

NOTE "A"  
SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED DURING THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN HEREON. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND CONTAINERS WHICH MAY AFFECT THE USE OF THIS TRACT.

NOTE "B"  
THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON, AND ADDITIONAL BURIED UTILITIES MAY EXIST. CONTACT THE APPROPRIATE UTILITY COMPANIES FOR INFORMATION REGARDING BURIED UTILITIES.

NOTE "C"  
ALL DISTANCES ARE HORIZONTAL GROUND AND AREA BY COORDINATE COMPUTATION.

NOTE "D"  
THIS SURVEY WAS DONE WITHOUT A TITLE SEARCH AND IS BASED ON REFERENCED INFORMATION. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH COULD AFFECT THIS PROPERTY.

NOTE "E"  
EXCEPT AS SPECIFICALLY STATED OR SHOWN, THIS SURVEY DOES NOT REPORT ANY OF THE FOLLOWING: EASEMENTS, OTHER THAN THOSE VISIBLE DURING FIELD EXAMINATION, BUILDING SETBACKS, RESTRICTIVE COVENANTS, ZONING OR LAND USE REGULATIONS AND ANY FACTS WHICH A TITLE SEARCH MAY DISCLOSE.

NOTE "F"  
WETLANDS, JURISDICTIONAL WATERS OR OTHER CONDITIONS WHICH MAY BE REGULATED BY FEDERAL OR STATE OR LOCAL AGENCIES WERE NOT INVESTIGATED DURING THIS SURVEY. RIPARIAN BUFFERS AND OTHER RESTRICTIONS ON DEVELOPMENT MAY BE REQUIRED.

NOTE "G"  
THIS PROPERTY IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEMA MAP NUMBER 3703251826J. MAP REVISED DATE: 04/16/07.

NOTE "H"  
THIS PROPERTY IS ZONED AR-40. SETBACK ARE AS FOLLOWS:  
FRONT 50'  
REAR 25'  
SIDE 15'  
SIDE STREET 50'

NOTE "J"  
REF: DB 1213/9  
DB 1547/394  
DB 1548/224  
DB 1560/83  
DB 1562/111  
DB 1565/801  
PB 44/96

I HEREBY CERTIFY THAT THE PROPERTY SHOWN AND DESCRIBED ON THIS SUBDIVISION PLAT FOR RECORDATION, QUALIFIES AS AN EXCEPTION TO THE PROVISIONS OF THE SUBDIVISION REGULATIONS OF GRANVILLE COUNTY, NORTH CAROLINA, UNDER THIS SECTION TITLED:

TITLE OF EXCEPTION

LAND DEVELOPMENT ADMINISTRATOR  
GRANVILLE COUNTY, NORTH CAROLINA

1-21-16

STATE OF NC  
GRANVILLE COUNTY

I, LESLIE H. SMITH, REVIEW OFFICER OF GRANVILLE COUNTY, CERTIFY THAT THIS MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING FOR WHICH THE REVIEW OFFICER HAS RESPONSIBILITY AS PROVIDED BY LAW.

REVIEW OFFICER: LESLIE H. SMITH DATE OF CERTIFICATION: 1-21-16  
GRANVILLE COUNTY LAND RECORDS/GIS

VICINITY MAP  
NOT TO SCALE

| CURVE TABLE |        |         |         |        |             |
|-------------|--------|---------|---------|--------|-------------|
| CURVE       | LENGTH | RADIUS  | TANGENT | CHORD  | CH. BEARING |
| C1          | 39.27  | 25.00   | 25.00   | 35.36  | S39°13'24"E |
| C2          | 54.66  | 475.00  | 27.36   | 54.63  | S87°31'29"E |
| C3          | 138.62 | 275.00  | 70.81   | 137.15 | N76°22'52"W |
| C4          | 138.74 | 275.00  | 70.88   | 137.27 | N47°29'16"W |
| C5          | 128.21 | 275.00  | 65.29   | 127.05 | N19°40'43"W |
| C6          | 142.86 | 275.00  | 73.08   | 141.26 | N08°33'37"E |
| C7          | 43.10  | 25.00   | 29.15   | 37.95  | S25°56'31"E |
| C8          | 77.05  | 225.00  | 38.91   | 76.67  | S85°08'12"E |
| C9          | 124.71 | 275.00  | 63.45   | 123.65 | S81°57'18"E |
| C10         | 29.54  | 25.00   | 16.77   | 27.85  | N77°11'09"E |
| C11         | 103.03 | 275.00  | 52.13   | 102.43 | N54°04'04"E |
| C12         | 10.78  | 350.00  | 5.39    | 10.78  | N85°41'01"E |
| C13         | 94.86  | 350.00  | 47.72   | 94.57  | N74°19'49"E |
| C14         | 36.65  | 25.00   | 22.51   | 33.46  | N40°05'34"E |
| C15         | 41.89  | 25.00   | 27.76   | 37.16  | S49°54'26"E |
| C16         | 129.80 | 900.00  | 65.01   | 129.69 | N86°13'34"E |
| C17         | 77.18  | 900.00  | 38.62   | 77.16  | S87°11'07"E |
| C18         | 38.51  | 975.00  | 19.26   | 38.50  | S85°51'35"E |
| C19         | 16.31  | 25.00   | 8.46    | 16.03  | N83°30'44"E |
| C20         | 169.64 | 50.00   | 396.06  | 99.21  | S37°59'09"E |
| C21         | 71.55  | 50.00   | 43.46   | 65.60  | N79°47'46"W |
| C22         | 21.03  | 25.00   | 11.18   | 20.41  | N62°53'47"W |
| C23         | 7.64   | 1025.00 | 3.82    | 7.64   | N86°46'40"W |
| C24         | 32.84  | 1025.00 | 16.42   | 32.84  | N85°38'46"W |
| C25         | 36.68  | 850.00  | 18.35   | 36.68  | N85°57'53"W |
| C26         | 158.80 | 850.00  | 79.63   | 158.57 | N87°26'48"E |
| C27         | 90.55  | 300.00  | 45.62   | 90.21  | S73°26'51"W |
| C28         | 384.20 | 225.00  | 258.08  | 339.20 | S15°52'59"W |
| C29         | 73.24  | 225.00  | 36.95   | 72.92  | S42°21'36"E |
| C30A        | 33.66  | 225.00  | 16.86   | 33.62  | S55°58'14"E |
| C30B        | 120.03 | 225.00  | 61.48   | 118.61 | S75°32'19"E |
| C31         | 41.71  | 525.00  | 20.86   | 41.70  | S88°32'44"E |
| C32         | 18.70  | 525.00  | 9.35    | 18.70  | S85°14'56"E |
| C33         | 39.26  | 25.00   | 24.99   | 35.35  | N50°47'11"E |
| C34         | 21.03  | 25.00   | 11.18   | 20.41  | N18°17'38"W |
| C35         | 123.94 | 50.00   | 145.29  | 94.56  | N24°47'27"E |
| C36         | 124.02 | 50.00   | 145.68  | 94.58  | S13°08'32"E |
| C37         | 21.07  | 25.00   | 11.21   | 20.45  | S29°55'42"W |
| C38         | 95.47  | 275.00  | 48.22   | 95.00  | N33°23'19"E |
| C39         | 4.71   | 25.00   | 2.36    | 4.71   | N87°36'26"E |

