

Prepared for Exclusive Use by:

Josh Ernisse

Address of Property:

211 Park Ave
Creedmoor NC 27522

Date of Service:

11/6/2018



Company Providing Service:

Garrett Daly

#3536

Floor 2 Ceiling Home Inspections, LLC dba HouseMaster

9660 Falls Of Neuse Road Ste 138 #364

Raleigh, NC 27615

(919) 803-7977

INSPECTION INFORMATION

CLIENT:

Josh Ernisse

PROPERTY ADDRESS:

*211 Park Ave
Creedmoor NC 27522*

INSPECTION DATE/TIME:

11/6/2018 - 09:00 AM

INSPECTOR:

Garrett Daly #3536

INSPECTION COMPANY:

*Floor 2 Ceiling Home Inspections, LLC dba
HouseMaster
9660 Falls Of Neuse Road Ste 138 #364
Raleigh, NC 27615
(919) 803-7977*

INSPECTION DETAILS

AGE OF HOME/BUILDING:

71-75 Years

TYPE OF INSPECTION:

Standard Home Inspection

STATUS OF HOME:

Vacant

WEATHER:

Cloudy

PEOPLE PRESENT:

Client(s) - Buyer Agent

TEMPERATURE:

60 to 69 F

TYPE OF STRUCTURE:

1 Story with Basement

INTRODUCTION

The purpose of this report is to render the inspector's professional opinion of the condition of the inspected elements of the referenced property (dwelling or house) on the date of inspection. Such opinions are rendered based on the findings of a standard limited time/scope home inspection performed according to the Terms and Conditions of the Inspection Order Agreement and in a manner consistent with applicable home inspection industry standards. The inspection was limited to the specified, readily visible and accessible installed major structural, mechanical and electrical elements (systems and components) of the house. The inspection does not represent a technically exhaustive evaluation and does not include any engineering, geological, design, environmental, biological, health-related or code compliance evaluations of the house or property. Furthermore, no representations are made with respect to any concealed, latent or future conditions.

The GENERAL INSPECTION LIMITATIONS on the following page provides information regarding home inspections, including various limitations and exclusions, as well as some specific information related to this property. The information contained in this report was prepared exclusively for the named Clients and is not transferable without the expressed consent of the Company. The report, including all Addenda, should be reviewed in its entirety.

REPORT TERMINOLOGY

The following terminology may be used to report conditions observed during the inspection. Additional terms may also be used in the report:

SATISFACTORY - Element was functional at the time of inspection. Element was in working or operating order and its condition was at least sufficient for its minimum required function, although routine maintenance may be needed.

FAIR - Element was functional at time of inspection but has a probability of requiring repair, replacement or other remedial work at any time due to its age, condition, lack of maintenance or other factors. Have element regularly evaluated and anticipate the need to take action.

POOR - Element requires immediate repair, replacement, or other remedial work, or requires evaluation and/or servicing by a qualified specialist.

NOT APPLICABLE - All or individual listed elements were not present, were not observed, were outside the scope of the inspection, and/or were not inspected due to other factors, stated or otherwise.

NOT INSPECTED (NOT RATED) - Element was disconnected or de-energized, was not readily visible or accessible, presented unusual or unsafe conditions for inspection, was outside scope of the inspection, and/or was not inspected due to other factors, stated or otherwise. **Independent inspection(s) may be required to evaluate element conditions.** If any condition limited accessibility or otherwise impeded completion of aspects of the inspection, including those listed under LIMITATIONS, it is recommended that limiting factors be removed or eliminated and that an inspection of these elements be arranged and completed prior to closing.

IMPORTANT NOTE: All repair needs or recommendations for further evaluation should be addressed prior to closing. It is the client's responsibility to perform a final inspection to determine the conditions of the dwelling and property at the time of closing.

SUMMARY OF INSPECTOR COMMENTS

"The North Carolina Home Inspection Licensure Board requires a summary which includes only items which "do not function as intended or adversely affects the habitability of the dwelling; or appears to warrant further investigation by a specialist or requires a subsequent observation". The law stipulates that the summary shall not contain recommendations to upgrade or enhance the function, efficiency or safety of the home. The following statement is required: "This summary is not the entire report. The full report may include additional information of interest or concern to the client. It is strongly recommended that the client promptly read the complete report. For information regarding the negotiability of any item in this report under a real estate purchase contract, contact your North Carolina real estate agent or an attorney." **It is recommended that the client read the complete report.**" The summary includes only items, which in the inspector's opinion meet the state's requirements. The inspector and HouseMaster are not responsible for the items which in the opinion of any interested part were either included in the summary, but should not be omitted; or should have been included in the summary, but were omitted. Please call our office at (919) 803-7111 with any concerns after review. Any questionable issues should be discussed with the Inspector and/or Inspection Company before closing.

NOTE #1: While listings in this Summary may serve as a guide to help prioritize remedial needs, the final decision regarding any action to be taken must be made by the client following consultation with the appropriate specialists and/or professional qualified contractors. HouseMaster recommends that a repair review/re-inspection be performed of any repairs to subject property after inspections to protect the client before closing.

NOTE #2: Directions are normally as though facing structure from front at street.

NOTE #3: Not all areas of concerns were photographed. Client should consider photos as a continuation, enhancement, and part of the original report. Client is advised to read the entire inspection report and any other reports performed/provided before closing. If there are any concerns with rot/decay/wood destroying insect damage of wood/elements, either on the exterior, interior or in the sub-structure, client is advised that all areas of wood were **not** probed, photographed, and reported. Client should infer that there are additional areas of rot/decay at other locations and the entire element should be evaluated by a qualified professional contractor. Any repairs made from this report should be considered a starting point and the entire element of concern should be evaluated/corrected by a qualified professional contractor for any possible concealed, hidden, or items not reported/mentioned within this inspection report. This should be the recommendations for any other item/element/component mentioned in this report. Thank you for using HouseMaster.

