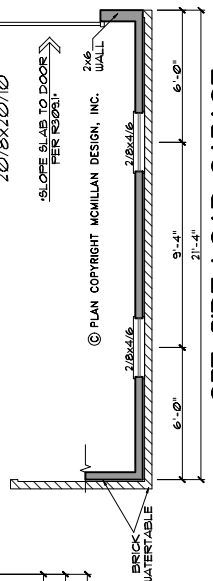
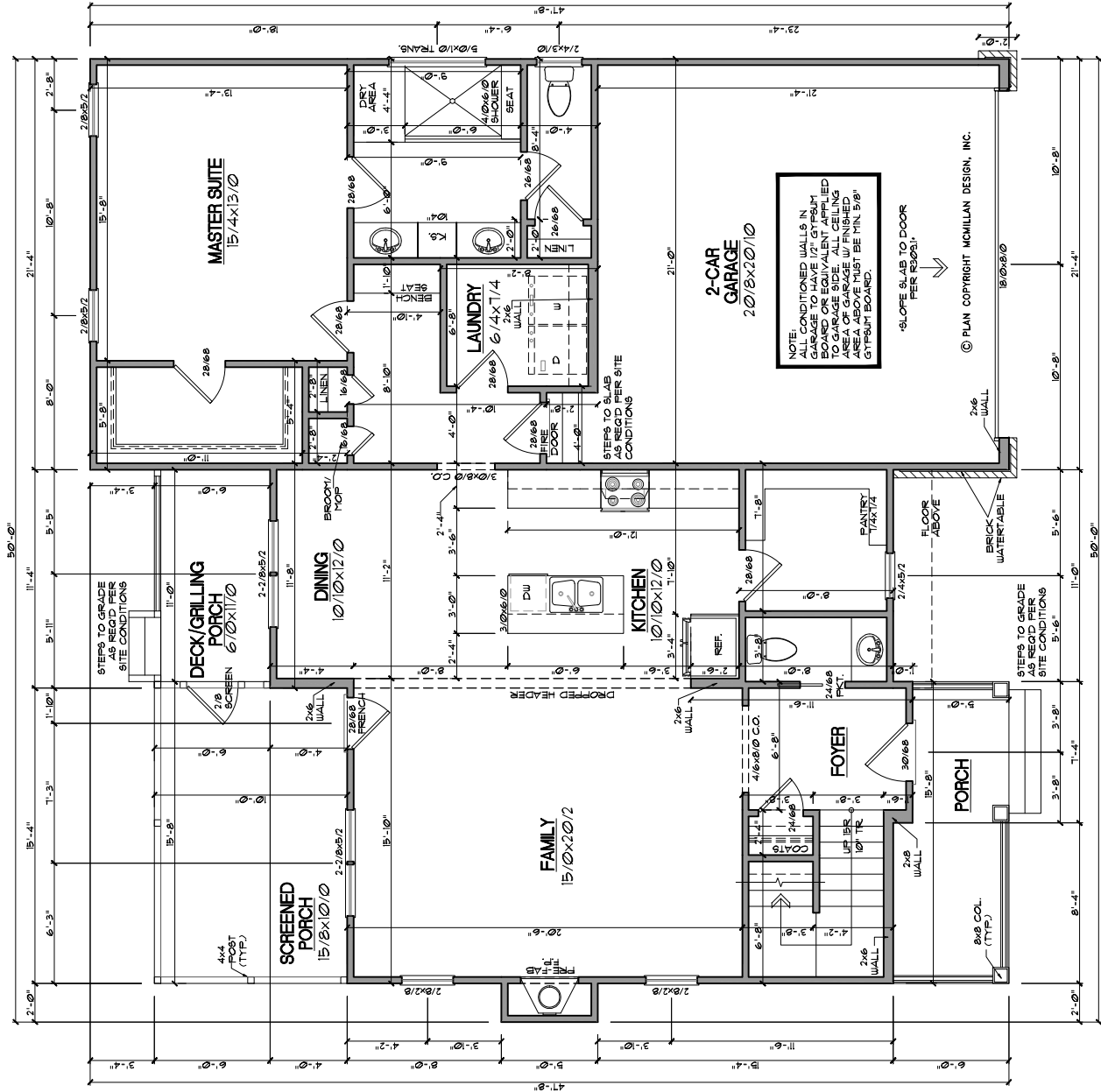
ATTIC ACCESS:
ALL ATTIC ACCESS SHALL BE PROVIDED BY RAISER AND LOCATED ON SITE.

WALL/CEILING HGT:
NOTES ARE BASED ON NOMINAL WALL SIZE.
FLOOR WALL HEIGHT LABELS ARE BASED ON FINISHED FLOOR (N HEATED SPACES) FLOORING (N HEATED SPACES) FOR INSULATION THE WALL HEIGHTS ARE TO BE MEASURED FROM THE FLOOR/CEILING TO THE BOTTOM OF THE FLOORING.

SQUARE FOOTAGE

Heated Square Footage	
First Floor	1314.9
Second Floor	156.3
Unheated Square Footage	
2-Car Garage	459.4
Deck/Grill Porch	66.0
Front Porch	86.1
Screened Porch	155.3

FIRST FLOOR
SCALE: 1/4"=1'



OPT. SIDE LOAD GARAGE
SCALE: 1/4"=1'

SECOND FLOOR
SCALE: 1/4" = 1'