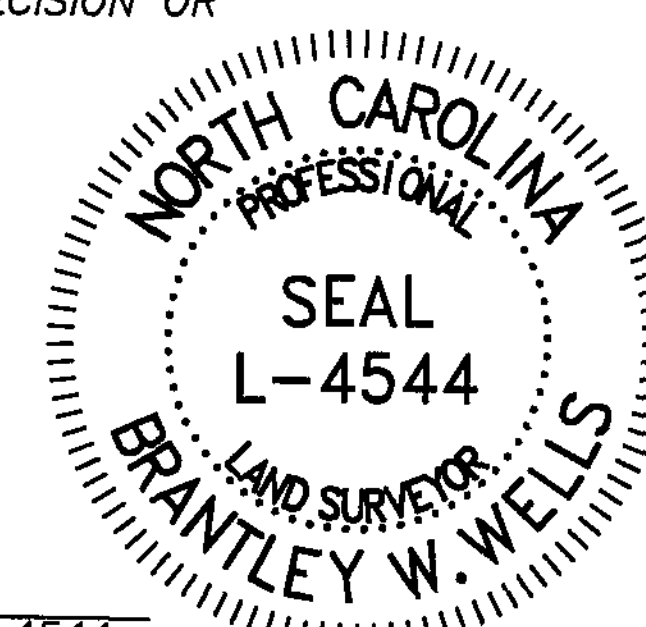


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Recorded: 01/21/2016 at 03:42:29 PM  
Fee Amt: \$84.00 Page 1 of 4  
Granville County, NC  
Kathy M. Taylor Reg of Deeds  
BK44 PG101-104

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE:

G.S. 47-30 (F)(11)(D). THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

I, BRANTLEY W. WELLS, PLS NO. 4544, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK/PAGE: (AS NOTED HEREON) OR OTHER REFERENCE SOURCE: (AS NOTED HEREON)); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED IN A BROKEN LINETYPE AS DRAWN FROM INFORMATION IN BOOK/PAGE: (AS NOTED HEREON) OR OTHER REFERENCE SOURCE: (AS NOTED HEREON); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). THIS MAP WAS DRAWN IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 21TH DAY OF JANUARY 2016.