1. ROOFING

1.1 CHIMNEYS / VENTS / VENTILATION COVERS / PLUMBING STACKS

Poor/Defective

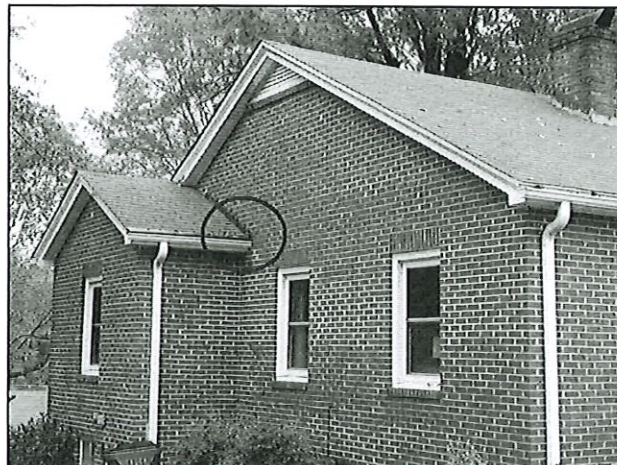
Damaged cap

skill there

1.2 EXPOSED FLASHING (s)

Poor/Defective

1.2 (1) Missing kickout flashing noted at the front left side of the house. This particular type of flashing is recommended where the wall continues past the lower roof-edge and gutter. Kickout flashing helps divert the water away from the siding and into the gutter. Recommend to have a qualified contractor repair as directed.



*CORRECTED
2018-NEW ROOF
2020*



1.3 RAIN GUTTERS / EAVETROUGHS / DOWNSPOUTS / ROOF DRAINS

Poor/Defective

1.3 (1) There is debris noted in the gutters at the front side of the house. This is conducive to improper drainage and and water intrusion behind the gutters that will damage the adjacent elements. Recommend to remove debris where needed.



Downspouts
Feed into
underground
Piping
Corrected
2018

2. EXTERIOR ELEMENTS

2.0 SIDING- Brick

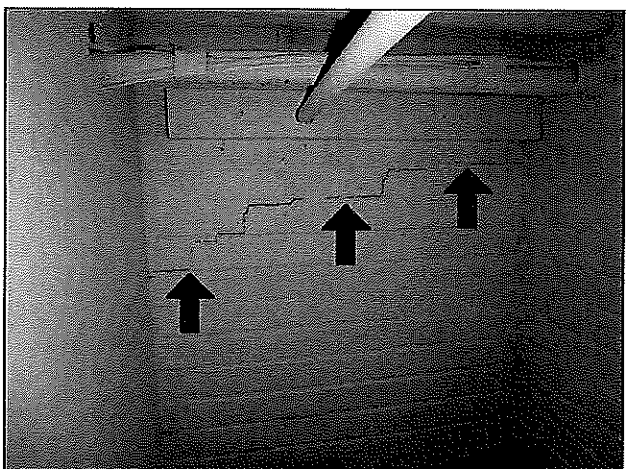
Poor/Defective

2.0 (1) Vertical/horizontal and step cracking noted on the brick siding at the front, right, and rear side of the house. Cracking was also visible at the front and rear side of the basement interior and storage room. This is conducive to possible stress/settlement and foundation concerns. Recommend to have a structural engineer evaluate and repair as directed.

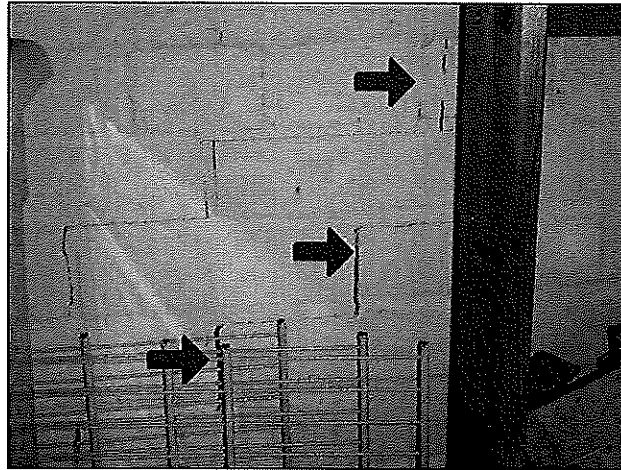
CORRECTED
EXTERIOR
WAS POINTED UP.
STRUCTURAL
ENGINEER
DETERMINED
THEY WERE ALL
COSMETIC.
SEE
REPORT
ATTACHED
SEPARATELY



Storage room

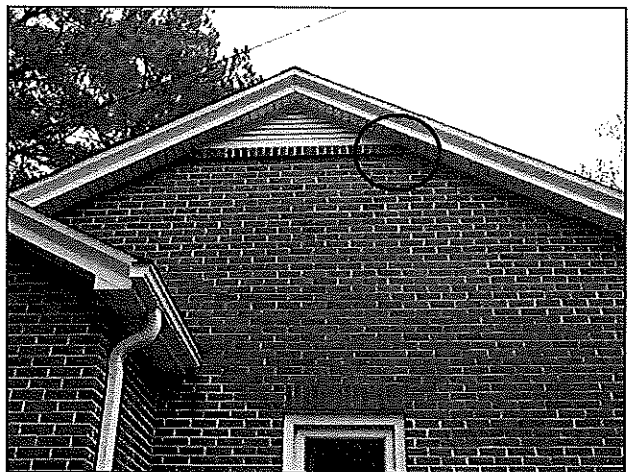
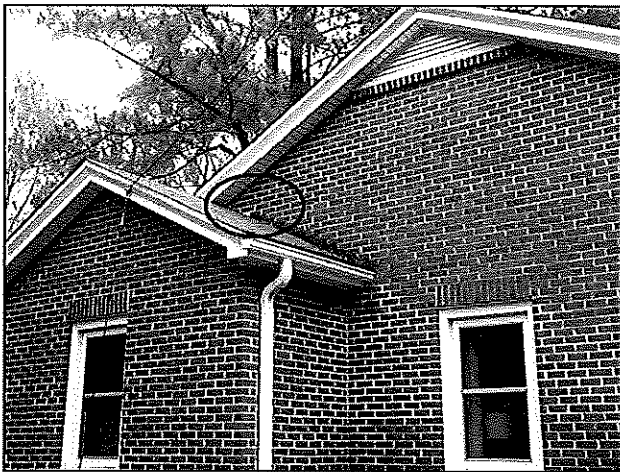


Front side



Rear side

2.0 (2) Open gap/cracked mortar noted on the brick at the left side of the house. This is conducive to water/pest intrusion at the wall cavity that will damage the adjacent elements. Recommend to have a qualified contractor repair as directed.



2.1 SIDING-Vinyl

Poor/Defective

Siding is within 6 inches to the ground at the rear side. Recommend grading to prevent decay/rot/wood burrowing insects as necessary.



Fair

Loose window shutters. Recommend to repair/secure as directed to prevent damage from weather.



2.2 (Picture 1)

2.3

ENTRY DOORS

Poor/Defective

Wood rot/decay noted on the door/frame at the rear exterior door. This is conducive to water intrusion that will damage the adjacent elements. Recommend to have a qualified contractor repair/replace as directed.



2.3 (Picture 1)

*CORRECTED
2018*

2.4

PORCH(ES) / DECK(S) -Front

Poor/Defective

Wood rot/decay noted on the flooring at the front porch. Recommend to repair/replace as directed to prevent further damage and tripping/safety concerns.

*CORRECTED
2018*



2.4 (Picture 1)

3. SITE ELEMENTS

3.2 SITE GRADING/GROUND SLOPE AT FOUNDATION

Poor/Defective

To reduce the amount of water run-off or ponding and potential for water penetration and/or structural concerns, a positive slope away from the foundation should be provided around the perimeter of the house. Maintenance of a suitable ground cover is also advised.



3.2 (Picture 1)

3.3 PATIO

Poor/Defective

Heavy cracking noted on the patio slab extending to the storage room. This also prevents the door from opening/closing properly. Recommend further evaluation by a qualified contractor due to damage/settlement concerns and repair as directed.



3.3 (Picture 1)

4. ATTIC

4.1 ROOF DECK / SHEATHING

Fair

4.1 (2) Moisture stains at rear side of roof sheathing/wood members. This condition is conducive to prior/present roof leakage. Recommend to discuss prior/present condition with owner before closing and have qualified contractor evaluate to determine if the leak is active. Repair if necessary.

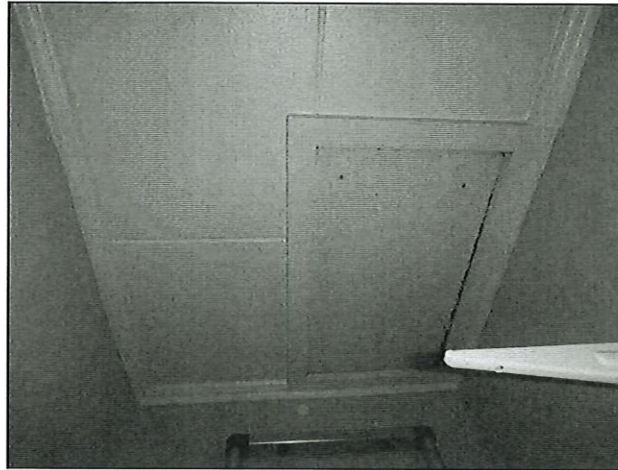


Roof
replaced
2020

4.4 INSULATION

Poor/Defective

In Need of Repair: Missing insulation at Attic side of scuttle opening cover. Condition is conducive to effecting R-value/energy savings.



4.4 (Picture 1)

5. INTERIOR ELEMENTS

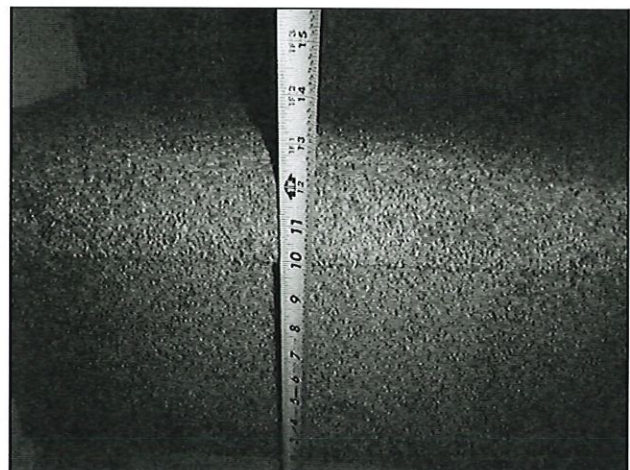
5.3 STAIRS

Poor/Defective

The risers are of improper height at the interior stairway. It is recommended that risers be no more than 7 3/4 inches and uniform in height due to tripping/safety concerns. Recommend to have a qualified contractor repair as directed.



5.3 (Picture 1)



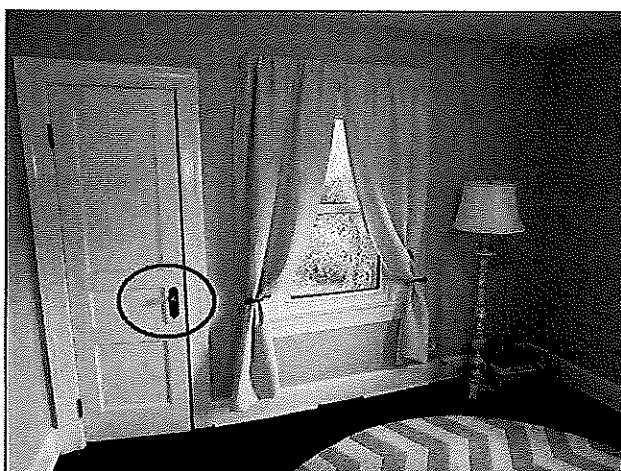
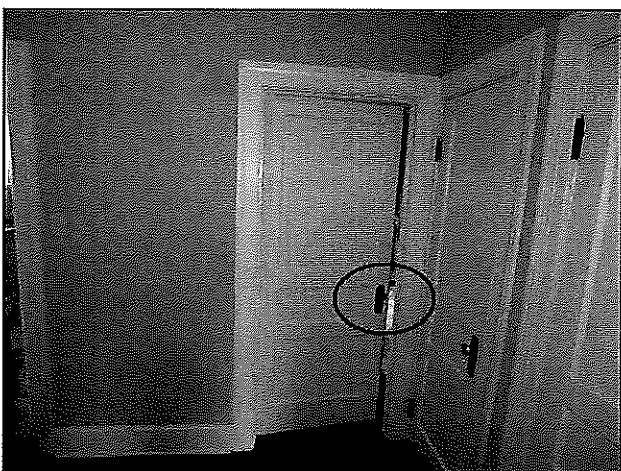
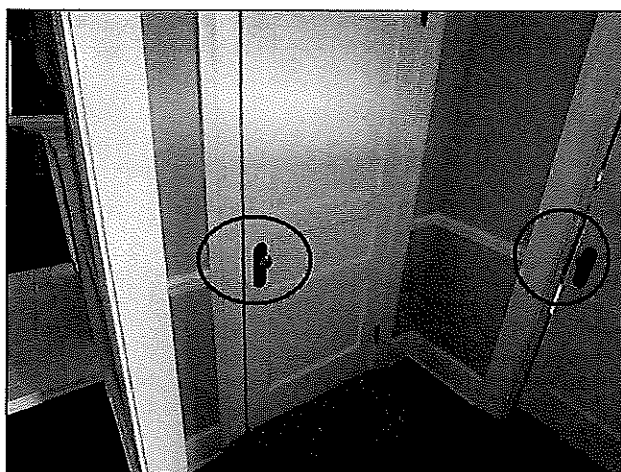
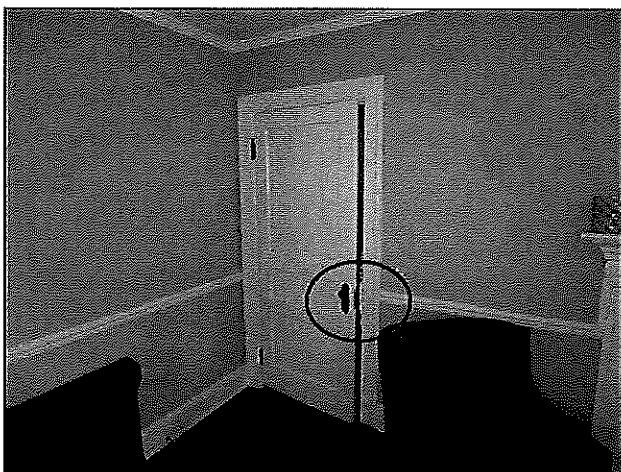
5.3 (Picture 2)