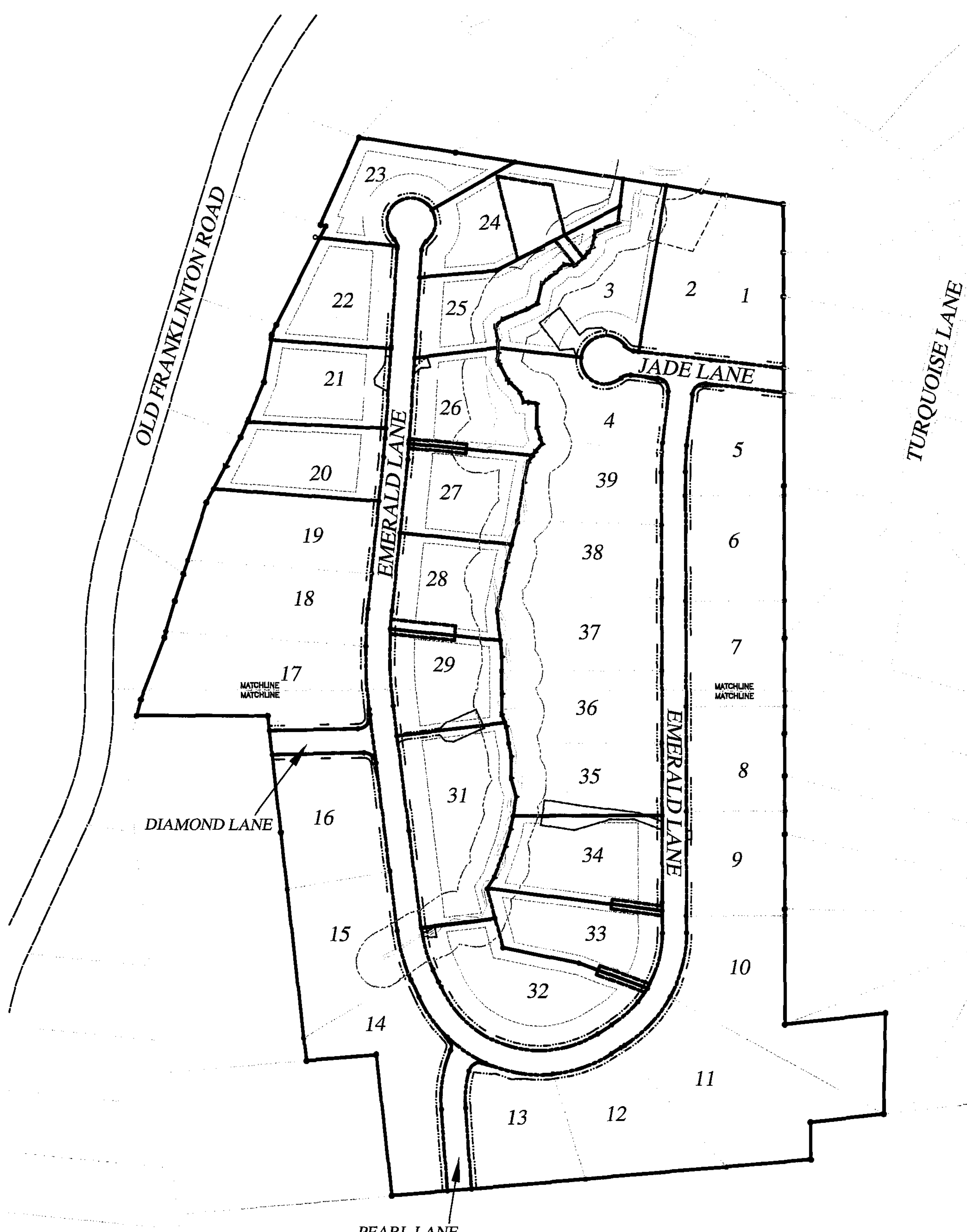


PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-4544

SUMMIT DESIGN AND ENGINEERING SERVICES, PLLC.  
REG. NUMBER P-0339

I, BRANTLEY W. WELLS, PLS NO. 4544, CERTIFY THAT NC GRID TIE DATA SHOWN ON THIS PLAT WAS OBTAINED FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: CLASS A
- (2) POSITIONAL ACCURACY: 0.07'
- (3) TYPE OF GPS FIELD PROCEDURE: NETWORK RTK (VRS)
- (4) DATES OF SURVEY: 09-15-2014
- (5) DATUM/EPOCH: NAD 83/11 NAVD 88
- (6) PUBLISHED/FIXED CONTROL USED: N/A: HELD VRS DATA.
- (7) GEOID MODEL: '12A
- (8) COMBINED GRID FACTOR: 0.999972246
- (9) UNITS: US SURVEY FEET



NAD 83/11  
NAVD 88

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DRAWING ALTERATION  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

OWNERS ADDRESS:  
504 MEADOWLAND DRIVE  
HILLSBOROUGH, NC 27278

CLIENTS ADDRESS:  
504 MEADOWLAND DRIVE  
HILLSBOROUGH, NC 27278

MAPN 183600250262  
183600153325

REFERENCES SEE PLAT

PROJECT MANAGER BWW

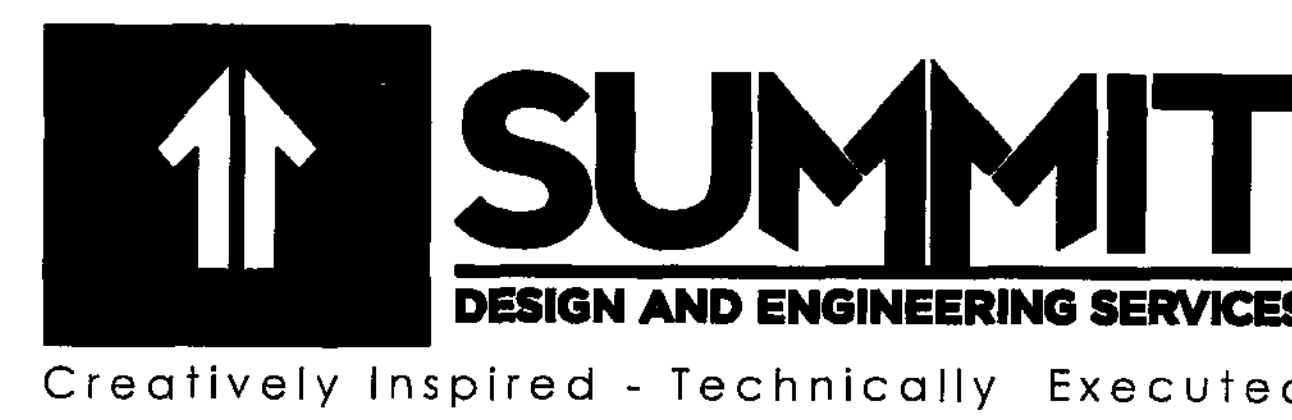
DRAWN BY RAH

LEGEND:

- IRON ROD OR PIPE SET
- EXISTING MONUMENT FOUND; IRON ROD OR PIPE UNLESS OTHERWISE DESCRIBED
- △ MATHEMATICAL POINT; NO MONUMENT SET
- CONCRETE MONUMENT
- EIP EXISTING IRON PIPE
- CC CONTROL CORNER
- UTILITY POLE

## FINAL EXEMPT PLAT OF RECOMBINATION FOR STARMOUNT FOREST PHASE 2

BRASSFIELD TWP., GRANVILLE CO., NORTH CAROLINA  
PROPERTY AS DESCRIBED IN DB 1560/83 & DB 1562/111  
STANDING IN THE NAME OF STARMOUNT FOREST II LLC



License #: P-0339  
504 Meadowland Drive  
Hillsborough, NC 27278-8551  
Voice: (919) 732-3883 Fax: (919) 732-6676  
www.summitde.net

PROJECT NO.

14-0060

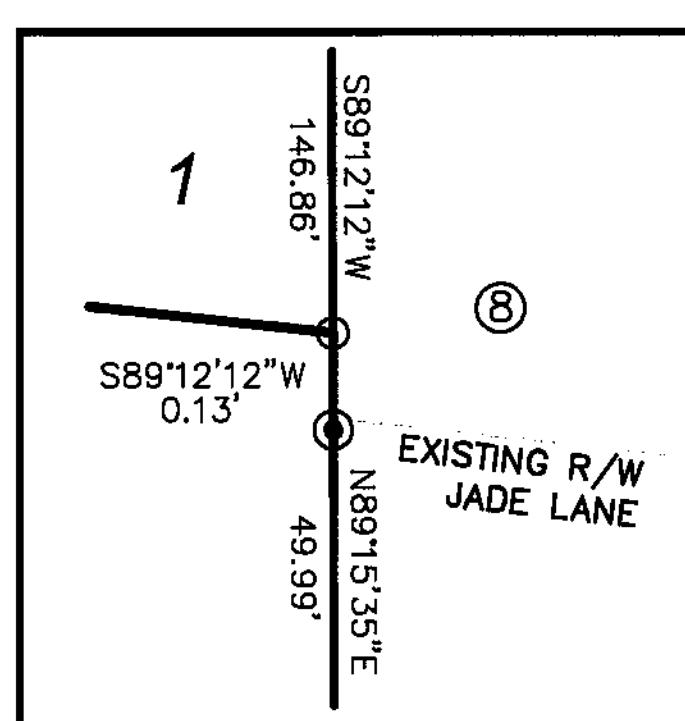
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14-0060\_RECOMB