5.5 WINDOWS

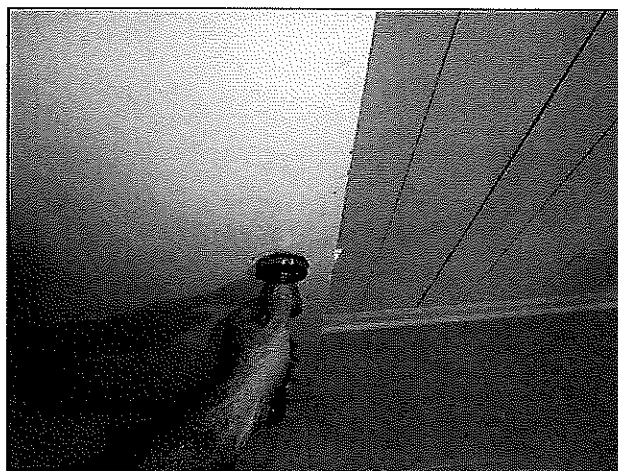
Poor/Defective

Painted/stuck shut windows at basement rear room. This condition is conducive to windows not functioning as intended and a limitation for inspection to determine if units are functioning properly.

WINDOWS
FUNCTIONING
FURTHER
2018



5.6 (3) Damaged door knob noted at the basement rear right. Recommend to repair/replace as directed to ensure door opens/closes properly.



5.7 DETECTOR TEST

Poor/Defective

Smoke detector did not function at the main level. Recommend to replace smoke detectors and install halls and bedrooms of main level and basement. Also install carbon monoxide detectors at both levels due to safety concerns.

*Smoke
detectors
installed
CO downstairs*



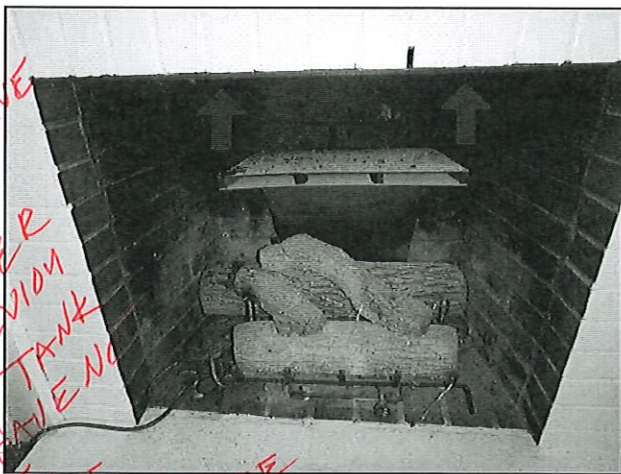
5.7 (Picture 1)

5.8 FIREPLACE(S)

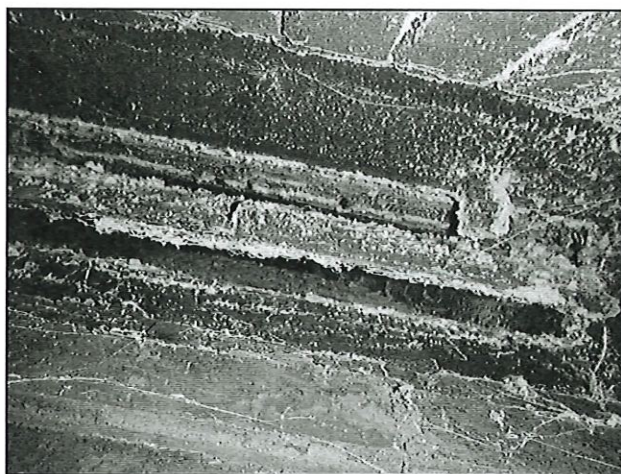
Poor/Defective

Damper damaged and missing damper clip. This is conducive to water/pest intrusion and the loss of conditioned air. Recommend to have a qualified fireplace contractor repair/replace as directed.

*CLIP REPLACED
FIREPLACE SET
UP FOR A PROPANE
TANK. CURRENT
OWNERS NEVER
REPLACED PREVIOUS
SELLES TANK
AND HAVE NO
USE THE FIREPLACE*



5.8 (Picture 1)



5.8 (Picture 2)

5.9 FIREPLACE GAS BURNERS

Not Inspected

Gas logs/burners not evaluated due to pilot light not on for inspection. Recommend having pilot light on for final walk thru for inspection/proper operation.

6. KITCHEN

6.0 PLUMBING / SINK

Poor/Defective

6.0 (1)

corrected 2018

"S" type trap noted under the kitchen sink. This type of trap does not maintain the required trap seal and may allow sewer gas leakage. Recommend to have a qualified plumber repair/replace as directed.