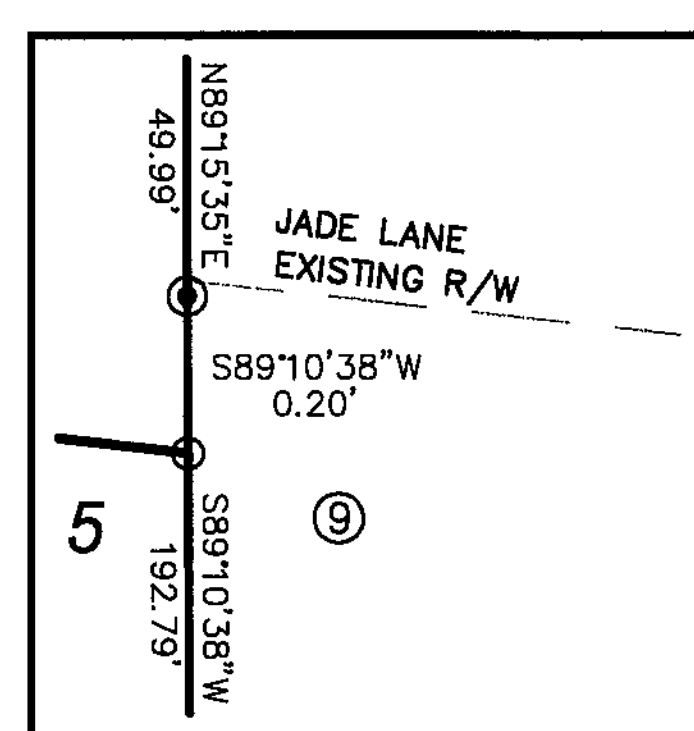
SHEET 1 of 4

NAD 83/11  
NAVD 88

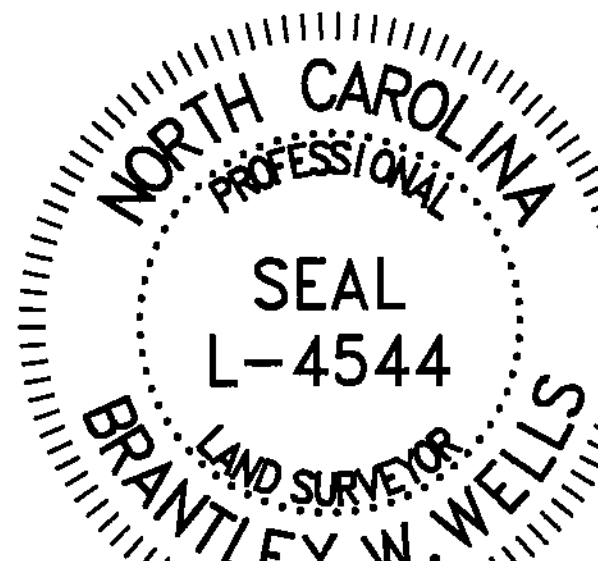
| LINE TABLE |        |             |
|------------|--------|-------------|
| LINE       | LENGTH | BEARING     |
| L1         | 56.59  | N84°09'19"W |
| L2         | 34.28  | N84°09'19"W |
| L3         | 50.42  | N21°56'02"W |
| L4         | 11.56  | N76°40'13"W |
| L5         | 21.04  | N82°17'48"W |
| L6         | 15.01  | N48°20'12"W |
| L7         | 13.78  | N52°51'18"W |
| L8         | 22.84  | N41°09'45"W |
| L9         | 21.57  | N02°47'16"E |
| L10        | 26.47  | N42°23'47"E |
| L11        | 34.54  | N37°02'07"W |
| L12        | 43.20  | N78°18'05"W |
| L13        | 22.81  | N28°32'17"W |
| L14        | 26.49  | N23°17'38"W |
| L15        | 29.76  | N22°47'50"W |
| L16        | 20.69  | N45°20'51"W |
| L17        | 28.67  | S80°32'05"W |
| L18        | 15.98  | S88°08'30"W |
| L19        | 10.32  | S88°08'30"W |
| L20        | 15.64  | N86°45'30"W |
| L21        | 7.95   | S61°28'49"W |
| L22        | 34.70  | S61°23'42"W |
| L23        | 8.76   | S55°49'44"W |
| L24        | 28.97  | S41°56'03"W |
| L25        | 22.09  | S68°19'14"W |
| L26        | 12.29  | S04°15'45"W |
| L27        | 15.03  | S09°08'33"W |
| L28        | 47.72  | S88°28'51"W |
| L29        | 24.89  | S71°35'02"W |
| L30        | 11.85  | S71°35'02"W |
| L31        | 22.26  | N49°13'55"W |
| L32        | 9.24   | N56°00'45"W |
| L33        | 17.21  | N56°00'45"W |
| L34        | 42.41  | N79°13'41"W |
| L35        | 79.52  | S80°33'56"E |
| L36        | 4.85   | S80°33'56"E |
| L37        | 46.34  | S76°40'58"E |
| L38        | 38.15  | S76°40'58"E |
| L39        | 74.68  | S78°58'24"E |
| L40        | 26.48  | S78°58'24"E |
| L41        | 61.85  | N83°36'54"E |
| L42        | 33.67  | N83°36'54"E |
| L43        | 29.01  | N89°37'26"E |
| L44        | 47.24  | N89°37'26"E |
| L45        | 42.50  | N89°37'26"E |
| L46        | 18.38  | N67°49'21"E |
| L47        | 8.54   | N67°49'21"E |
| L48        | 35.60  | N80°28'26"E |
| L49        | 27.29  | N80°28'26"E |
| L50        | 44.66  | N89°37'26"E |
| L51        | 40.51  | N72°44'15"E |
| L52        | 40.17  | S80°24'46"E |
| L53        | 27.84  | S80°24'46"E |
| L54        | 37.60  | S74°57'14"E |
| L55        | 69.20  | S70°18'17"E |
| L56        | 25.89  | S58°09'51"E |
| L57A       | 64.42  | S74°31'32"W |
| L57B       | 62.61  | S74°31'32"W |
| L58        | 15.56  | S05°46'55"W |
| L59        | 8.44   | N33°02'06"W |
| L60        | 24.36  | N33°02'06"W |
| L61        | 32.80  | S33°02'06"E |
| L62        | 11.03  | S64°48'03"W |
| L63        | 28.05  | S64°48'03"W |
| L64        | 39.08  | N64°48'03"E |