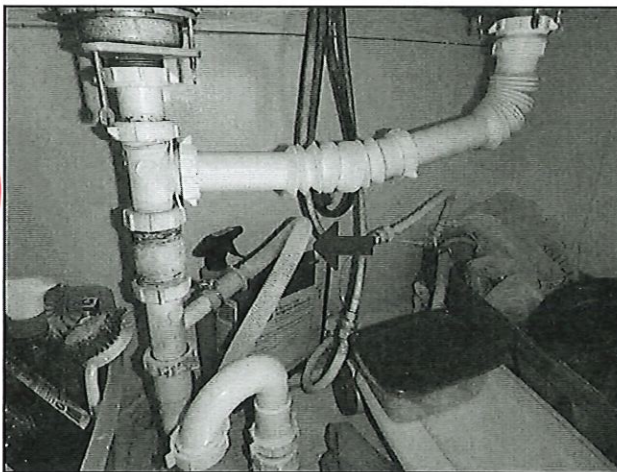


6.1 (Picture 1)

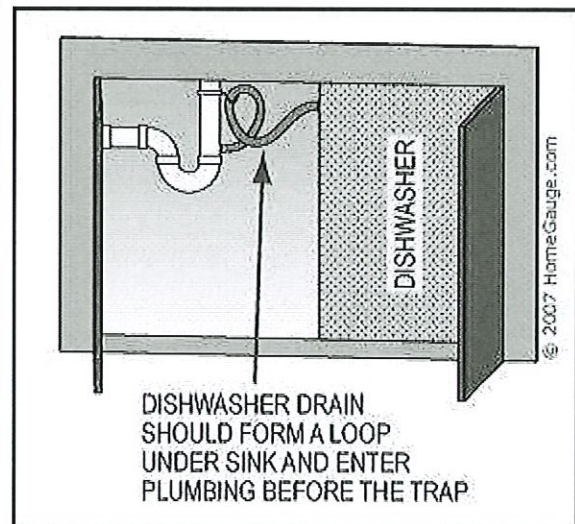
6.2 DISHWASHER

Poor/Defective

Missing drain loop for the dishwasher. This loop prevents the dirty water that is being drained from being inadvertently pulled back into the dishwasher or even siphoned back into the water system. Recommend to repair as directed.



6.2 (Picture 1)



6.2 (Picture 2)

7. BATHROOMS

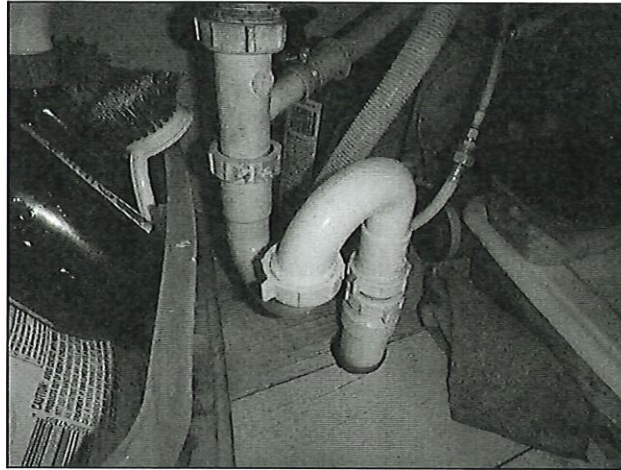
7.0 SINK(S)

Poor/Defective

7.0 (1) Drain stopper damaged at the basement sink. Recommend to repair/replace as directed to ensure sink basin will hold water.

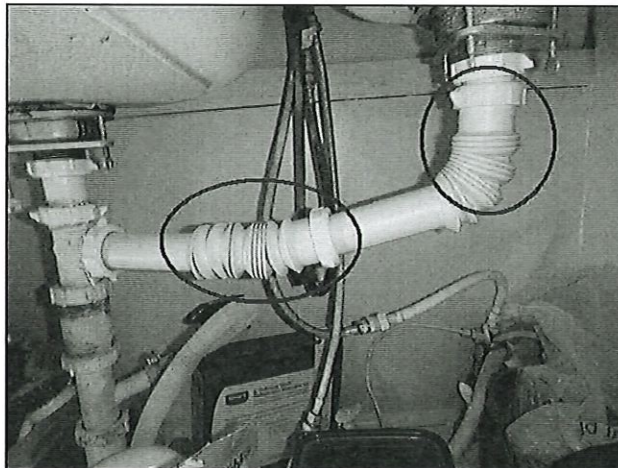
✓
corrected
2018

✓
corrected
2018



6.0 (2) Improperly installed drain line under sink at kitchen. This type of piping is not recommended due to debris/sludge build-up at interior of drain line and clogging sink drain. Evaluation/correction by licensed qualified plumbing contractor recommended.

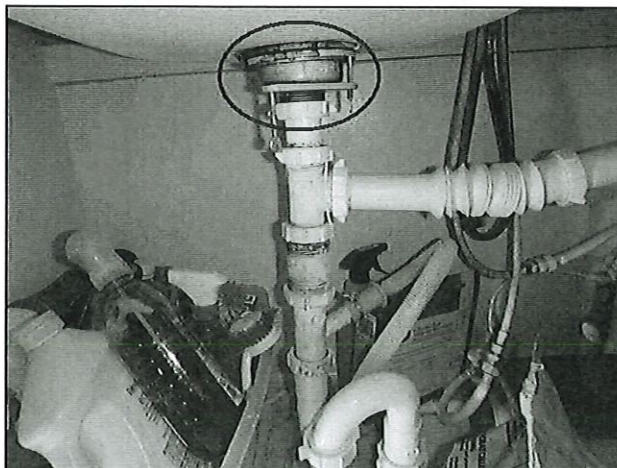
✓
corrected
2018



6.0 (3) Water leak noted on the drain line at the left side sink. This is conducive to water intrusion that will damage the adjacent elements and cabinetry. Recommend to have a qualified plumber repair/replace as directed.

corrected
2018

✓



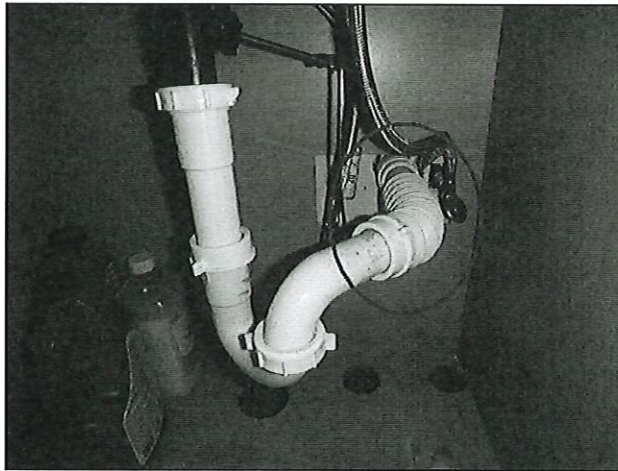
✓



7.0 (2) Improperly installed drain line under basement sink. This type of piping is not recommended due to debris/sludge build-up at interior of drain line and clogging sink drain.

*corrected
2018*

✓



7.1

TOILET

Poor/Defective

Loose toilet at the main level bathroom. This is conducive to damage to piping and water intrusion that will damage the adjacent elements and flooring. Recommend to repair/secure toilet.