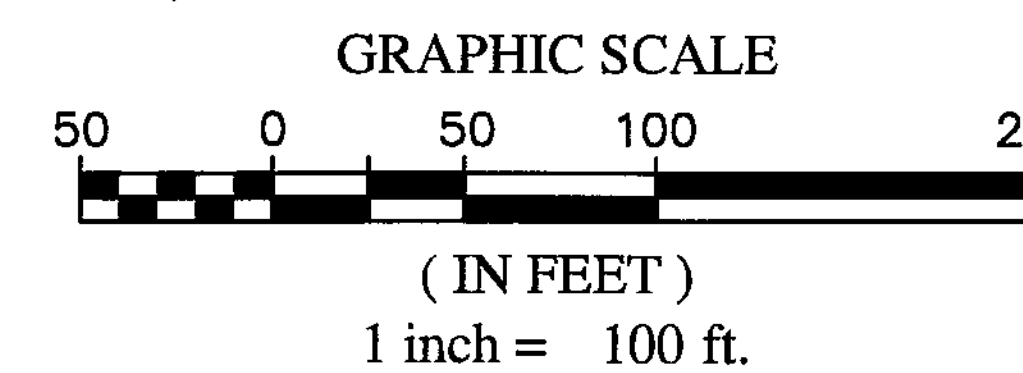
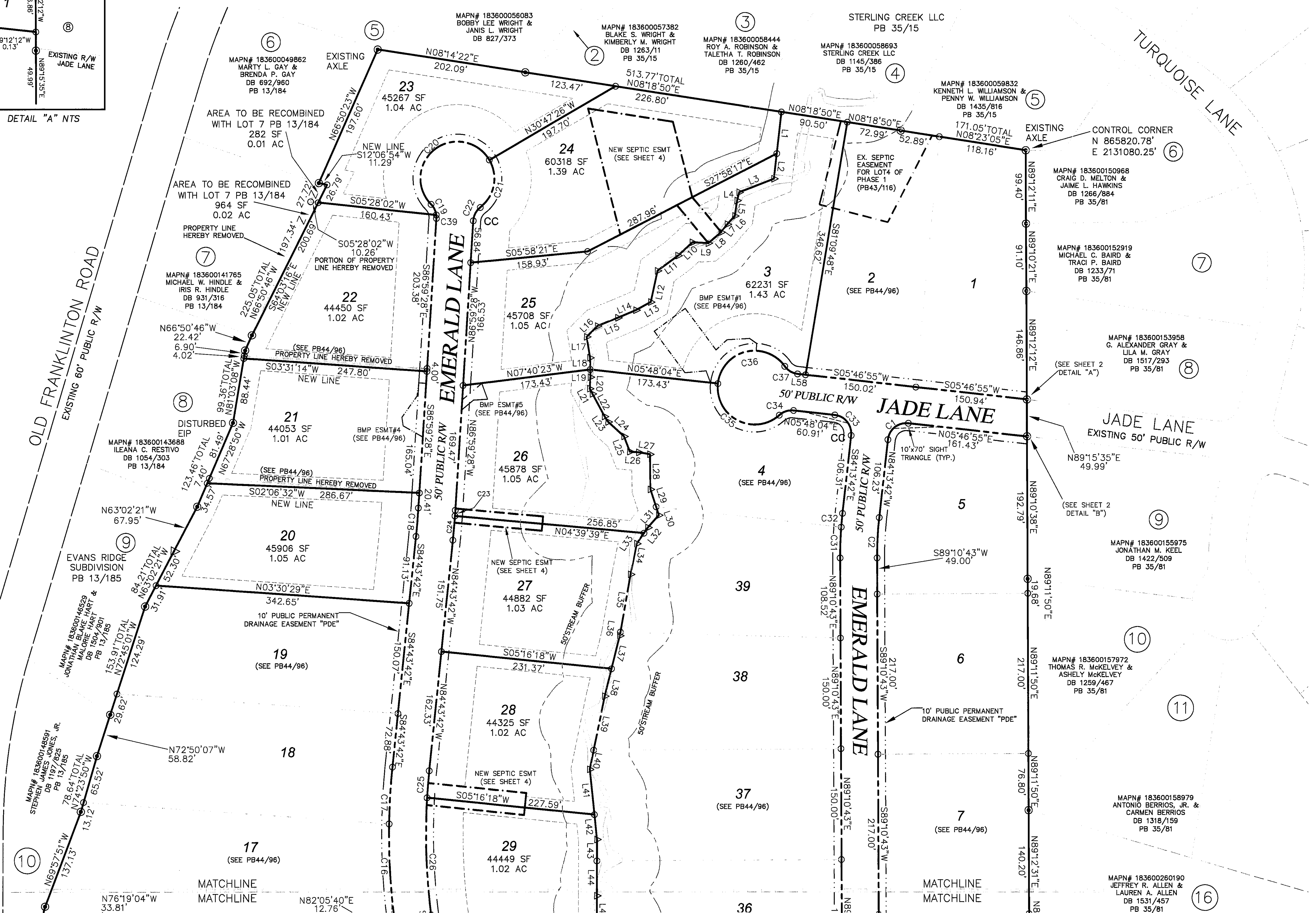
DETAIL "A" NTS