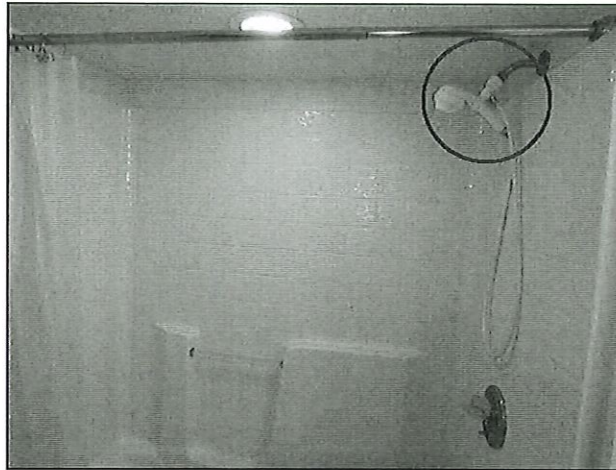
*corrected
2018*

✓



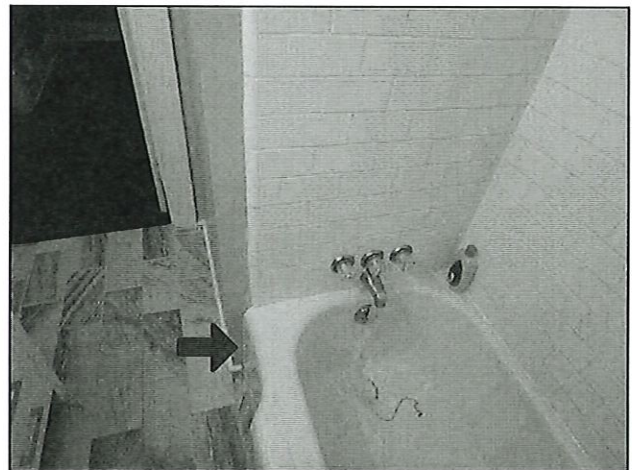
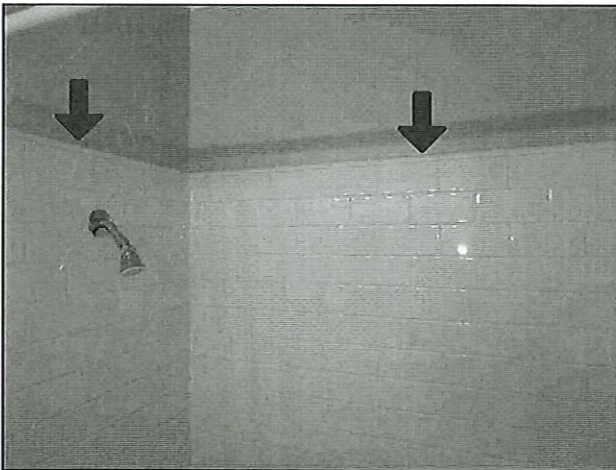
7.2 (1) In Need of Repair: Spout loose in wall and not sealed at basement bathroom. Conditions are conducive to water intrusion to inside wall cavity.

*corrected
2018*



7.2 (2) In Need of Repair: Missing/open caulking at surround area in main level bathroom. Conducive condition for water intrusion.

*corrected
2018*



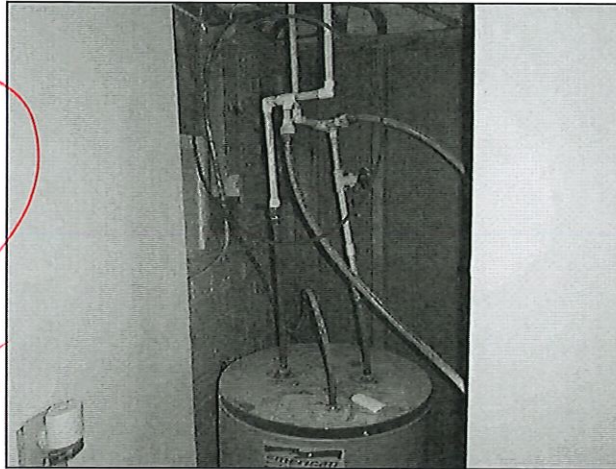
7.2 (3) Nontypical height between the shower head and floor at both bathrooms. Recommend to have a qualified plumber repair as directed to ensure proper function of the shower.



The water heater and piping is in close proximity to the service panel. It is recommended to have a 3 foot clearance in front of the service panel for servicing/safety concerns. This also limited proper inspection of the panel/breakers/wiring. Recommend to have a qualified electrician evaluate service panel including wiring/breakers/grounding and repair to ensure access. Address any concerns.

Water heater replaced 2019

Electric Panel moved away from water heater

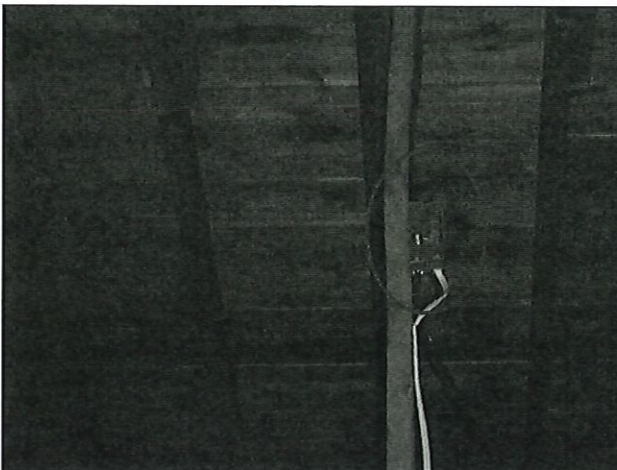


8.3 (Picture 1)