DETAIL "B" NTS



1/21/2016  
PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-4544  
SUMMIT DESIGN AND ENGINEERING SERVICES, PLLC.  
REG. NUMBER P-0339



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OWNERS ADDRESS:  
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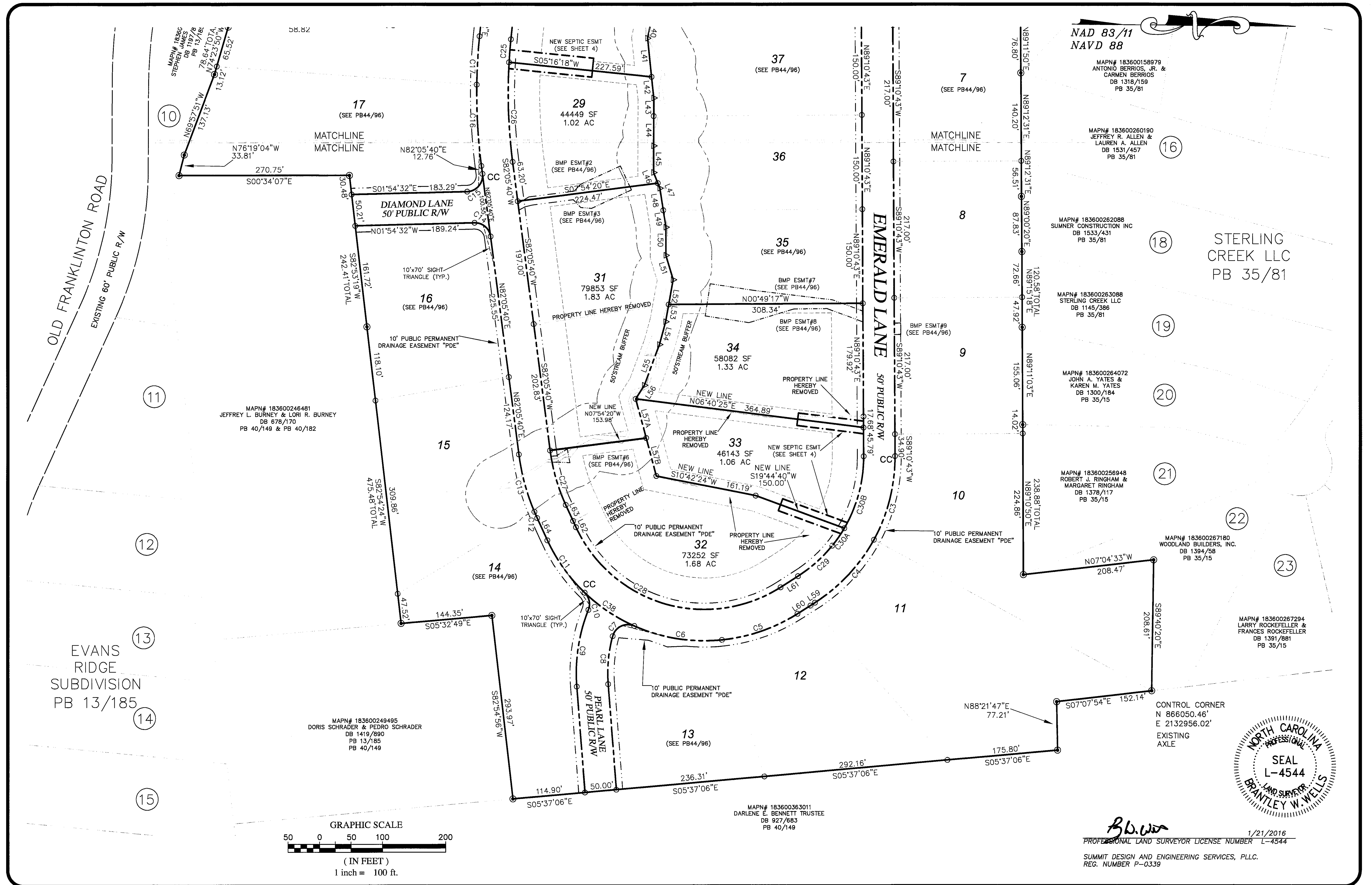
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|-----------------|------------------------------|
| MAPN            | 183600250262<br>183600153325 |
| REFERENCES      | SEE PLAT                     |
| PROJECT MANAGER | BWW                          |
| DRAWN BY        | RAH                          |

LEGEND:  
○ IRON ROD OR PIPE SET  
● EXISTING MONUMENT FOUND;  
IRON ROD OR PIPE UNLESS  
OTHERWISE DESCRIBED  
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■ CONCRETE MONUMENT  
EIP EXISTING IRON PIPE  
CC CONTROL CORNER  
○ UTILITY POLE

FINAL EXEMPT PLAT OF RECOMBINATION FOR  
**STARMOUNT FOREST  
PHASE 2**  
BRASSFIELD TWP., GRANVILLE CO., NORTH CAROLINA  
PROPERTY AS DESCRIBED IN DB 1560/83 & DB 1562/111  
STANDING IN THE NAME OF STARMOUNT FOREST II LLC

**SUMMIT**  
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Creatively Inspired - Technically Executed  
License #: P-0339  
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Hillsborough, NC 27278-8551  
Voice: (919) 732-3883 Fax: (919) 732-6676  
www.summitde.net

PROJECT NO.  
**14-0060**  
DRAWING  
**14-0060\_RECOMB**  
SHEET 2 of 4



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| REFERENCES      | SEE PLAT                     |
| PROJECT MANAGER | BWW                          |
| DRAWN BY        | RAH                          |

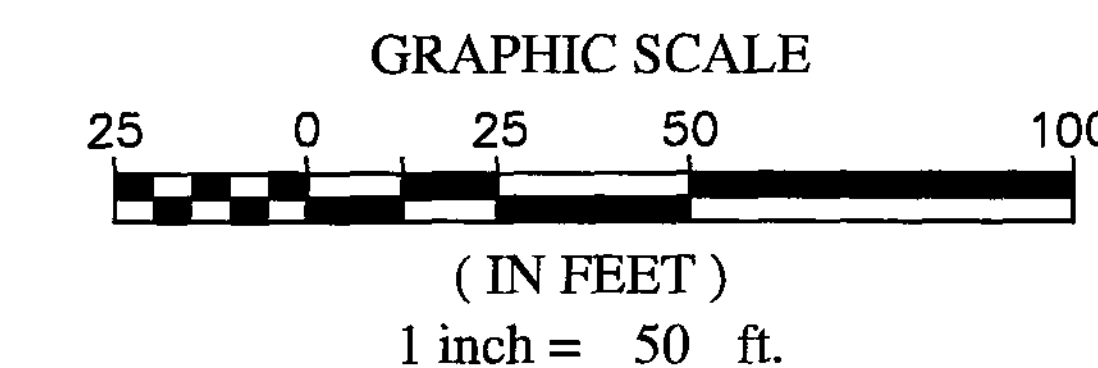
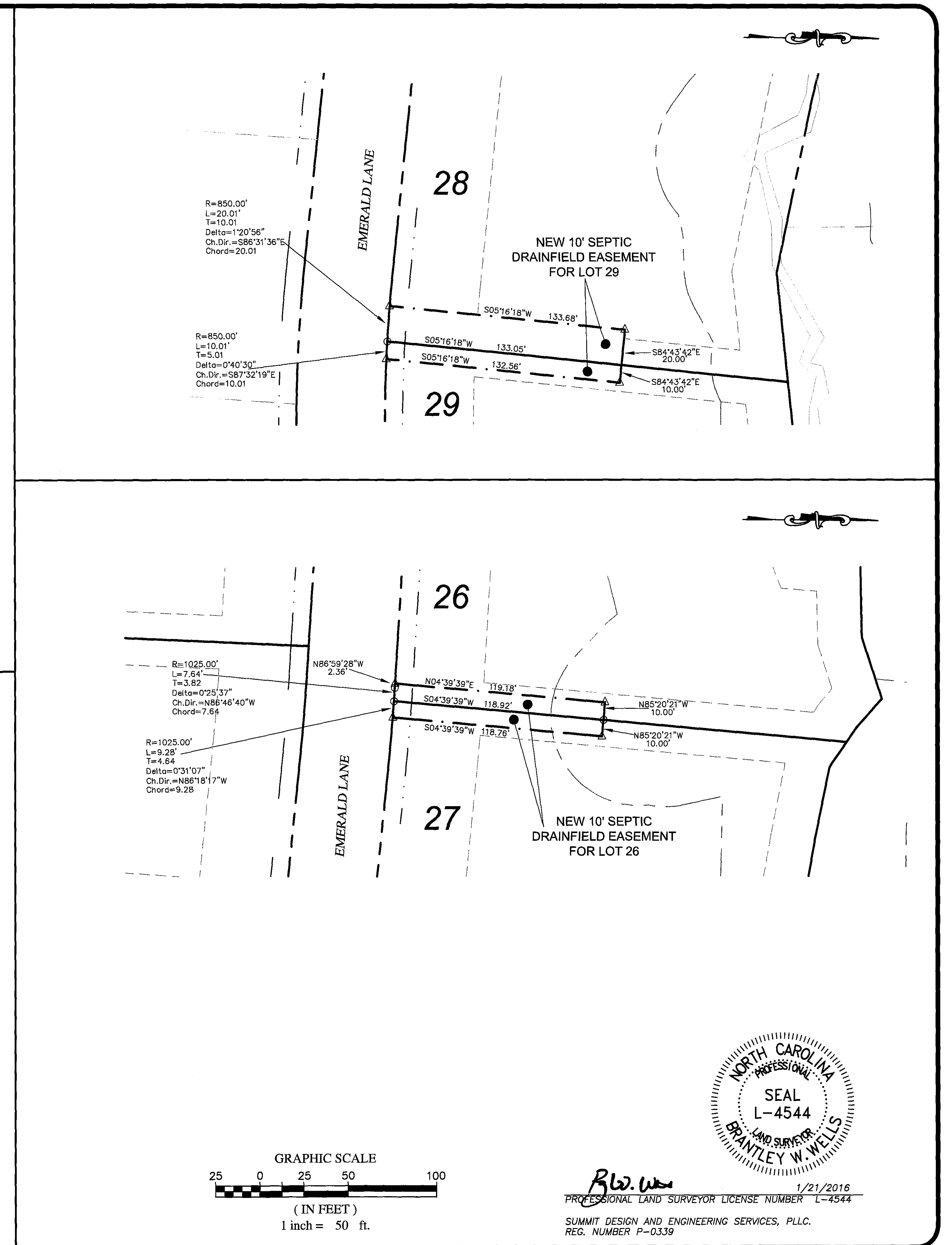
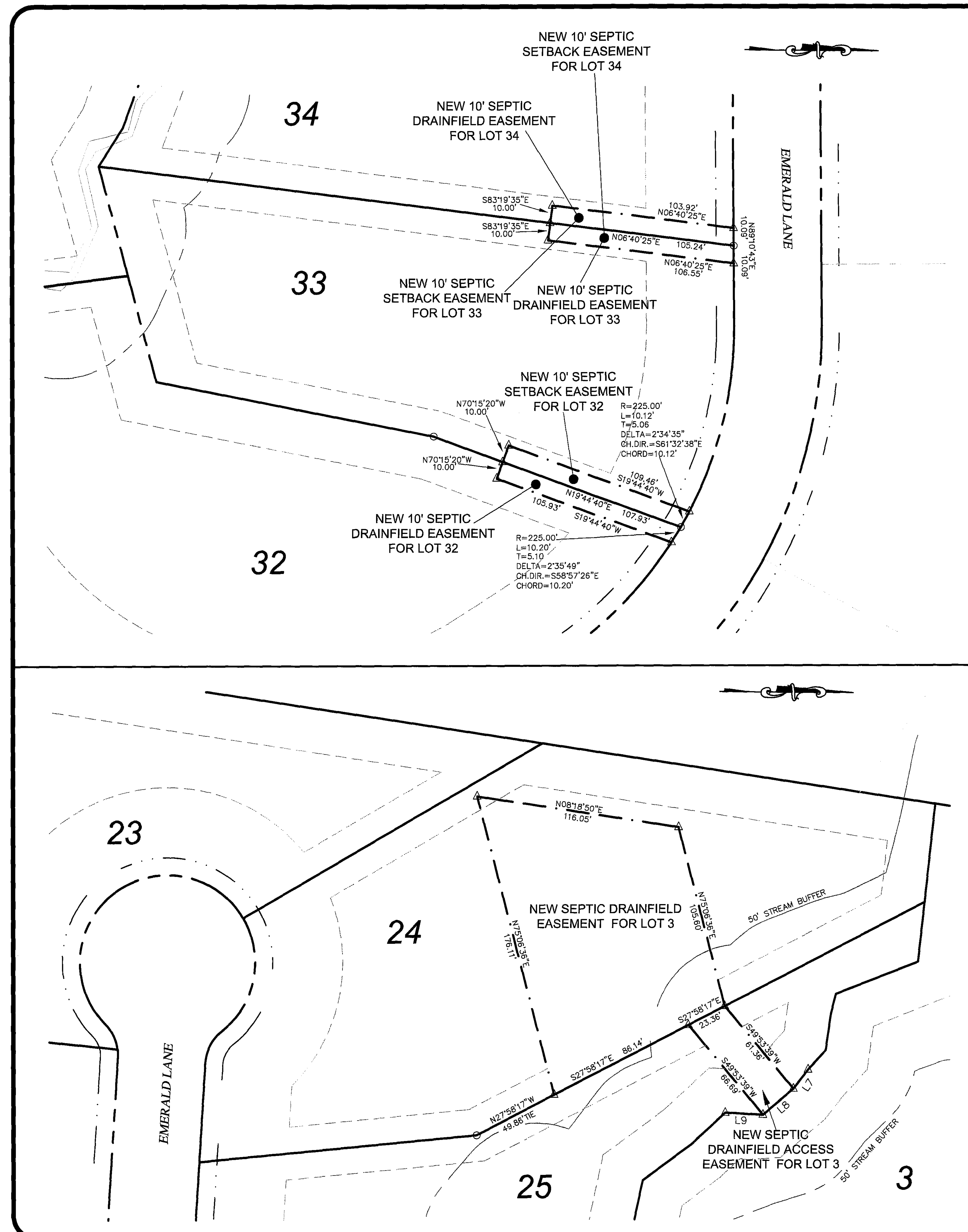
LEGEND:  
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● EXISTING MONUMENT FOUND;  
IRON ROD OR PIPE UNLESS  
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△ MATHEMATICAL POINT;  
NO MONUMENT SET  
■ CONCRETE MONUMENT  
EIP EXISTING IRON PIPE  
CC CONTROL CORNER  
ESMT EASEMENT