8.4 DEVICES

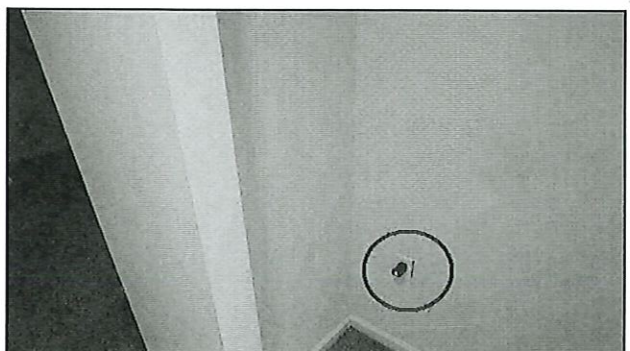
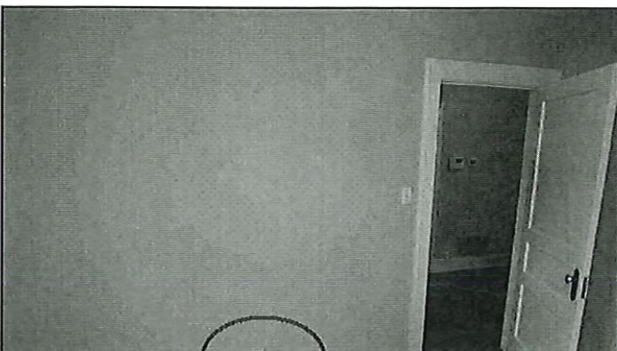
Poor/Defective

8.4 (1) Wiring is improperly terminated/open junction box at the attic, basement closet. It is recommended that all wiring terminate in a closed junction box to prevent accidental contact, safety concern. Recommend to have a qualified electrician repair as directed.

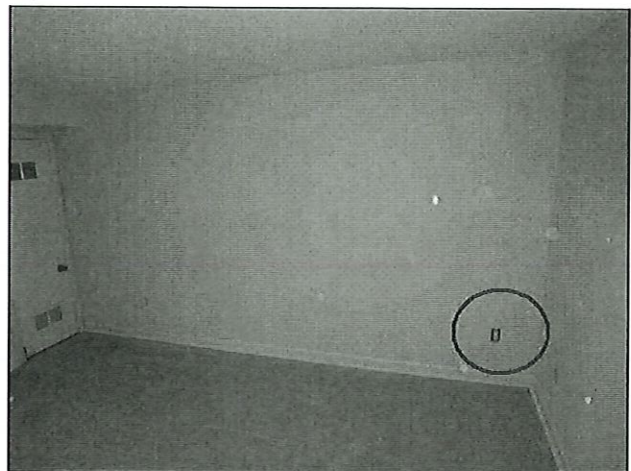
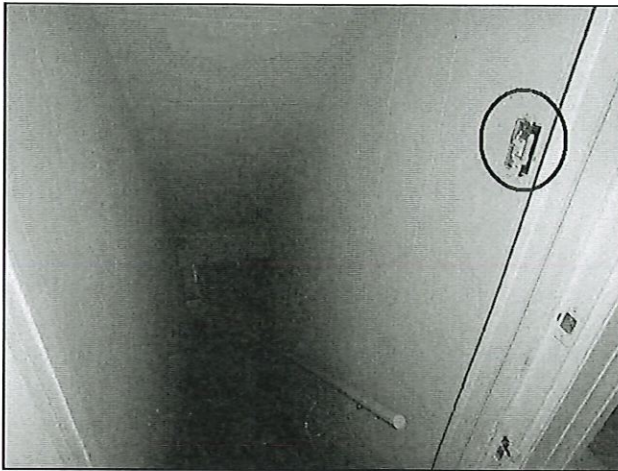


Corrected 2018

8.4 (2) In Need of Repair: Loose outlets in walls at rear right bedroom, basement. Condition is conducive to loose connections at interior of outlet box.



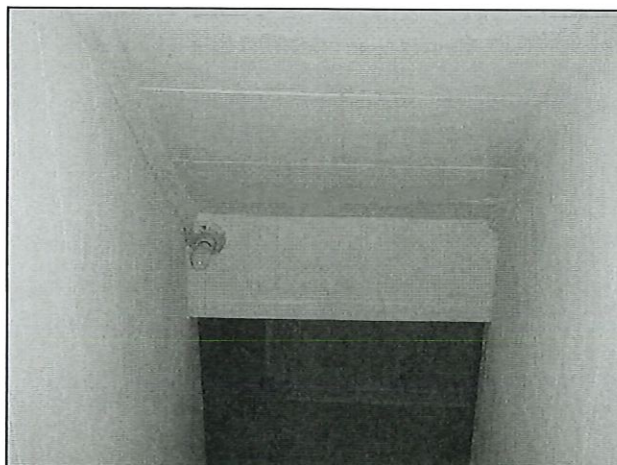
8.4 (3) Missing electrical cover noted at the stairway, basement . Recommend to install cover due to concerns of accidental contact with wiring, safety concern.



8.4 (4) Light did not function at front exterior, under microwave. Recommend bulb replacement to ensure proper function before closing. If light still does not function, recommend to have a qualified electrician evaluate fixture/wiring and repair/replace as directed.

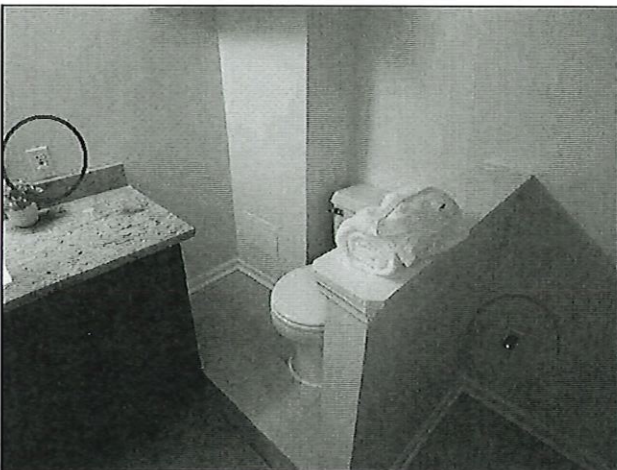
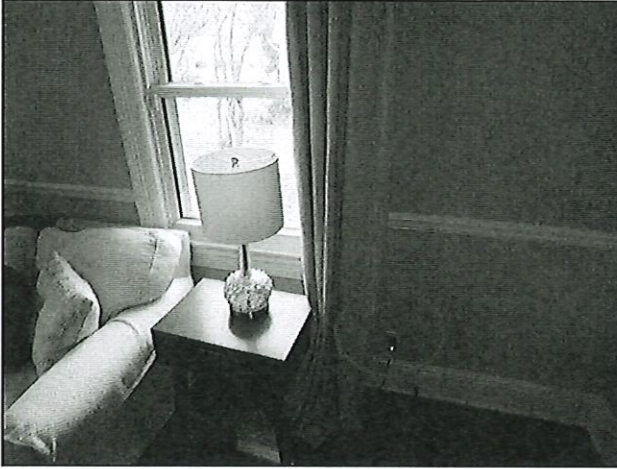


8.4 (5) The three-way switch does not function properly at the basement stairway. This particular switch controls one fixture from two or more receptacles. Recommend to have a qualified electrician repair as directed due to concerns of improper wiring.



evaluate wiring and repair/replace as directed due to safety/shock concerns.

8.5 (2) The outlet tester indicated a hot/neutral reversed at the living room, basement front right room, basement bathroom, kitchen. This is conducive to improper wiring and a safety concern. Recommend to have a qualified electrician repair as directed.



8.6 GFCI TEST

Poor/Defective

8.6 (1) GFCI outlets would not reset at the exterior rear side. This is conducive to damaged outlet and/or improper wiring. Recommend to have a qualified electrician repair/replace as directed.



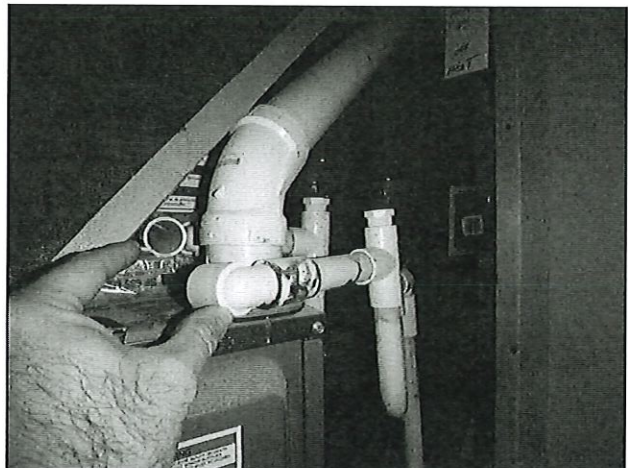
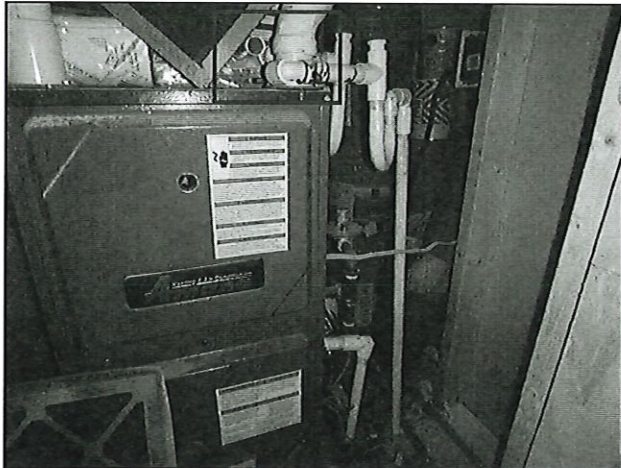


9. COOLING/HEATING SYSTEM

9.5 CONDENSATE PROVISIONS

Poor/Defective

9.5 (1) Secondary condensate is not connected at the interior unit. This is conducive to water leaking/intrusion that will damage the HVAC unit and adjacent elements. Recommend to have a qualified HVAC contractor repair/replace as directed.



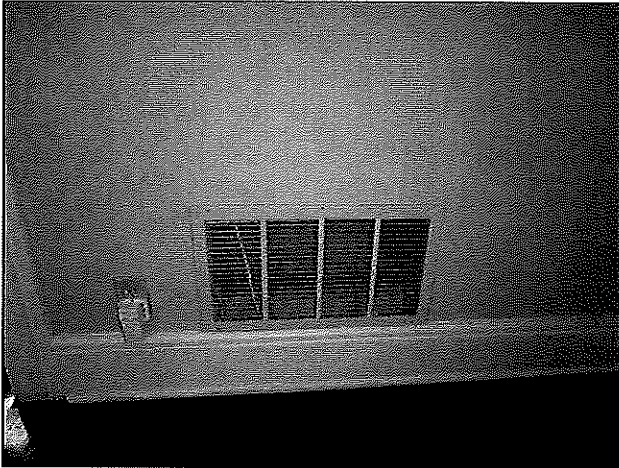
✓
corrected
2018

9.6 DUCTWORK

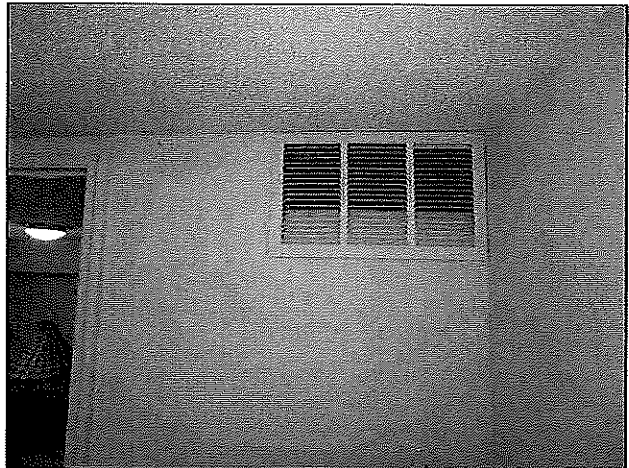
Fair

Missing filter(s) present. This condition can effect proper performance of system. Recommend changing filters monthly.

Corrected



9.6 (Picture 1)



9.6 (Picture 2)

10. PLUMBING SYSTEM

10.1 WATER PIPING

Poor/Defective

This home has a plumbing supply system that uses polybutylene plastic distribution lines and compression band fittings. Even though this plumbing system was installed in many homes from 1978 until mid-1990's, it is no longer an approved plumbing system due to a history of material failures. The failures were related to improper installation, improper handling, improper storage, and plastic deterioration due to chemical reactions with the water supply. Due to the nature of this latent defect, it was not possible to adequately assess the condition of the plumbing system during the home inspection. A licensed plumbing contractor should be consulted for a complete evaluation of the plumbing system to determine the significance of this concern.



10.1 (Picture 1)

10.4 FIXTURE DRAINAGE

Poor/Defective

Gurgling noted at adjacent fixtures while draining. This is conducive to possible obstructions in piping and/or improper venting. Recommend to have a qualified plumber evaluate and repair/replace as directed.



10.4 (Video 1)

11. HOT WATER SUPPLY

11.1 SAFETY VALVE PROVISIONS

Poor/Defective

The drain tube for the TPRV Valve is missing; add 3/4 pipe to within 6 of the floor with no reducers to prevent possible scalding, safety concerns.

*Replaced
2019*



11.1 (Picture 1)

11.2 THERMAL EXPANSION TANK

Poor/Defective

There is no thermal expansion tank for the hot water system. This tank alleviates pressure from the water heater and piping as the hot water expands, which prevents possible damage. Recommend to have a qualified plumber repair as directed.

still no tank