FINAL EXEMPT PLAT OF RECOMBINATION FOR  
**STARMOUNT FOREST  
PHASE 2**  
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PROJECT NO.  
**14-0060**  
DRAWING  
**14-0060\_RECOMB**  
SHEET 3 of 4



*B.W. Wells*  
PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-4544  
SUMMIT DESIGN AND ENGINEERING SERVICES, PLLC.  
REG. NUMBER P-0339

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MAPN 183600250262  
183600153325

REFERENCES

SEE PLAT

PROJECT MANAGER

BWW

DRAWN BY

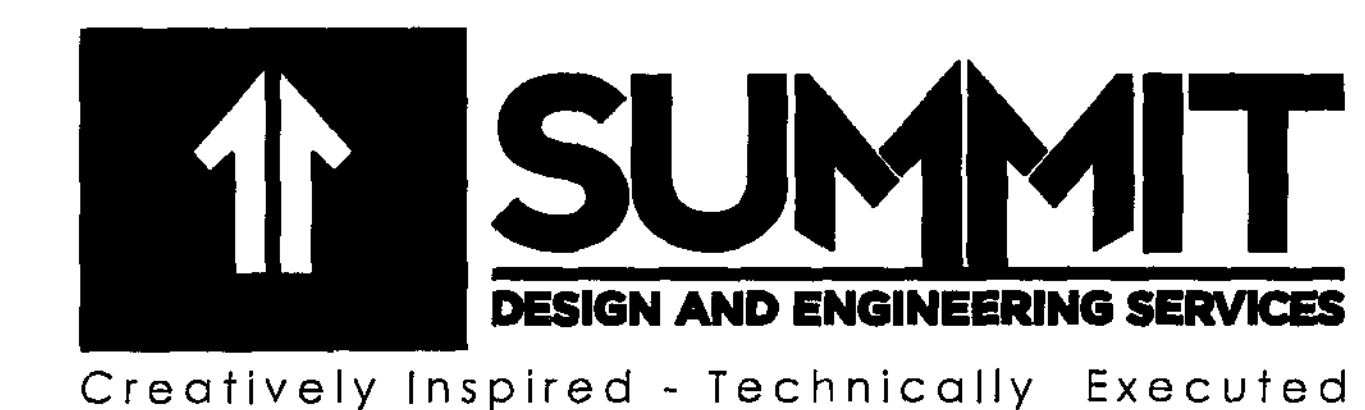
RAH

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- IRON ROD OR PIPE SET
- EXISTING MONUMENT FOUND;  
IRON ROD OR PIPE UNLESS  
OTHERWISE DESCRIBED
- △ MATHEMATICAL POINT;  
NO MONUMENT SET
- CONCRETE MONUMENT
- EIP EXISTING IRON PIPE
- CC CONTROL CORNER
- ⊕ UTILITY POLE

## FINAL EXEMPT PLAT OF RECOMBINATION FOR STARMOUNT FOREST PHASE 2

BRASSFIELD TWP., GRANVILLE CO., NORTH CAROLINA  
PROPERTY AS DESCRIBED IN DB 1560/83 & DB 1562/111  
STANDING IN THE NAME OF STARMOUNT FOREST II LLC



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PROJECT NO.

14-0060

DRAWING

14-0060\_RECOMB

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